

1 SURVEY
FULL SIZE SCALE: 1" = 15'
HALF SIZE SCALE: 1" = 30'

JOSEPH BUILDERS

RD/D
Rodenberg Design Development
Ryan Rodenberg
512.796.5995
rrodenberg@gmail.com

812 THERESA - LOT 5
AUSTIN, TEXAS 78703

DRAWN BY: RR

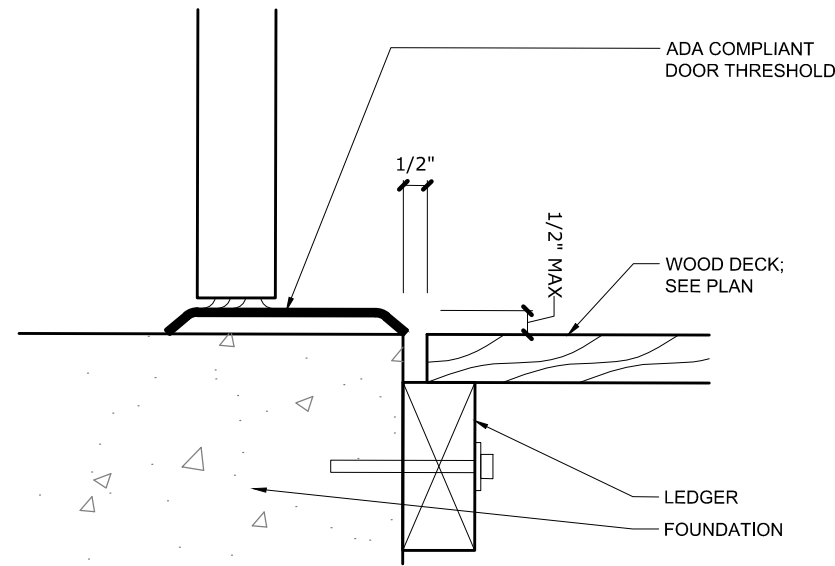
CONTACT: RR

DATE: 3/17/17

JOB #: 17.03

SURVEY

A0.2

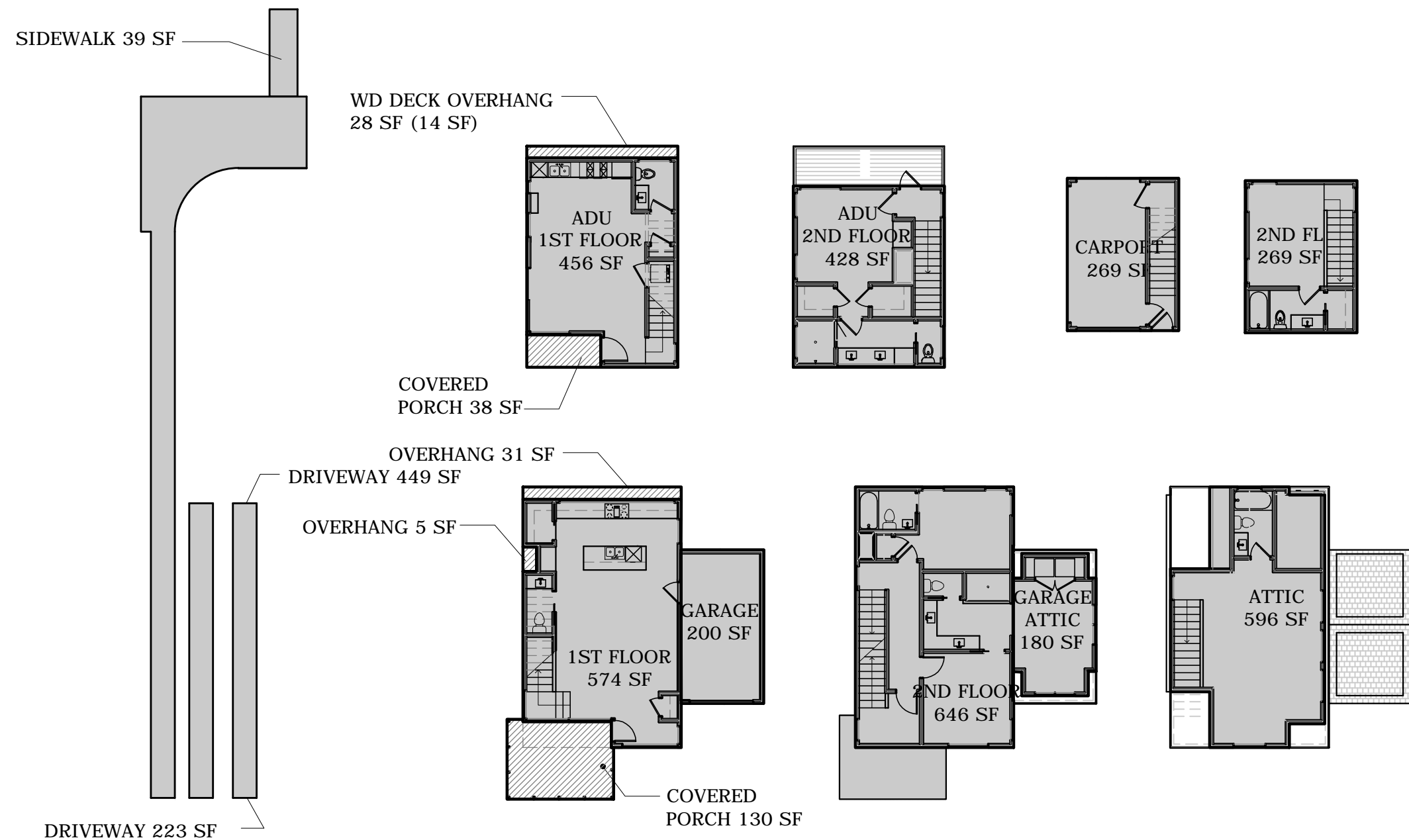


3 THRESHOLD DETAIL @ ENTRANCE
24X36 SIZE SCALE: 3" = 1'-0" (11X17 SIZE SCALE: 1 1/2"=1'-0")

VISITABILITY NOTES:
1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL.
2. OUTLETS AND RECEPTACLES MINIMUM 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS

VISITABILITY ENTRANCE:
- DOOR 3'X8"
VISITABLE NO STEP ENTRY MAX 1/2" BEVELED THRESHOLD; SEE DETAIL 2/-
- 3'X3' LANDING WITH MAX SLOPE 1/4" / FT
- IF FOUNDATION PLAN SHOWS MORE THAN 1-1/2" DROP, DESIGN PROFESSIONAL MUST PROVIDE THRESHOLD DETAIL.

