

EAST 8TH

2008 E. 8TH ST AUSTIN, TX 78702

SD

18 APR 2017



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ARCHITECTURE

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PROJECT NO:

DM170102

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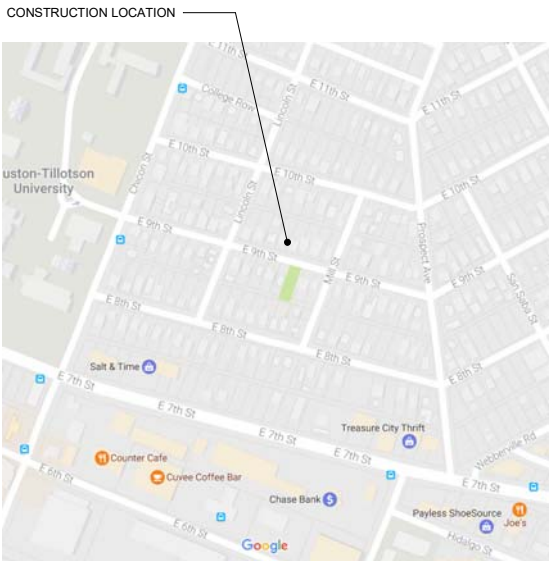
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DAVID MCEATHRON
TEXAS REGISTRATION NUMBER #23964

18 APR 2017

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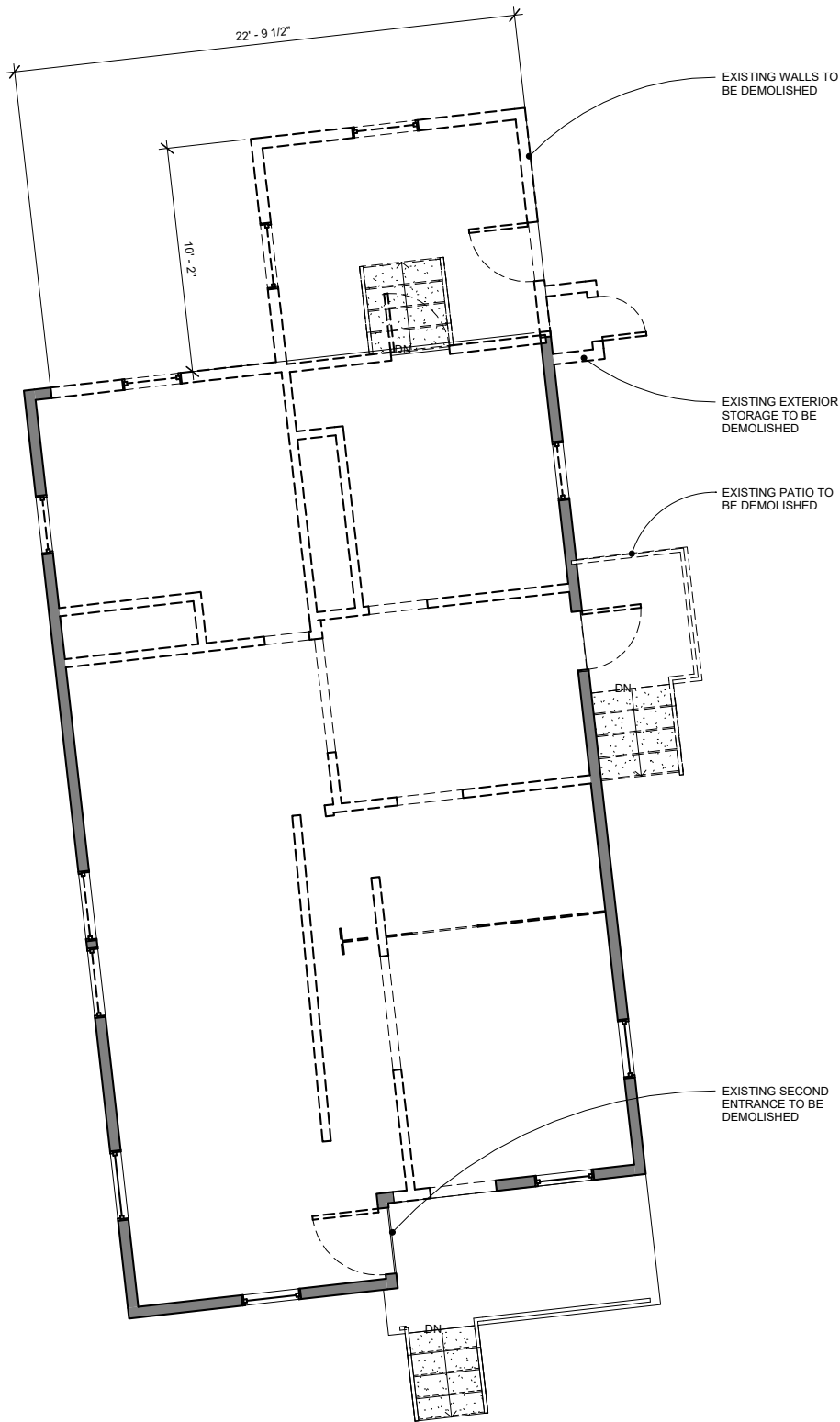
NO	REFERENCE	ISSUED

GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4 WOOD STUDS AT 16" O.C., EXCEPT PLUMBING WALLS AND POCKET DOOR WALLS, WHICH ARE TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS IF WALLS OVER 10'-0" ARE NOT BUILT WITH 2X6 STUDS, THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL HOOK UP ALL OWNER-PROVIDED APPLIANCES AND VERIFY THEY FUNCTION PROPERLY.
- NEW BASEBOARDS, TRIM, AND MOULDINGS TO MATCH EXISTING.
- PROVIDE BLOCKING IN NEW WALLS BEHIND AND ADJACENT TO ALL TUBS AND TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- PROTECT WOOD AND WOOD-BASED PRODUCTS FROM DECAY AND TERMITES PER CODE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, AND TYPE.
- NEW TOILET TO BE ULTRA-LOW-FLOW. NEW SINK AND SHOWER FAUCETS TO BE LOW-FLOW.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- CABINET MATERIALS AND ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2", UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.

GENERAL NOTES - DEMO

- DECONSTRUCT WALLS, DOORS, WINDOWS, AND FRAMES AS INDICATED ON PLAN. PROTECT ADJACENT SURFACES TO REMAIN.
- MEANS AND METHODS, INCLUDING SHORING, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL KEEP BUILDING WEATHERPROOF DURING CONSTRUCTION AND DEMOLITION.
- IF UNEXPECTED STRUCTURAL ELEMENTS ARE ENCOUNTERED NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
- CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.



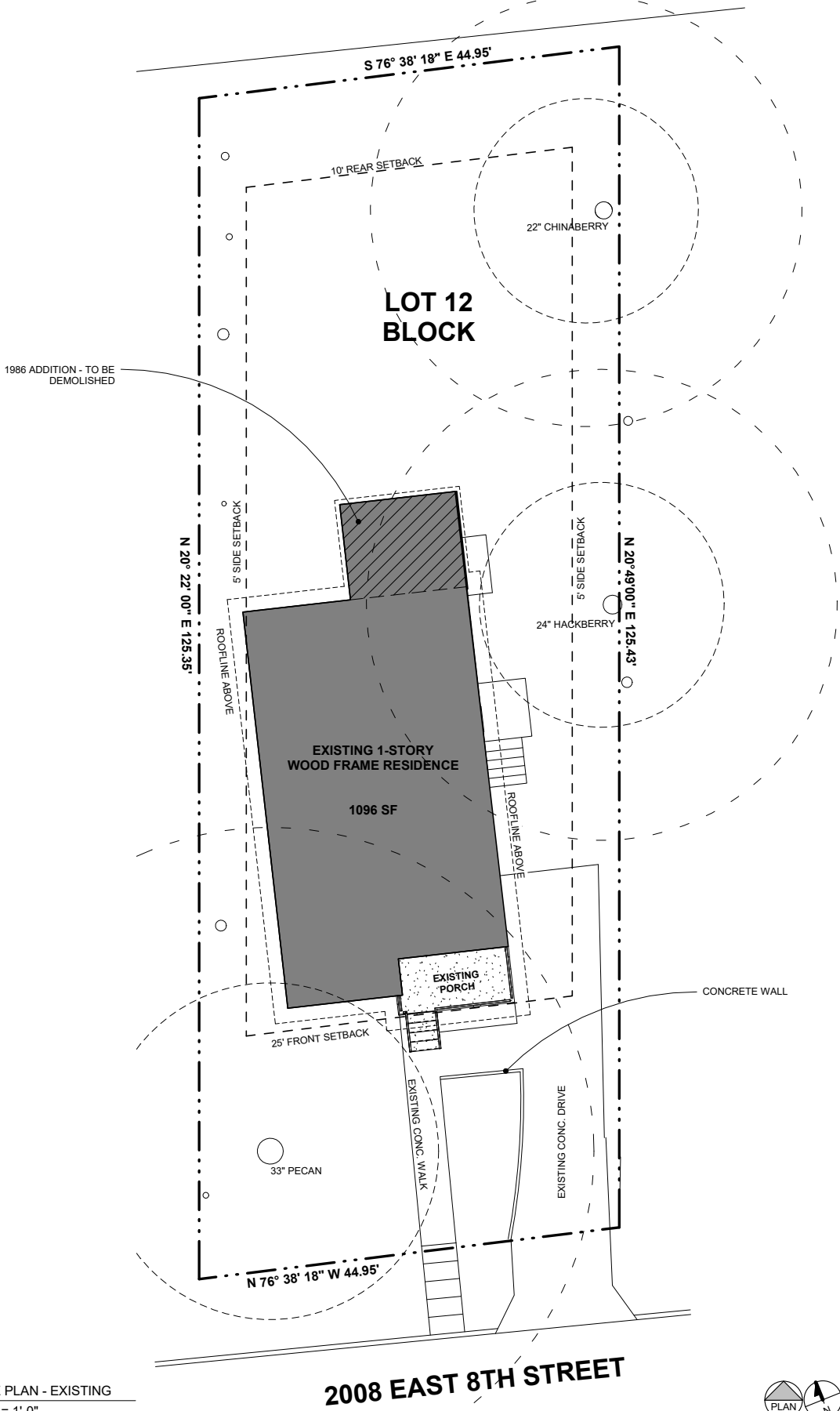
- ORIGINAL 1925 1-STORY RESIDENCE - 420 SF
- 1938 KITCHEN AND BATHROOM ADDITION - 162 SF
- 1938 BACK PORCH (ENCLOSED IN 1950'S TO BECOME DINING) - 99 SF
- 1950'S BEDROOM ADDITIONS - 288 SF
- 1986 LAUNDRY AND STORAGE ADDITION - 127 SF

FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL

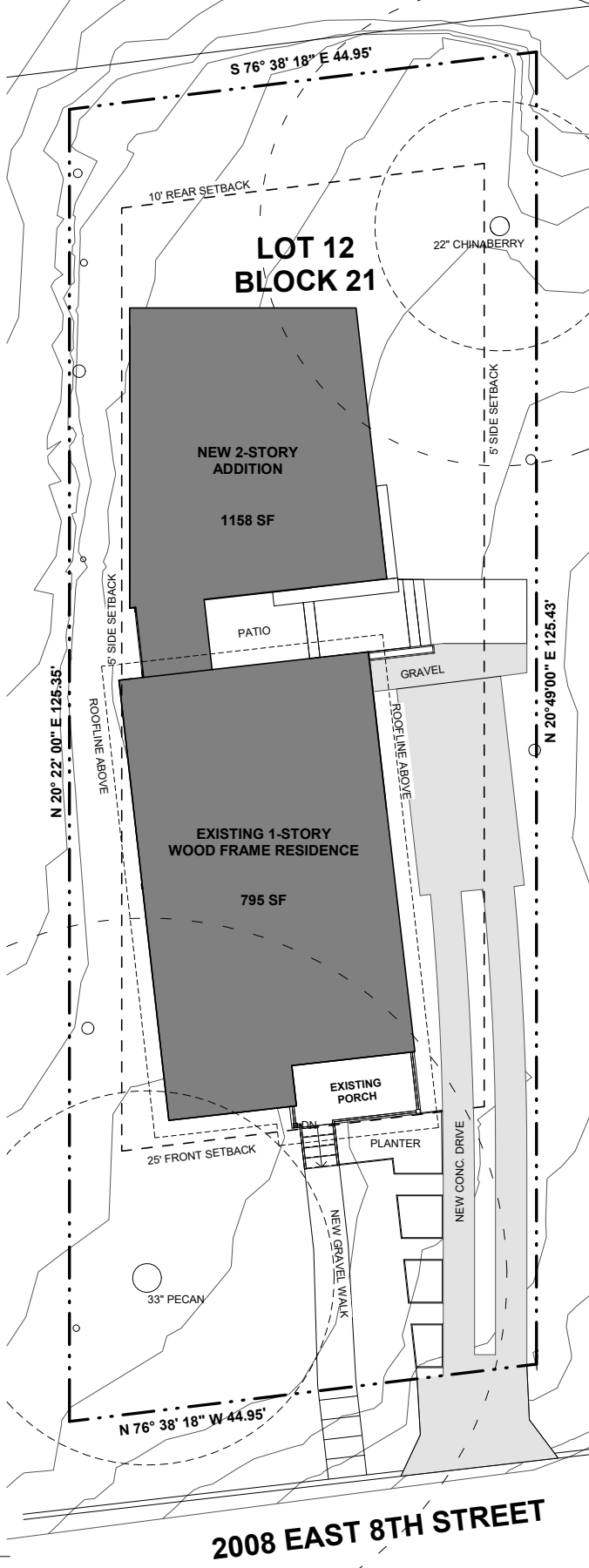
EXISTING HOUSE : NO ROTATION

15' ALLEY



1 SITE PLAN - EXISTING
1/8" = 1'-0"

15' ALLEY



2 SITE PLAN - COMPLETE
1/8" = 1'-0"

- GENERAL NOTES - SITE PLAN
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
 - INFORMATION SHOWN ON THIS SITE PLAN IS SUPPLEMENTARY TO SITE PLANS BY OTHERS, REFER TO STRUCTURAL, CIVIL, AND MEP SITE PLANS FOR ADDITIONAL SITE WORK AND INFORMATION.
 - VERIFY EXISTING SITE CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
 - ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE AND PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING, CONTRACTOR TO VERIFY.
 - CONTRACTOR TO UTILIZE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
 - PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
 - TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
 - SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL AND DISPOSAL OF UNWANTED TREES AND OTHER LANDSCAPING MATERIALS WITH OWNER.
 - PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
 - ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
 - CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY AND SECURE LOCATION ON SITE AS SPECIFIED BY OWNER.
 - PRIOR TO START OF DEMOLITION & CONSTRUCTION CONTRACTOR SHALL PROVIDE & INSTALL EROSION CONTROL BARRIERS AS REQUIRED.
 - EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
 - VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
 - PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.

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**SITE PLANS -
ORIGINAL ANGLE**

