

ARCHITECT:
TB/DS
THOUGHTBARN/DELINEATE STUDIO
916 SPRINGDALE RD
BUILDING 5 / SUITE 102
AUSTIN, TX 78702
: 512 522 3511
WWW.THoughtBARN.COM
WWW.DELINEATESTUDIO.COM

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PROJECT
4008 AVENUE C
4008 AVENUE C
AUSTIN, TX 78751

STAGE
CONSTRUCTION
DOCUMENTS

REVISIONS		
NUMBER	DATE	DESCRIPTION

DRAWING
SITE PLAN

DATE
6/22/17

PAGE NUMBER

A0.01

PROJECT DESCRIPTION	
AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A SMALL ADDITION	

LEGAL DESCRIPTION	
LOTS 27 & 28, BLK. 6; HYDE PARK, ADDITION TWO	

ZONING	
ZONING	MF-4-HD-NCCD-NP
LAND USE	SINGLE-FAMILY RESIDENTIAL
LOT AREA	5,964.8 SQFT

TYPE OF CONSTRUCTION	
TYPE V-B	

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	1,667	1,485	
SECOND FLOOR CONDITIONED	0	0	
TOTAL ZONING SQ FT (GROSS FLOOR AREA)	1,667 (0.28-1)	1,485 (0.25-1)	2,386 (0.4-1)
COVERED PARKING (GARAGE OR CARPORT)	497	0	
COVERED PATIO, DECK OR PORCH	228	228	
COVERED BALCONY	758	0	
BUILDING SQ FT (FLOOR AREA)	3,150	1,713	
# OF BLDG FLOORS	1	1	
# OF UNITS	1	1	
# PARKING SPACES	2	2	

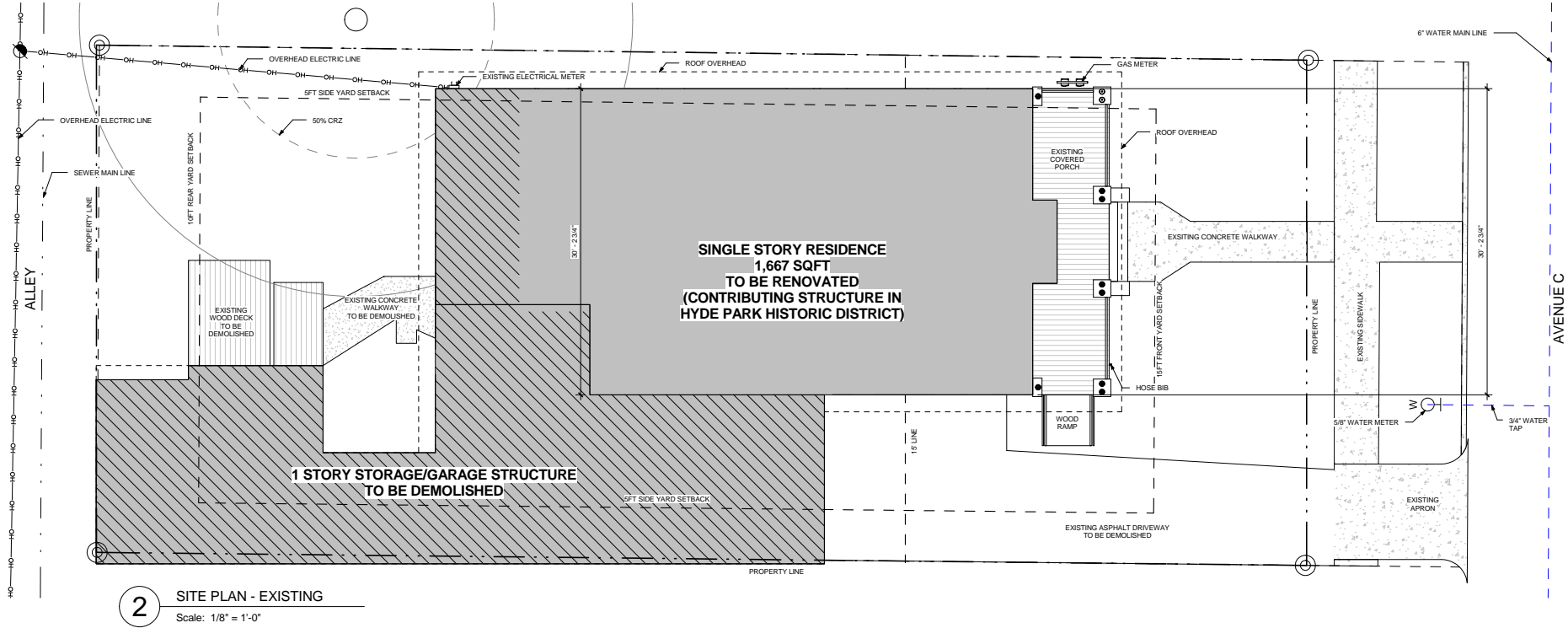
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED	-	1,298	
NEW ADDITION	-	187	
EXISTING COVERED AREA TO REMAIN	-	228	
NEW COVERED AREA	-	0	
BUILDING COVER SQ FT	-	1,485	
PARKING	598	306	
PAVED WALKWAYS	150	89	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	75	13	
AC PADS	0	9	
TOTAL IMPERVIOUS COVER	3,971 (67%)	2,130 (36%)	2,684 (45%)