VISITABILITY BATHROOM:
- DOOR 3'X8"
- 2'X6' BLOCKING CENTERLINE AT 34" ABOVE FINISH FLOOR (EXCEPT BEHIND LAVATORY)

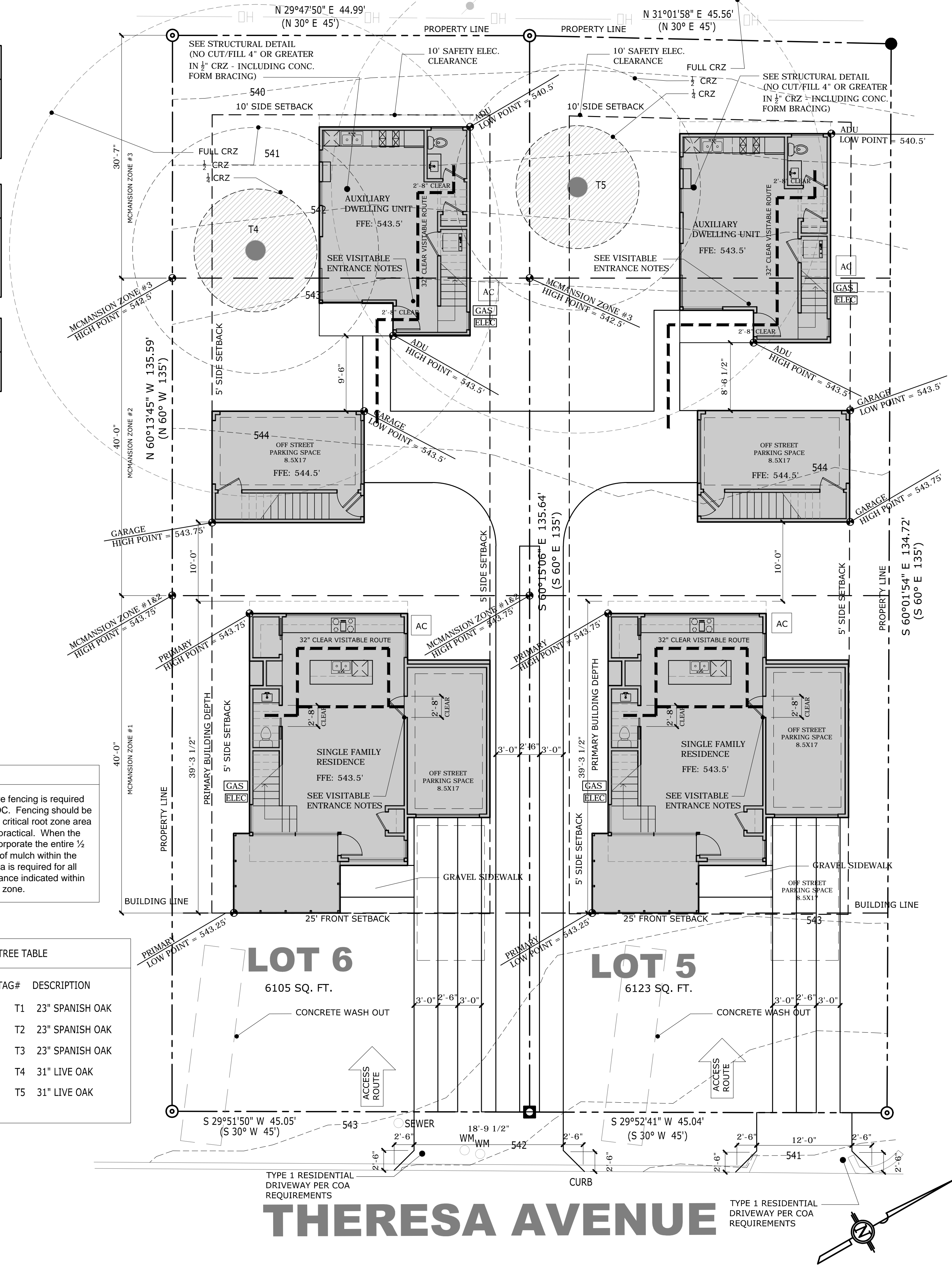


2 AREA CALCULATIONS
24X36 SIZE SCALE: 1/16" = 1'-0" (11X17 SIZE SCALE: 1/32"=1'-0")

TREE NOTES

Prior to construction protective fencing is required around all trees within the LOC. Fencing should be indicated to protect the entire critical root zone area or as much of the CRZ as is practical. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone.

TREE TABLE	
TAG#	DESCRIPTION
T1	23" SPANISH OAK
T2	23" SPANISH OAK
T3	23" SPANISH OAK
T4	31" LIVE OAK
T5	31" LIVE OAK



1 SITE PLAN
24X36 SIZE SCALE: 1/8" = 1'-0" (11X17 SIZE SCALE: 1/16"=1'-0")

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SITE PLAN

A1.0

GENERAL NOTES:

- FLOORING:
FIRST FLOOR: SEALED CONCRETE
SECOND FLOOR: 5/8" T & G WOOD THROUGHOUT.
BATHROOMS, LAUNDRY: TILE: x; PORCELAIN TILE ON HARDIBACKER OVER 3/4" T&G PLYWOOD DECK.
- ALL WALLS; 2X4; PLUMBING WALLS; 2X6. INSULATE EXTERIOR WALLS R-19 MIN.
- FORM INSULATE ROOF, R-38 MIN.
- ALL DOOR HAVE A 96" HEIGHT

NOTES:

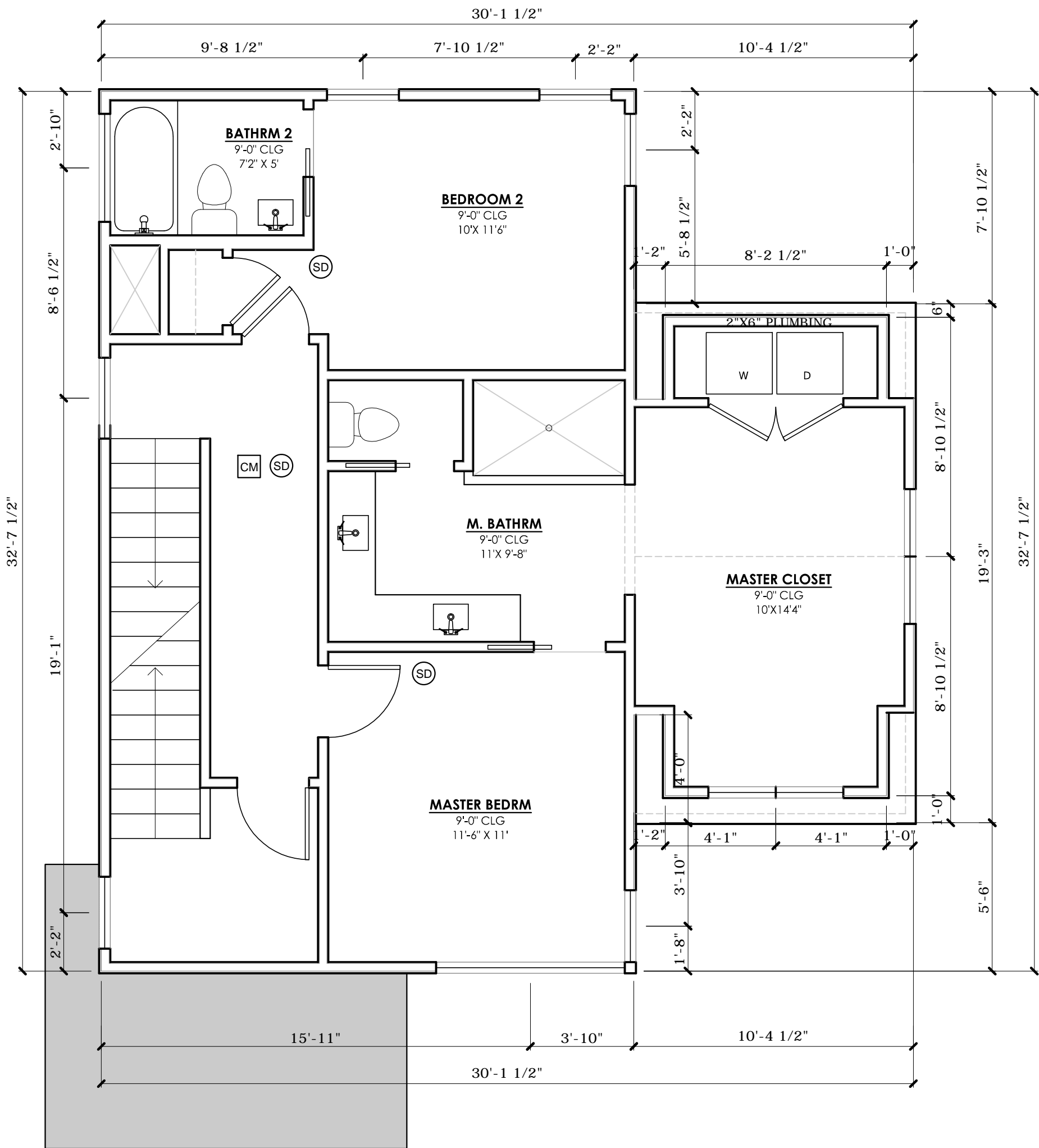
- SD

SMOKE DETECTOR INSTALLED
IN ACCORDANCE WITH
IRC 2012 R314
- CM

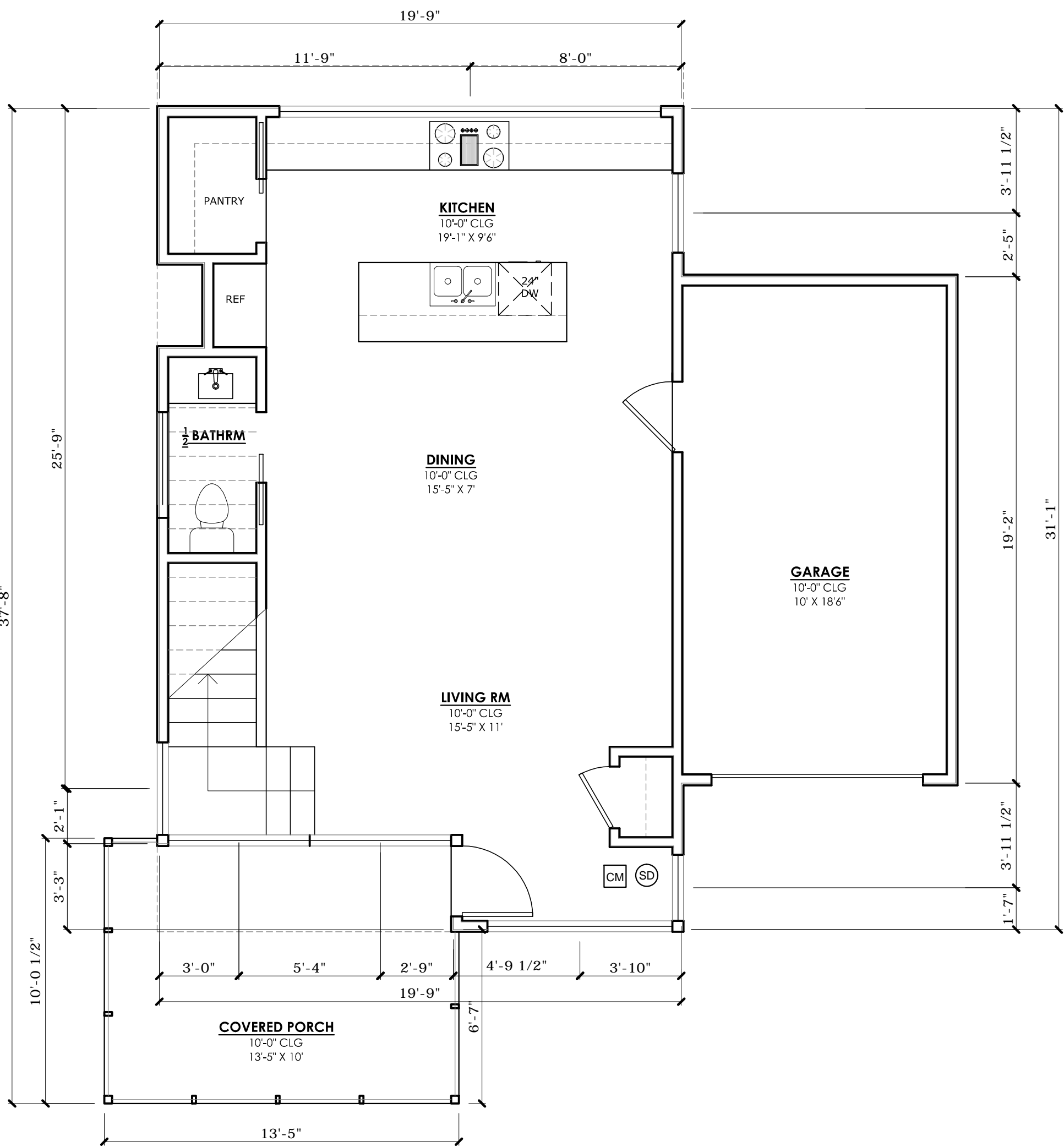
CARBON MONOXIDE
DETECTOR INSTALLED
IN ACCORDANCE WITH
IRC 2012 R315

PLAN NOTES:

1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC
R310.1, R311.2, R312.2.
2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012
IRC R311.5.1, R311.7, R312.1.
3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE
TO COMPLY WITH ALL VISIBILITY STANDARDS UNDER CITY
CODE SEC. 25-12-243, R320. VISIBILITY ITEMS ARE
REFERENCED ON FLOOR PLANS.