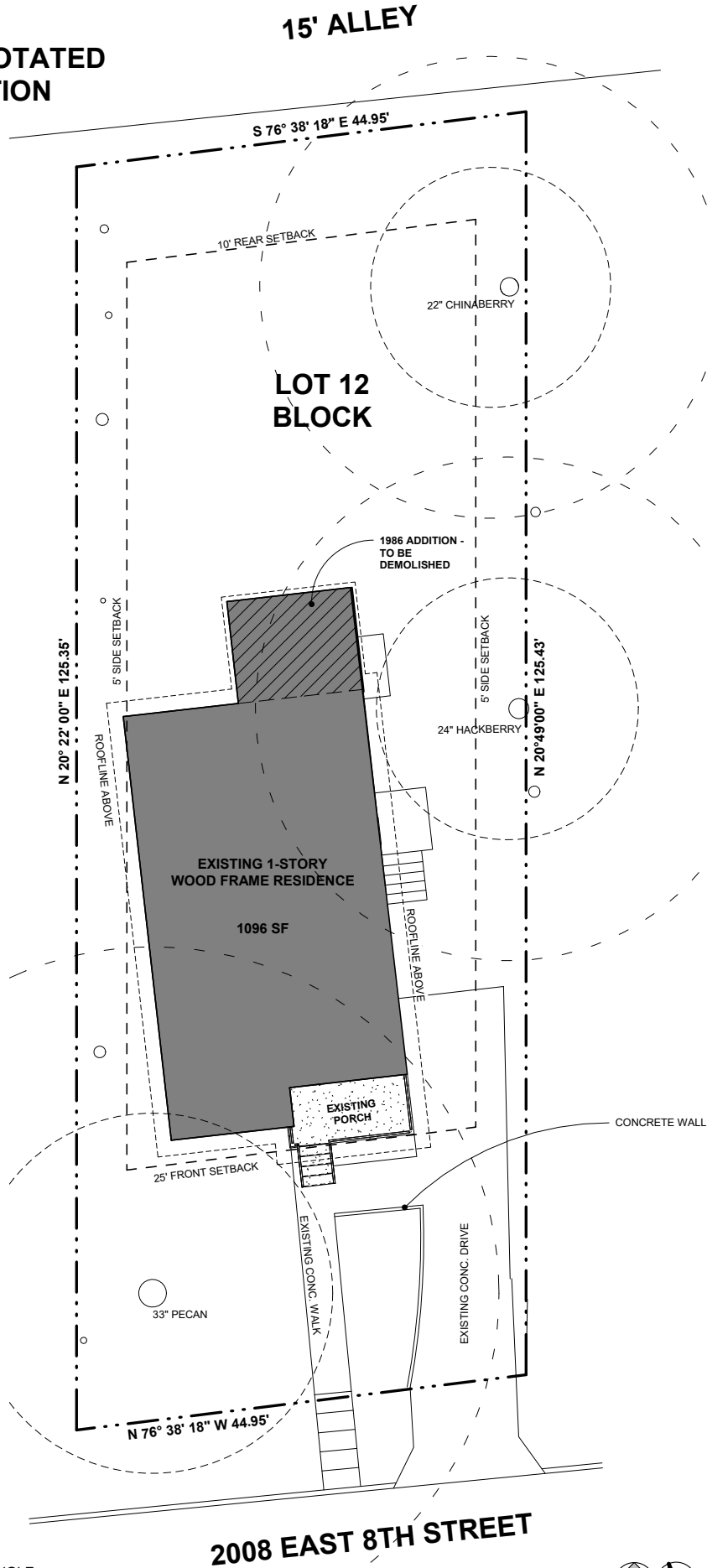
A100

SITE PLAN LEGEND

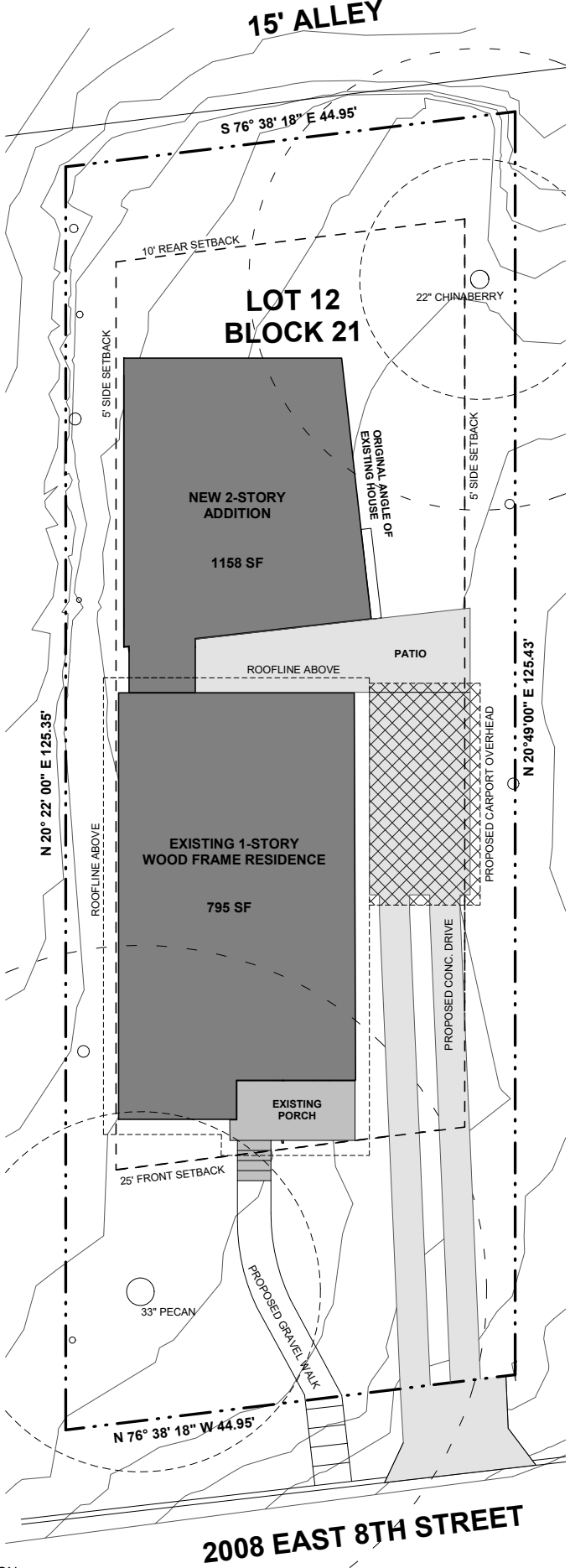
- HB HOSE BIBB
- WM WATER METER
- EM ELECTRICAL METER
- GM GAS METER
- (E) EXISTING

««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»

EXISTING HOUSE : ROTATED
DURING CONSTRUCTION
PHASE



1 SITE PLAN - EXISTING ANGLE
1/8" = 1'-0"



2 SITE PLAN - PROPOSED ROTATION
1/8" = 1'-0"

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SITE PLAN -
PROPOSED
ROTATION