KEY	
	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

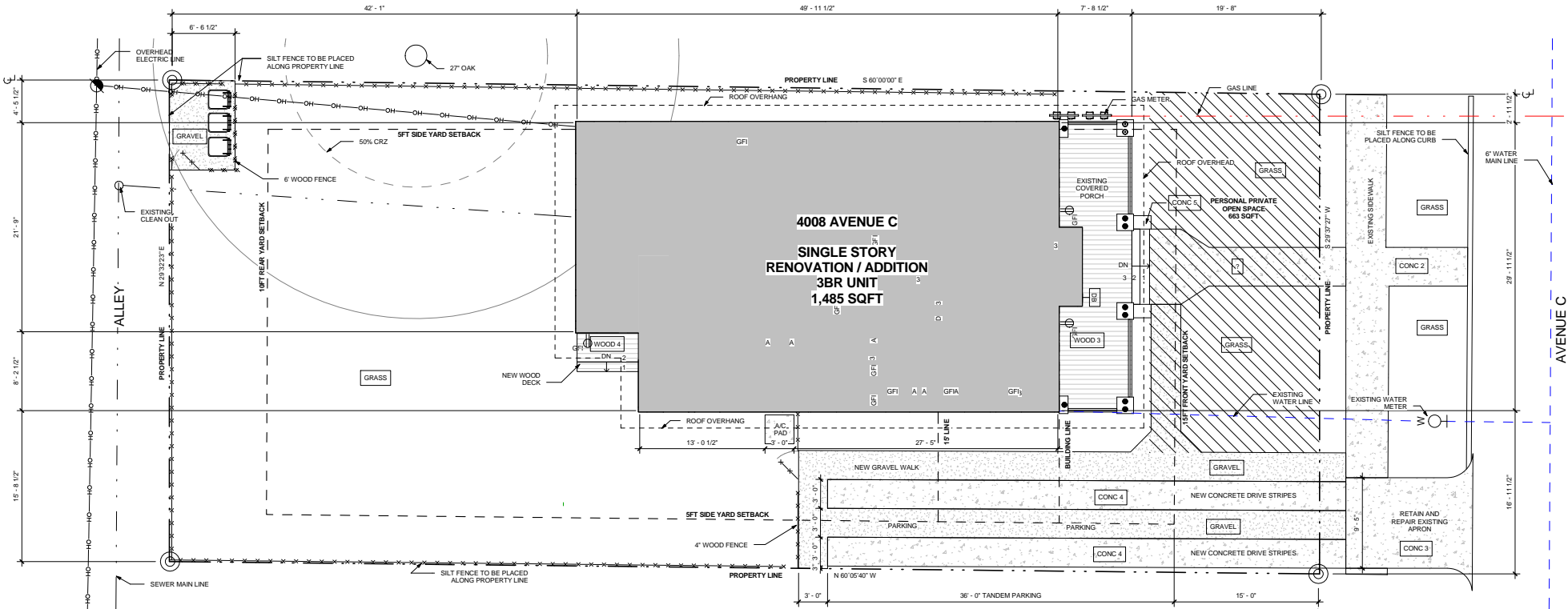
TREE PROTECTION NOTES	
THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION	
PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).	
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.	
NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.	
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.	