2 PRIMARY - SECOND FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 PRIMARY - FIRST FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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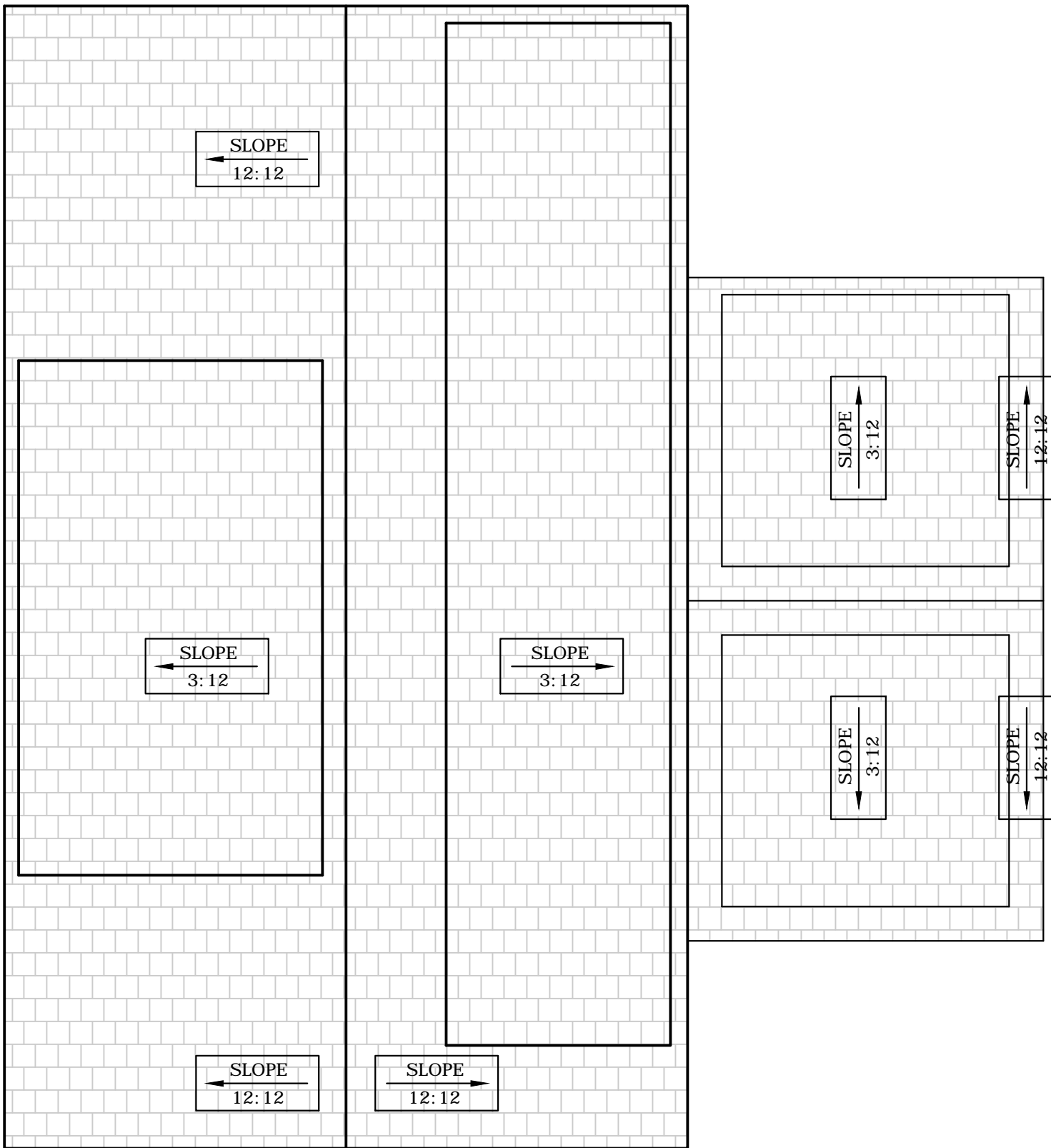
JOB #: 17.03

PRIMARY -
FLOOR PLANS

A2.0

GENERAL NOTES:

1. DIMENSIONS INDICATED ARE HORIZONTAL PLAN DIMENSIONS.
2. REFER TO REFLECTED CEILING PLAN FOR EXTENT OF SOFFITS.
3. ROOF VENT LOCATIONS ARE NOT SHOWN. COORDINATE WITH OTHER TRADES FOR EXACT LOCATION OF ALL ROOF PENETRATIONS CENTERED IN METAL ROOF PANEL SYMMETRICAL WITH STANDING SEAMS AT 12" O.C., AND COORDINATE WITH RAFTERS AT 16" O.C.
4. ROOF ASSEMBLY: METAL ROOF SYSTEM, MBCI "BATTENLOK HS" OR APPROVED EQUAL, MINIMUM 24 GAUGE PERFORMED, GALVALUME, LARGE BATTEN, VERTICAL LEG, CONCEALED FASTENER, STANDING SEAM METAL ROOF SYSTEM, CONTINUOUSLY LOCKED, MECHANICALLY SEAMED ROOF PANEL SYSTEM.
5. BREATHABLE, HIGH TEMP METAL ROOF UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS TITANIUM UDL 50 OR SIMILAR. PROVIDE 1" UNDER-DECK VENTILATION / AIR SPACE WHEN USING POLYURETHANE FOAM INSULATION.
6. ALL ROOF PENETRATIONS, CURBS, FLUES, VENTS, VENT CAPS, HOODS, FAN HOUSINGS, ETC. SHALL BE FINISHED OR PAINTED TO MATCH ROOF
7. PROVIDE FLEXIBLE PIPE FLASHINGS UNITS AT ALL PLUMBING, COOKTOP/RANGE, AND DRYER VENT PENETRATIONS THROUGH THE METAL ROOF.
8. ALL HARDWARE IN CONTACT WITH PRESERVATIVE PRESSURE TREATED (PPT) LUMBER SHALL BE STAINLESS STEEL, DOUBLE HOT DIPPED GALVANIZED, OR TRIPLE ZINC (ZMAX), INCLUDING STRUCTURAL METAL ANCHORS, ANGLES OR TIES, BOLTS, NAILS, LAG SCREWS AND SCREWS.