A101

SITE PLAN LEGEND

- (HB) HOSE BIBB
- (WM) WATER METER
- (EM) ELECTRICAL METER
- (GM) GAS METER
- (E) EXISTING

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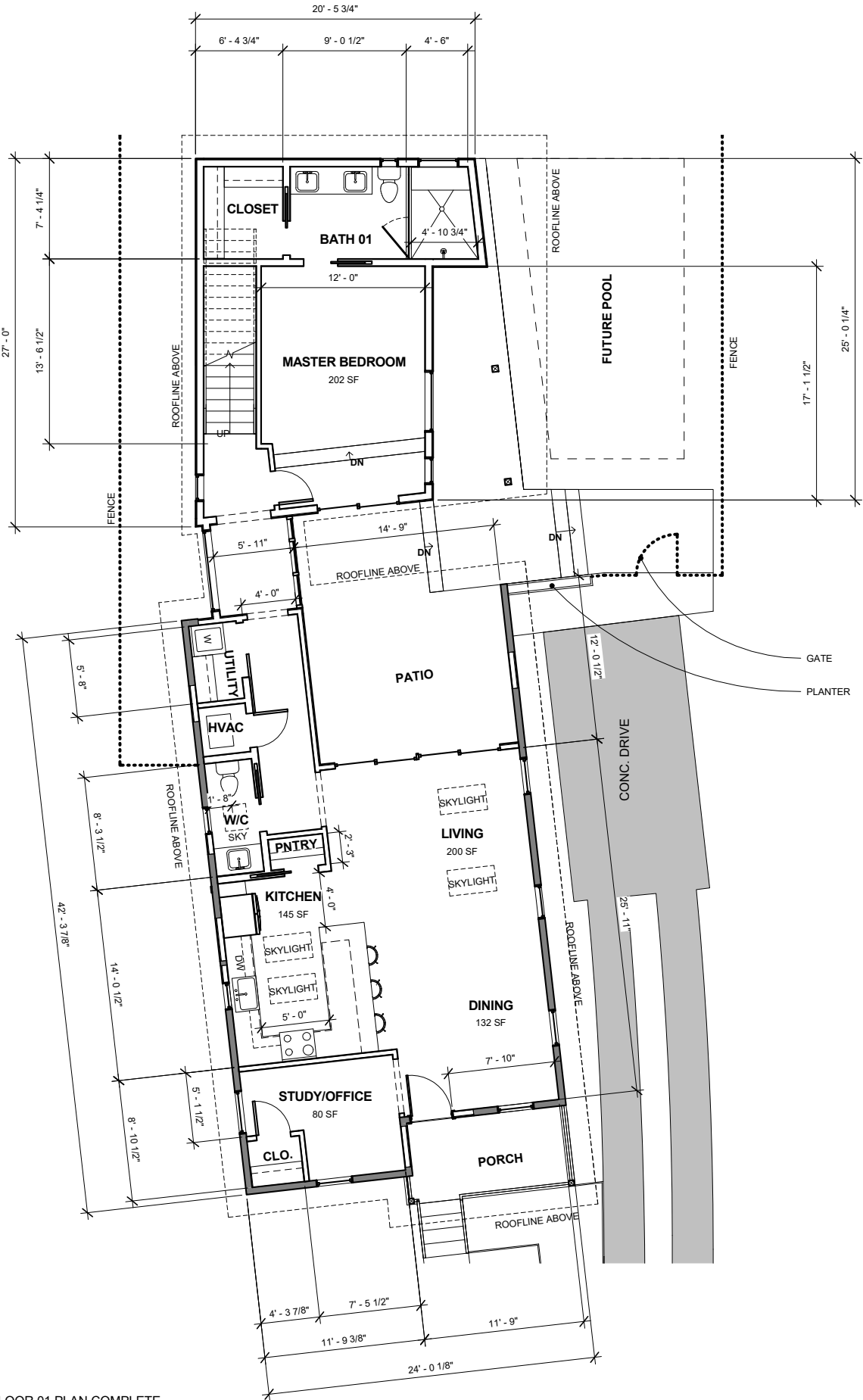