GENERAL NOTES - SITE PLAN	
1	CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
2	TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3	SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 8/26/2015.
4	ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.
5	FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
6	FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTURE

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
BRICK 1	EXISTING COMMON BRICK, PAINTED, COLOR TBD
CONC 1	EXISTING CONCRETE WALKWAY
CONC 2	NEW CONCRETE WALKWAY: BROOM FINISH
CONC 3	EXISTING CONCRETE DRIVEWAY
CONC 4	NEW CONCRETE DRIVEWAY, BROOM FINISH
CONC 5	EXISTING CONCRETE STAIR, PAINTED, COLOR TBD
GRASS	GRASS SOD
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	EXISTING VERTICAL FIBER CEMENT BOARD SIDING, TO BE REMOVED
METAL 1	EXISTING STANDING SEAM METAL ROOF
METAL 2	STEEL STAIR STRUCTURE
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
SHINGLE 1	EXISTING ASPHALT SHINGLE, TO BE REMOVED
SHINGLE 2	NEW ASPHALT SHINGLE, TBD
STUCCO 1	STUCCO SKIRTING, COLOR TBD
TILE 3	TILE BACKSPLASH; CT-3
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 2	NEW WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 3	EXISTING WOOD DECK, PAINTED, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING, 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD
WOOD 7	WOOD SOFFIT