2 PRIMARY - ROOF PLAN
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GENERAL NOTES:

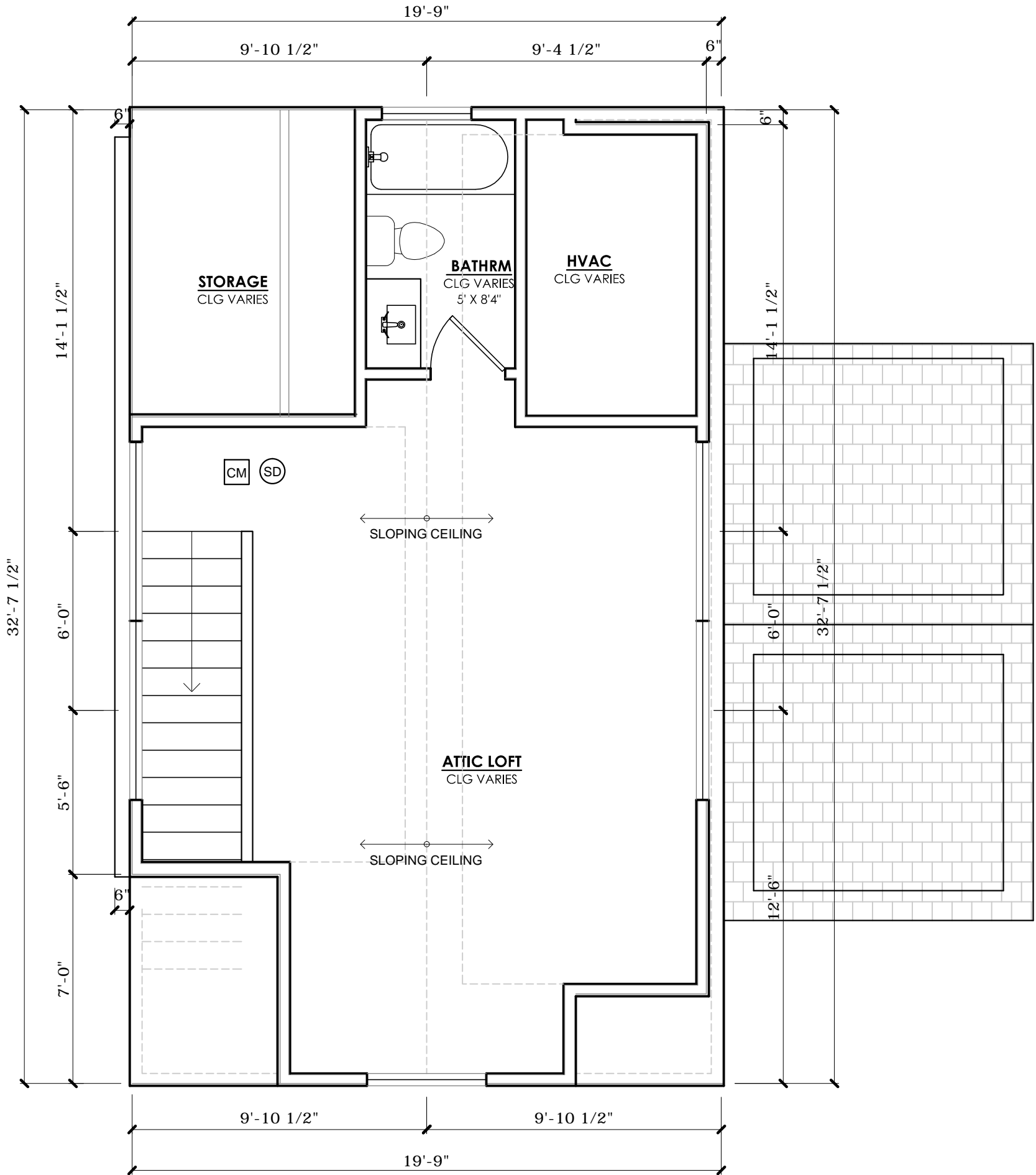
- FLOORING:
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- FORM INSULATE ROOF, R-38 MIN.
- ALL DOOR HAVE A 96" HEIGHT

NOTES:

- SD SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R314
- CM CARBON MONOXIDE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R315

PLAN NOTES:

1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC R310.1, R311.2, R312.2.
2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012 IRC R311.5.1, R311.7, R312.1.
3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE TO COMPLY WITH ALL VISIBILITY STANDARDS UNDER CITY CODE SEC. 25-12-243, R320. VISIBILITY ITEMS ARE REFERENCED ON FLOOR PLANS.