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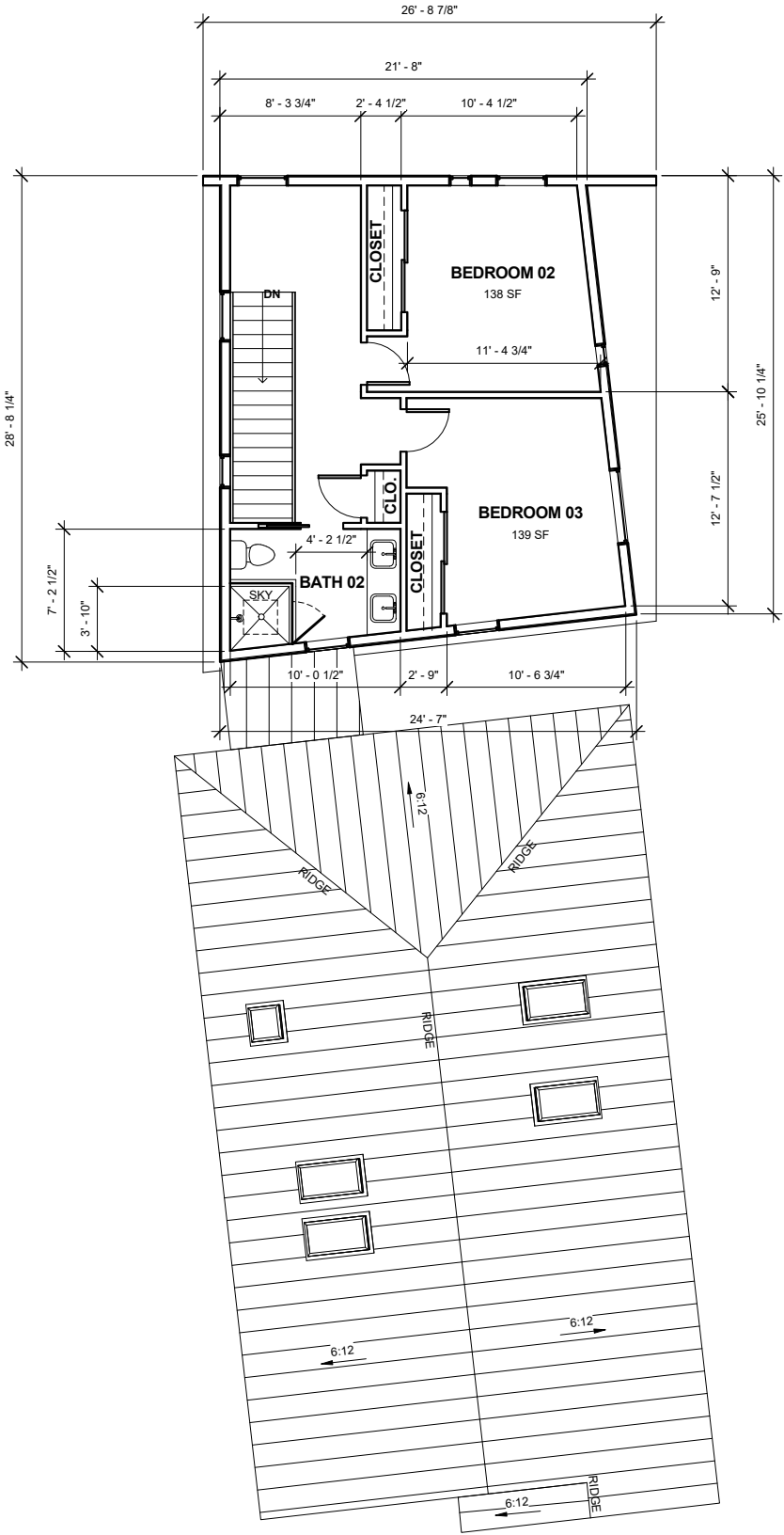
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FLOOR PLANS