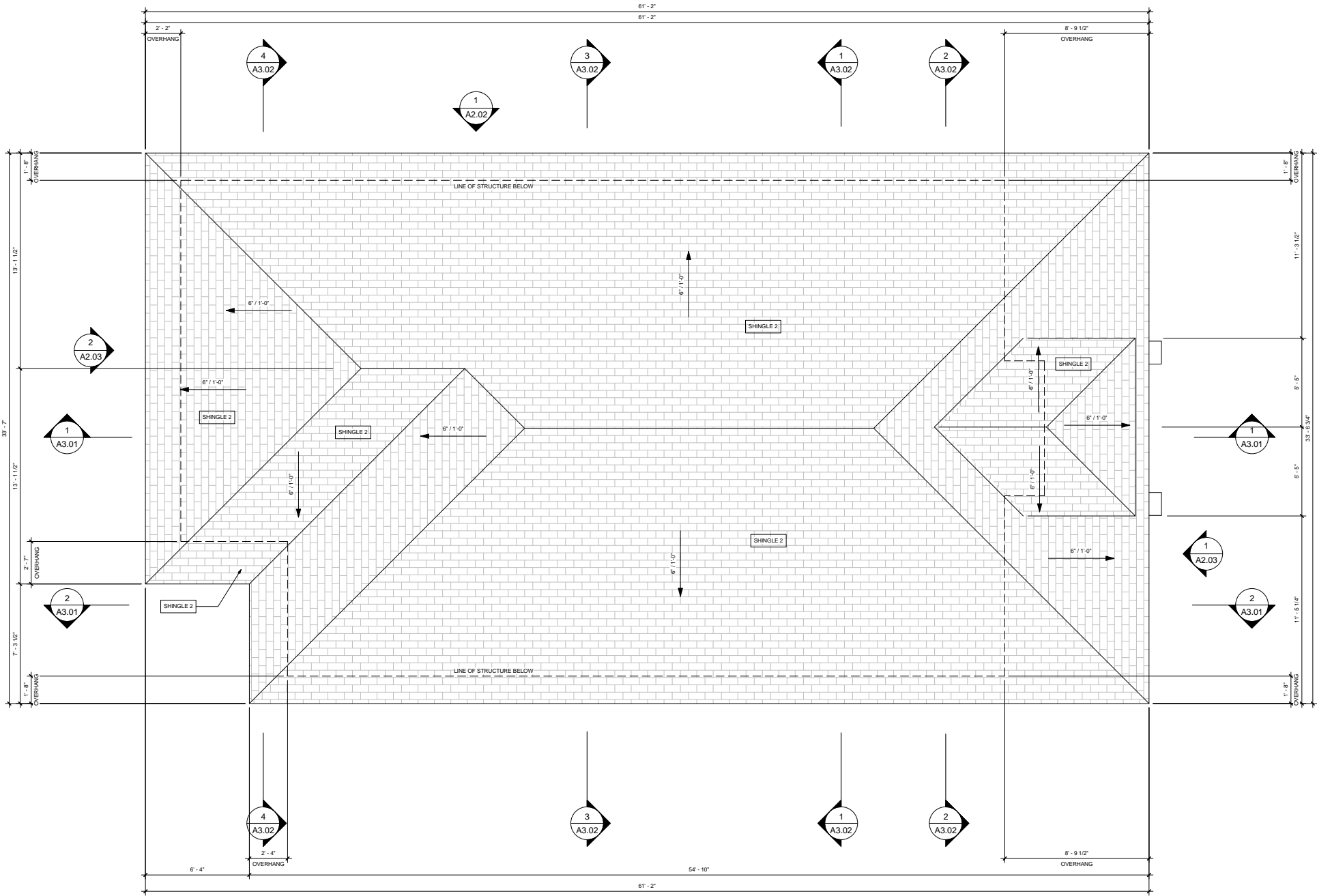


2 SITE PLAN - EXISTING
Scale: 1/8" = 1'-0"



1 SITE PLAN - PROPOSED
Scale: 1/8" = 1'-0"

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1 ROOF PLAN
Scale: 1/4" = 1'-0"

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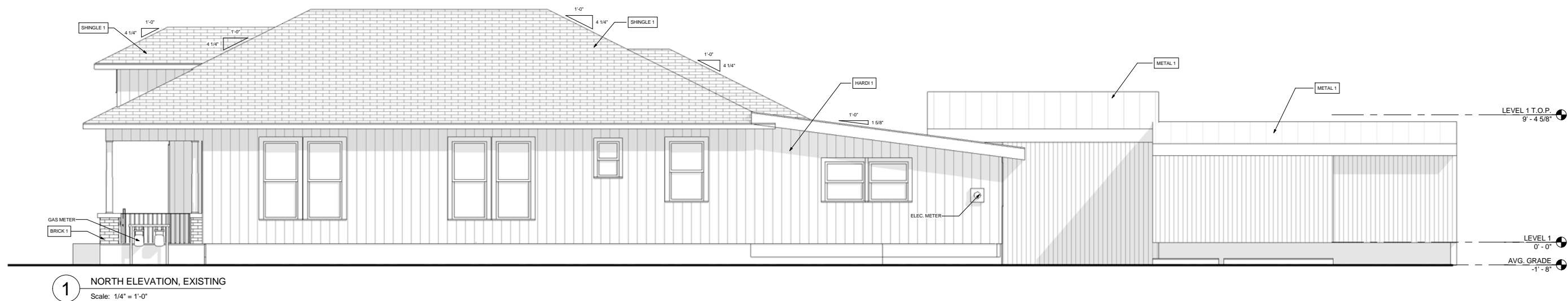
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ROOF PLAN