1 PRIMARY - ATTIC FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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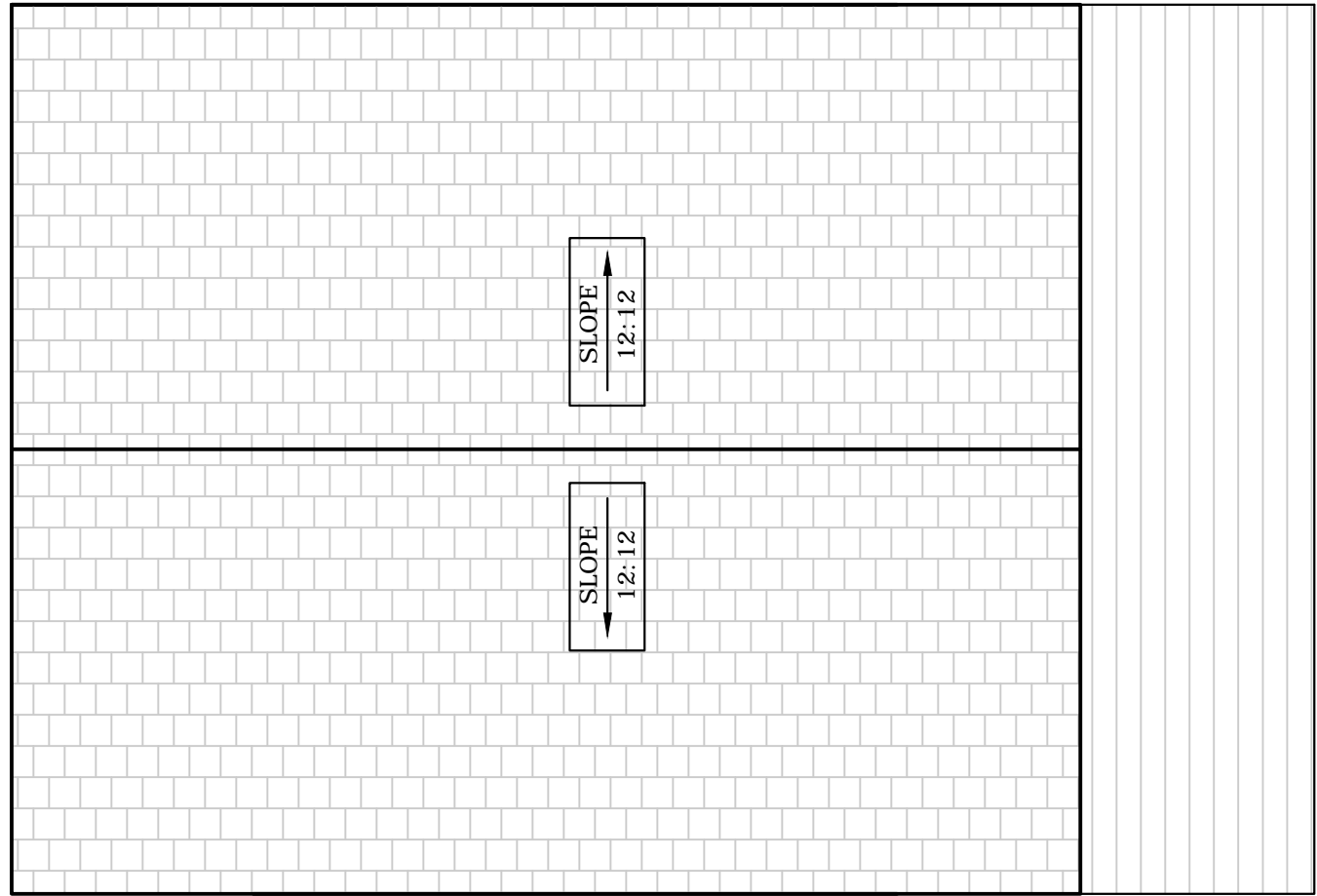
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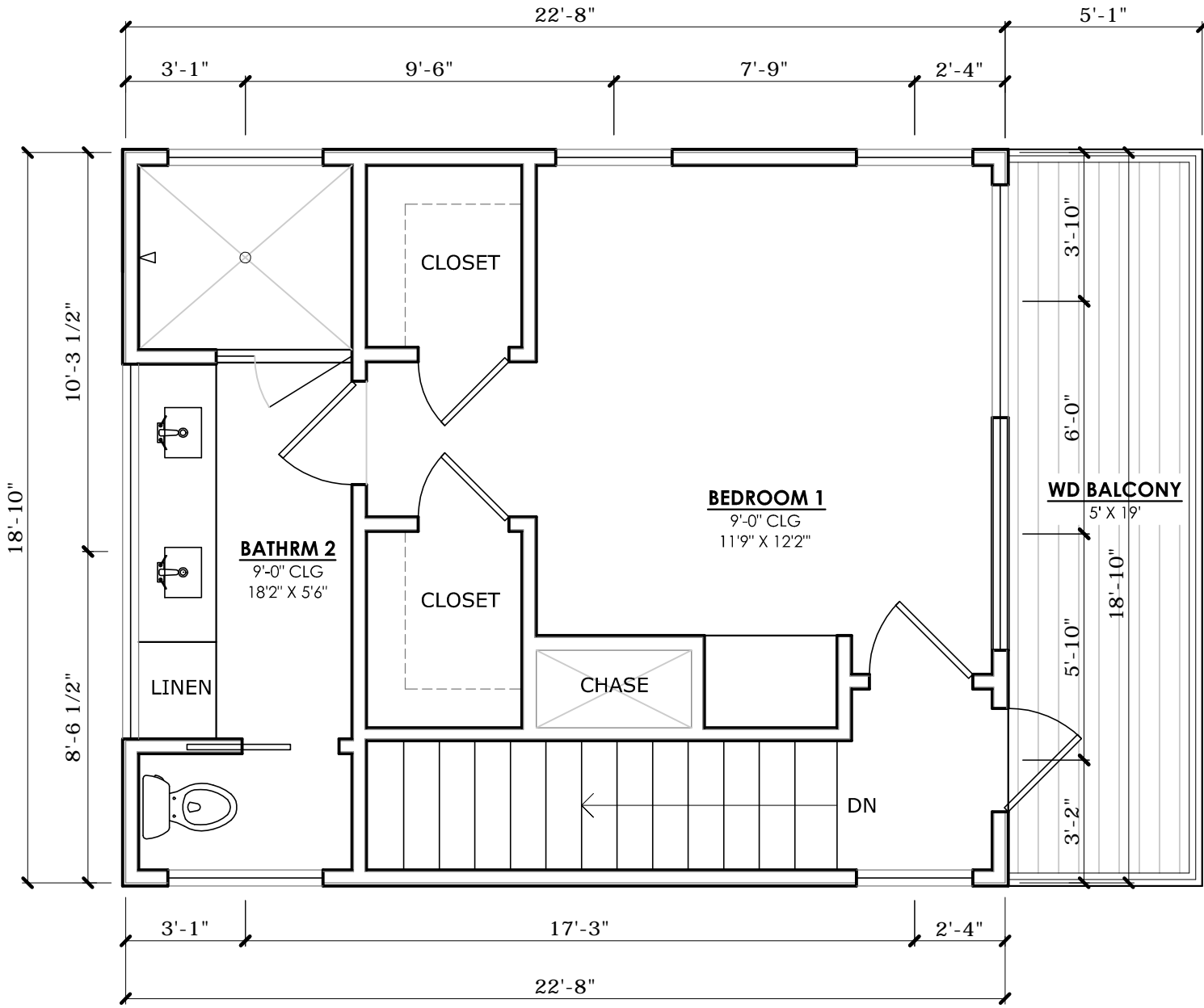
PRIMARY -
FLOOR PLANS