A110



1 FLOOR 01 PLAN COMPLETE
3/16" = 1'-0"



2 FLOOR 02 PLAN COMPLETE
3/16" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL

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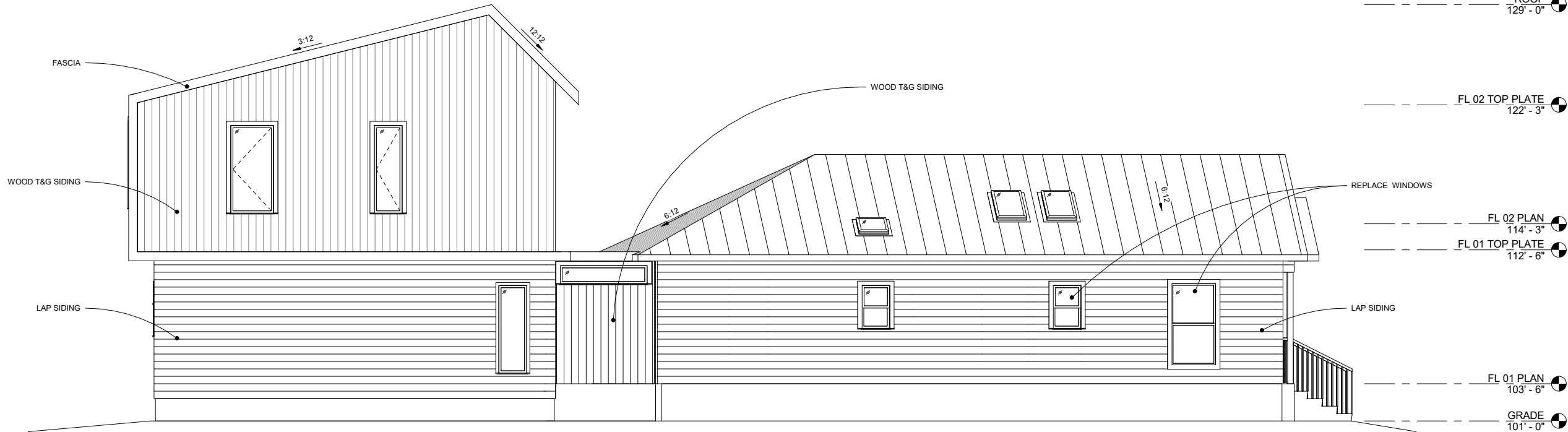
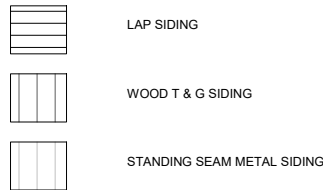
1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

- GENERAL NOTES - EXTERIOR ELEVATIONS
1. CONTRACTOR SHALL KEEP BUILDING WEATHER-TIGHT.
 2. VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
 3. SLOPE GRADE AWAY FROM BUILDING & FOUNDATION FOR A MINIMUM OF 10'-0"
 4. ALL EXPOSED FASTENERS ON WOOD SIDING TO BE STAINLESS STEEL.
 5. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.
 6. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OR ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE FROUPED TO MINIMIZE ROOF PENETRATIONS.
 7. PAINT ALL GUTTERS AND DOWNSPOUTS TO MATCH EXTERIOR TRIM COLOR.