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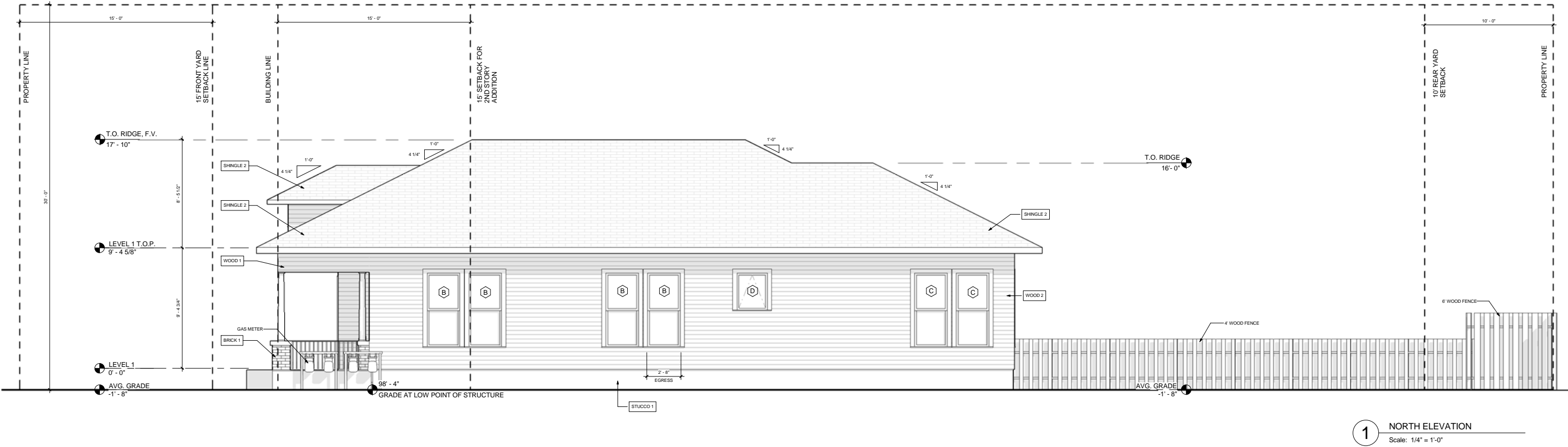
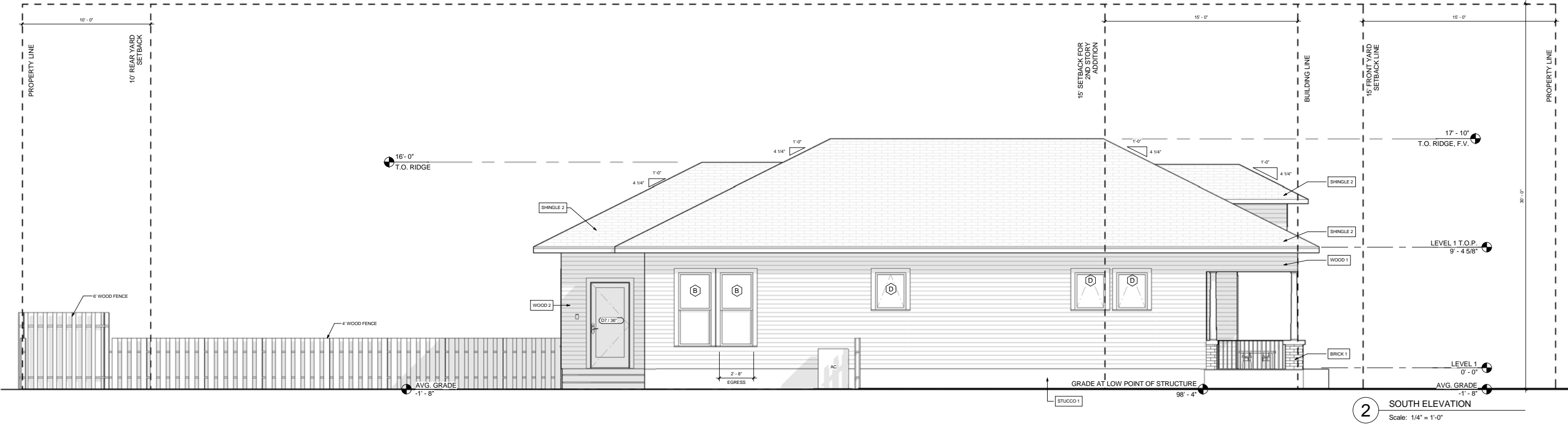
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