A2.1

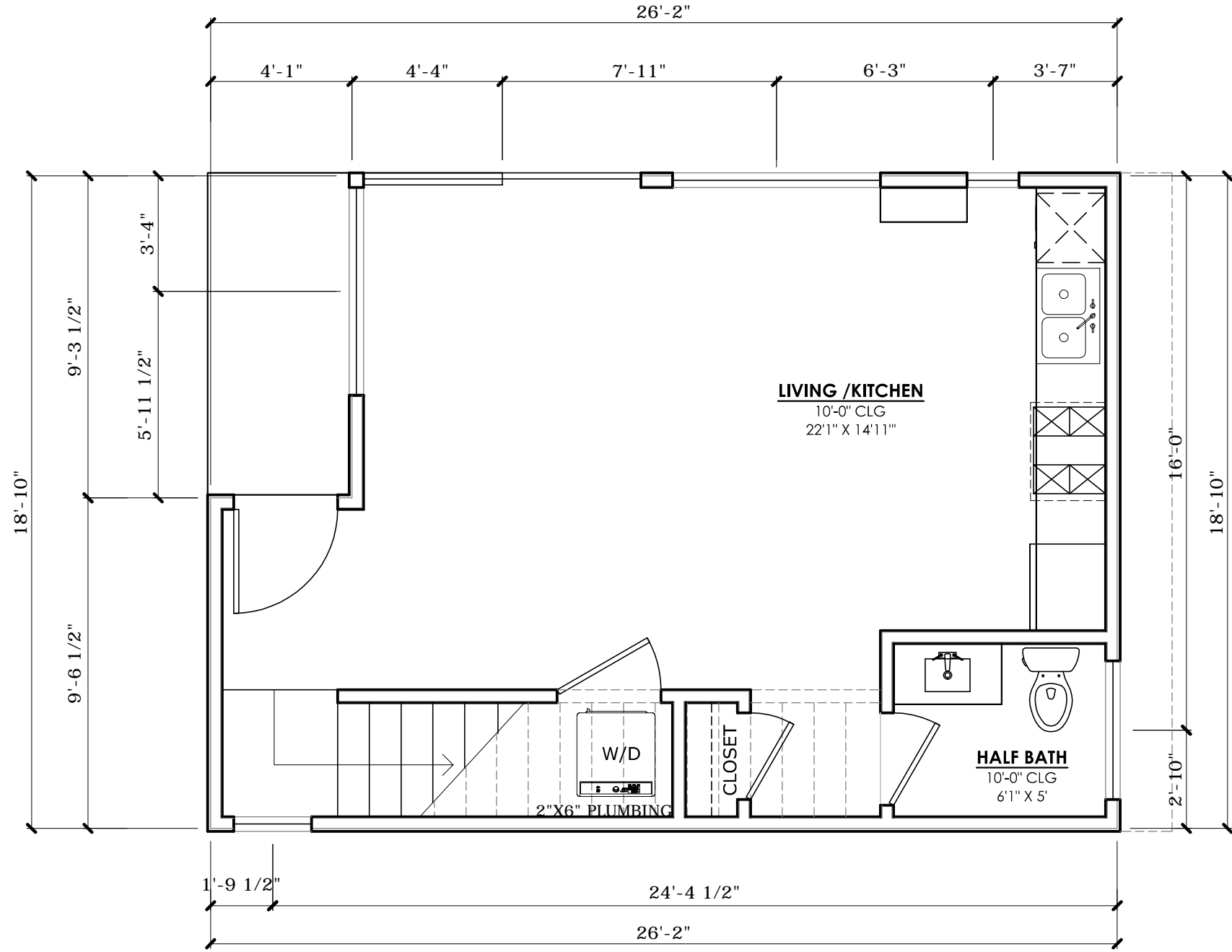
GENERAL NOTES:	PLAN NOTES:	NOTES:
<ul style="list-style-type: none">- ALL WALLS: 2X4; LAUNDRY WALLS: 2X6. INSULATE EXTERIOR WALLS R-19 MIN.- FORM INSULATE ROOF, R-38 MIN.	<ol style="list-style-type: none">1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC R310.1, R311.2, R312.2.2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012 IRC R311.5.1, R311.7, R312.1.3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE TO COMPLY WITH ALL VISIBILITY STANDARDS UNDER CITY CODE SEC. 25-12-243, R320. VISIBILITY ITEMS ARE REFERENCED ON FLOOR PLANS.	<div><div>SD</div>SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R314</div> <div><div>CM</div>CARBON MONOXIDE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R315</div>



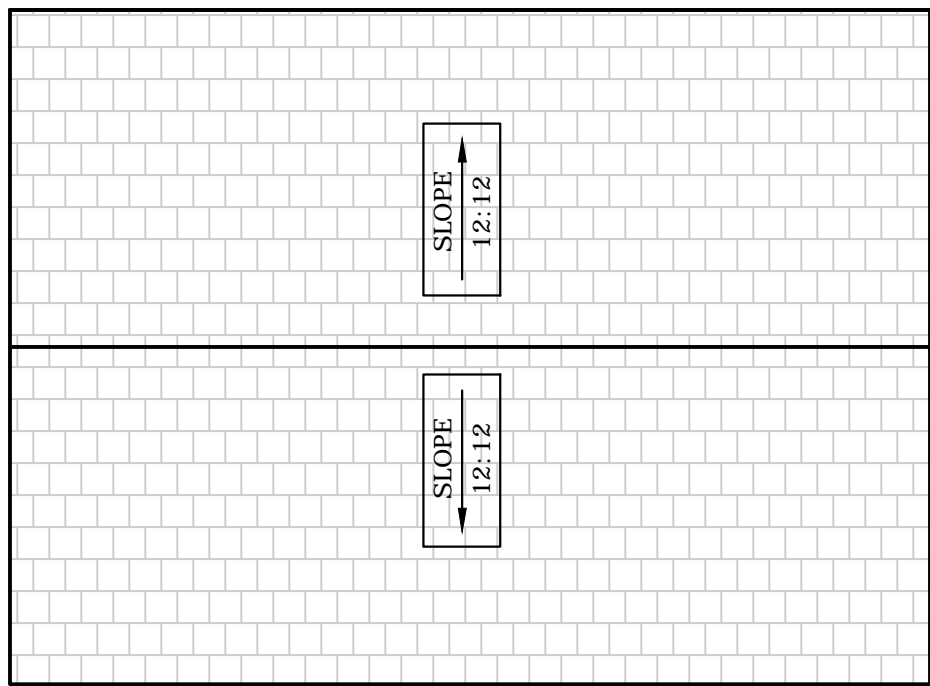
6 ADU - ROOF PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