GENERAL NOTES - DEMO

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5. CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.

EXTERIOR ELEVATION LEGEND



2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



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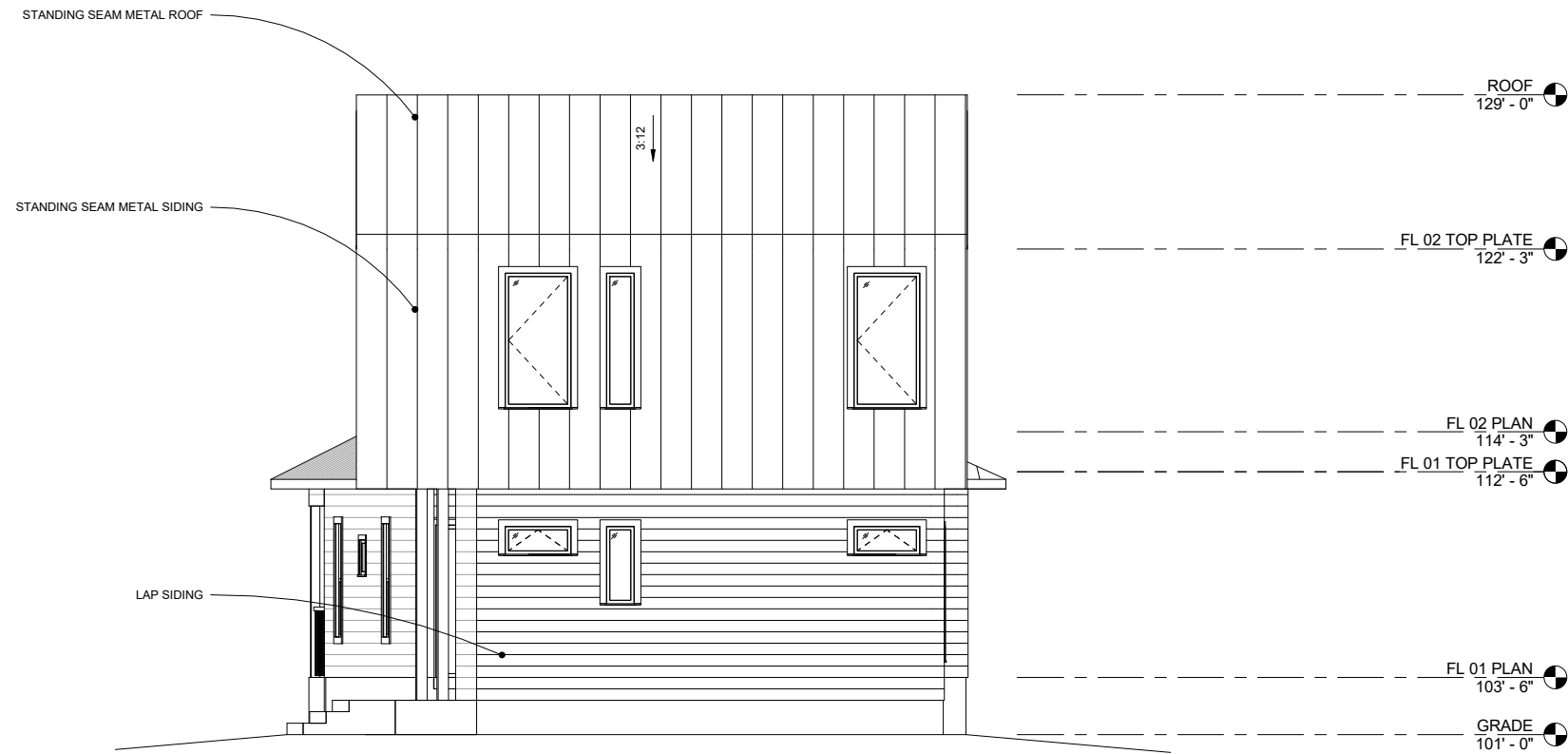
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EXTERIOR
ELEVATIONS

A200

««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"




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5. CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.

EXTERIOR ELEVATION LEGEND

	LAP SIDING
	WOOD T & G SIDING
	STANDING SEAM METAL SIDING



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**EXTERIOR
ELEVATIONS**

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**RENDERINGS -
STREET VIEW**

A300





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**RENDERINGS -
ADDITION**

A301



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