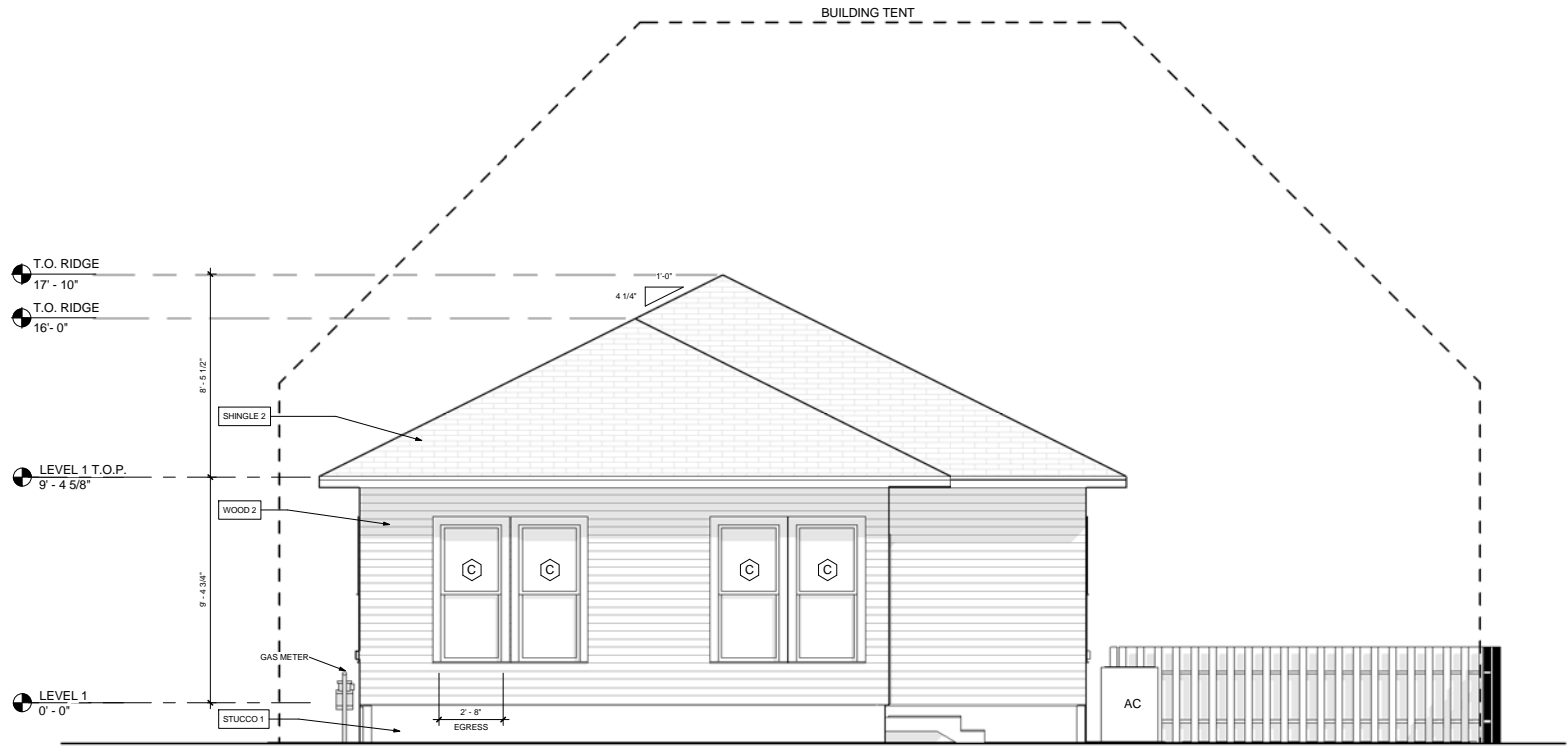
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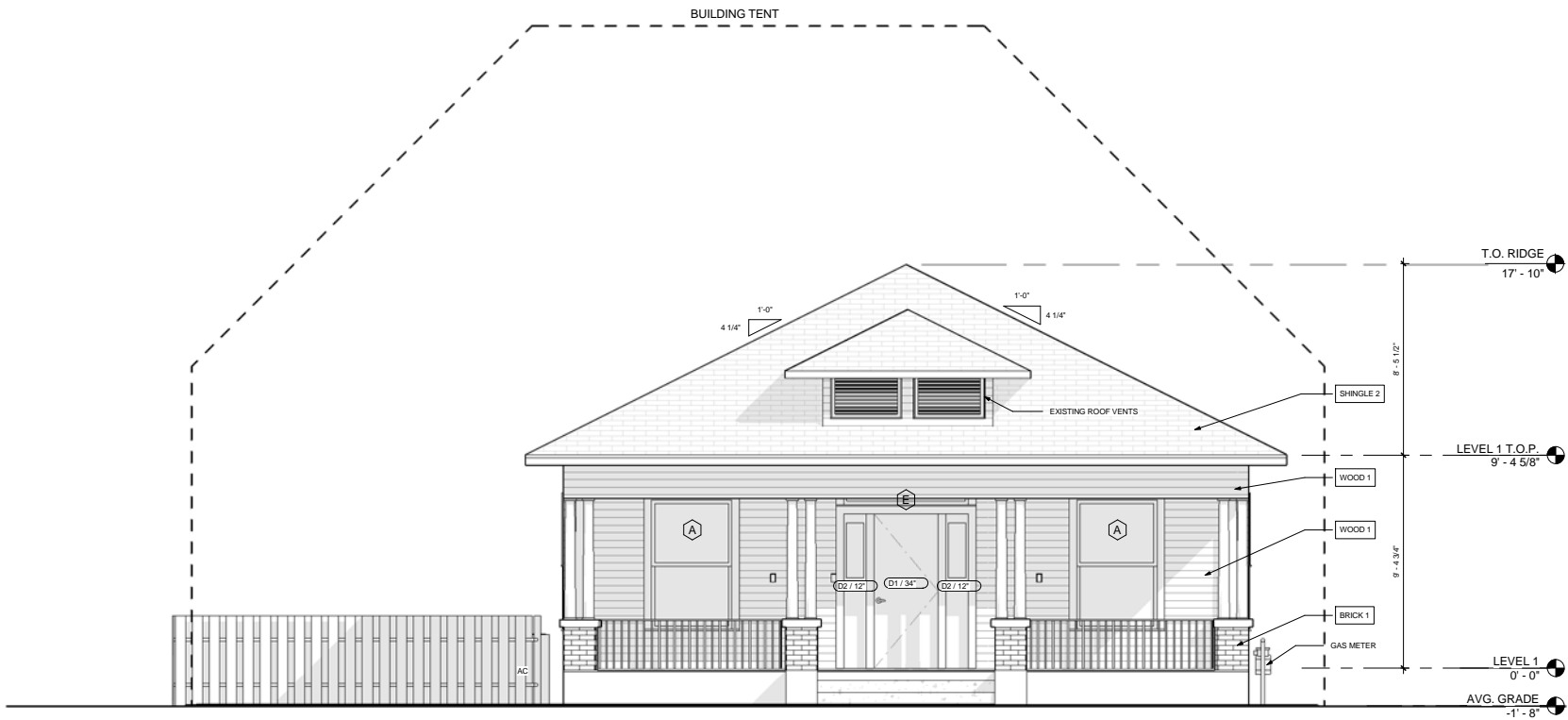
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A2.02



2 WEST ELEVATION
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1 EAST ELEVATION
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