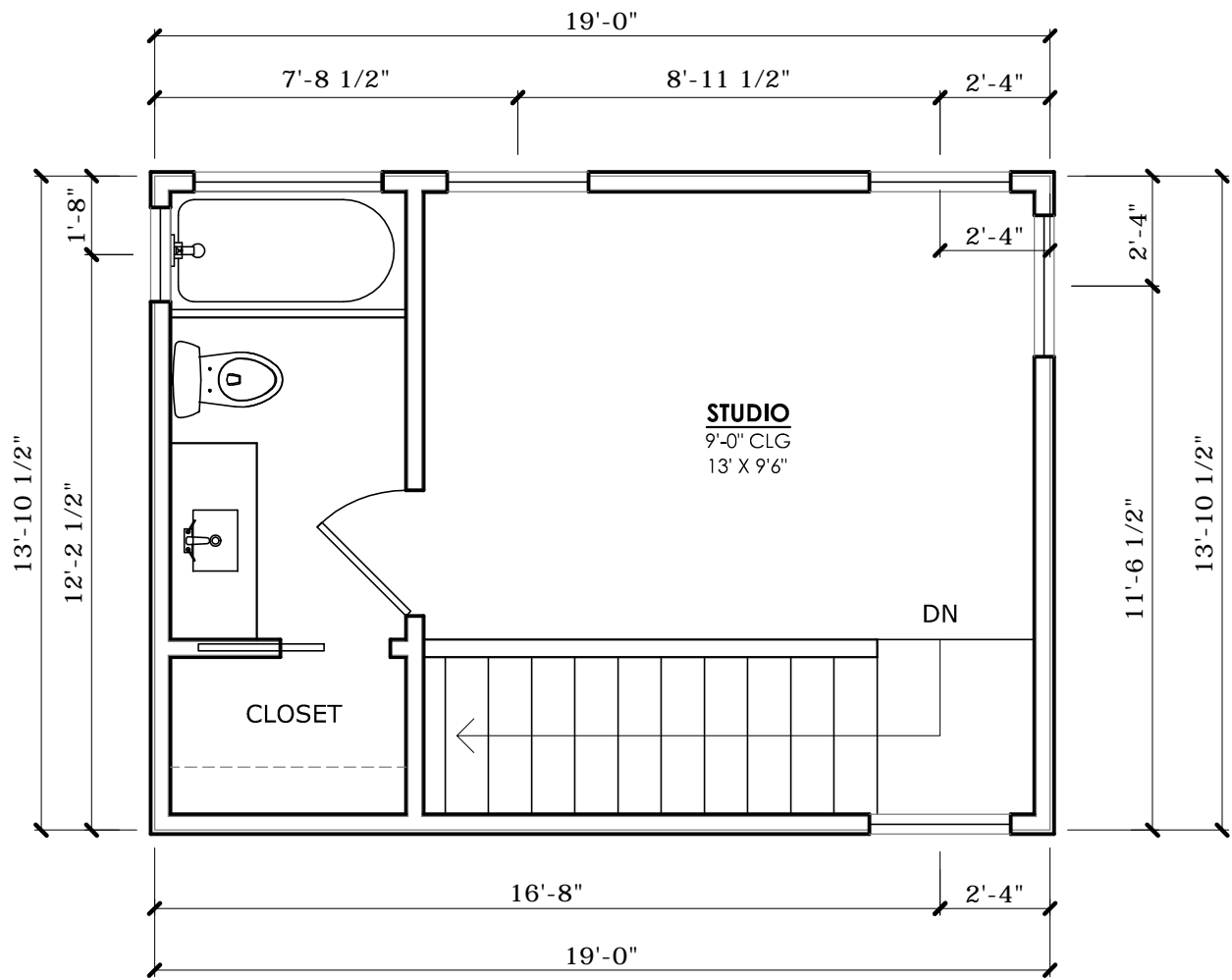
4 ADU - SECOND FLOOR
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



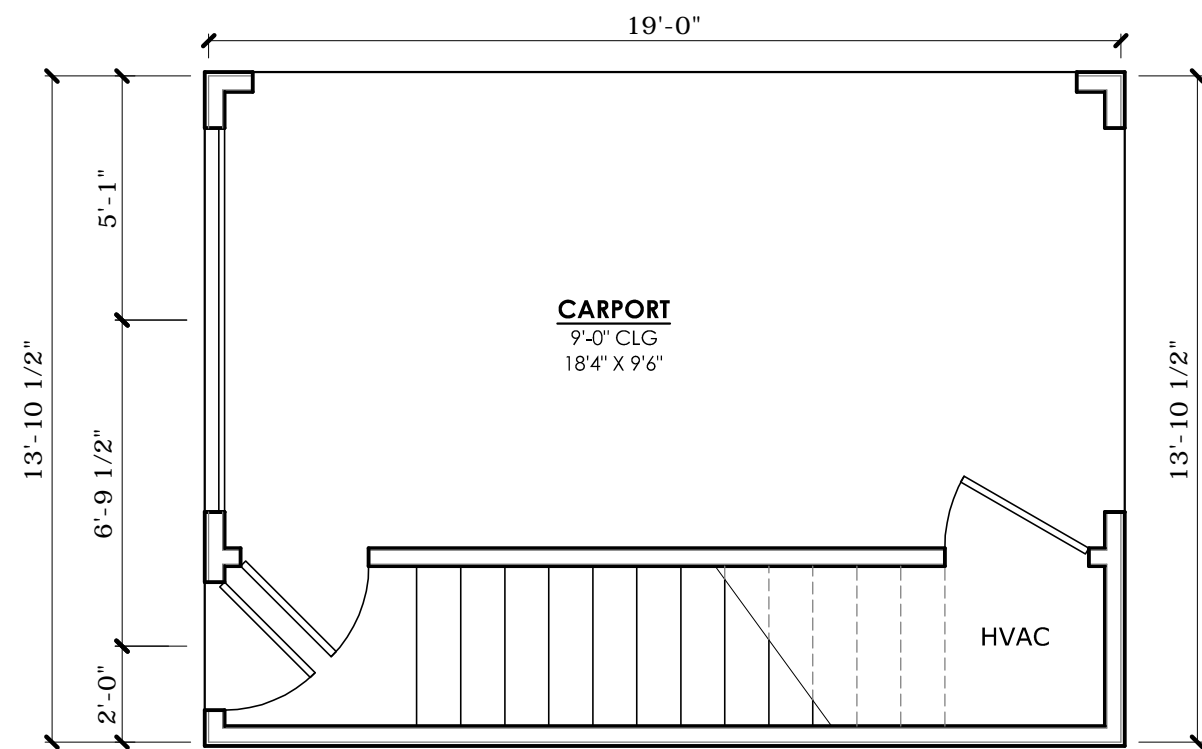
2 ADU - FIRST FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



5 CARPORT - ROOF PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



3 CARPORT - SECOND FLOOR
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 CARPORT - FIRST FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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ADU - FLOOR PLANS

A2.2

FINISH NOTES:

- ALL SIDING, FASCIA, AND EXTERIOR ELEMENTS TO BE SMOOTH FINISH

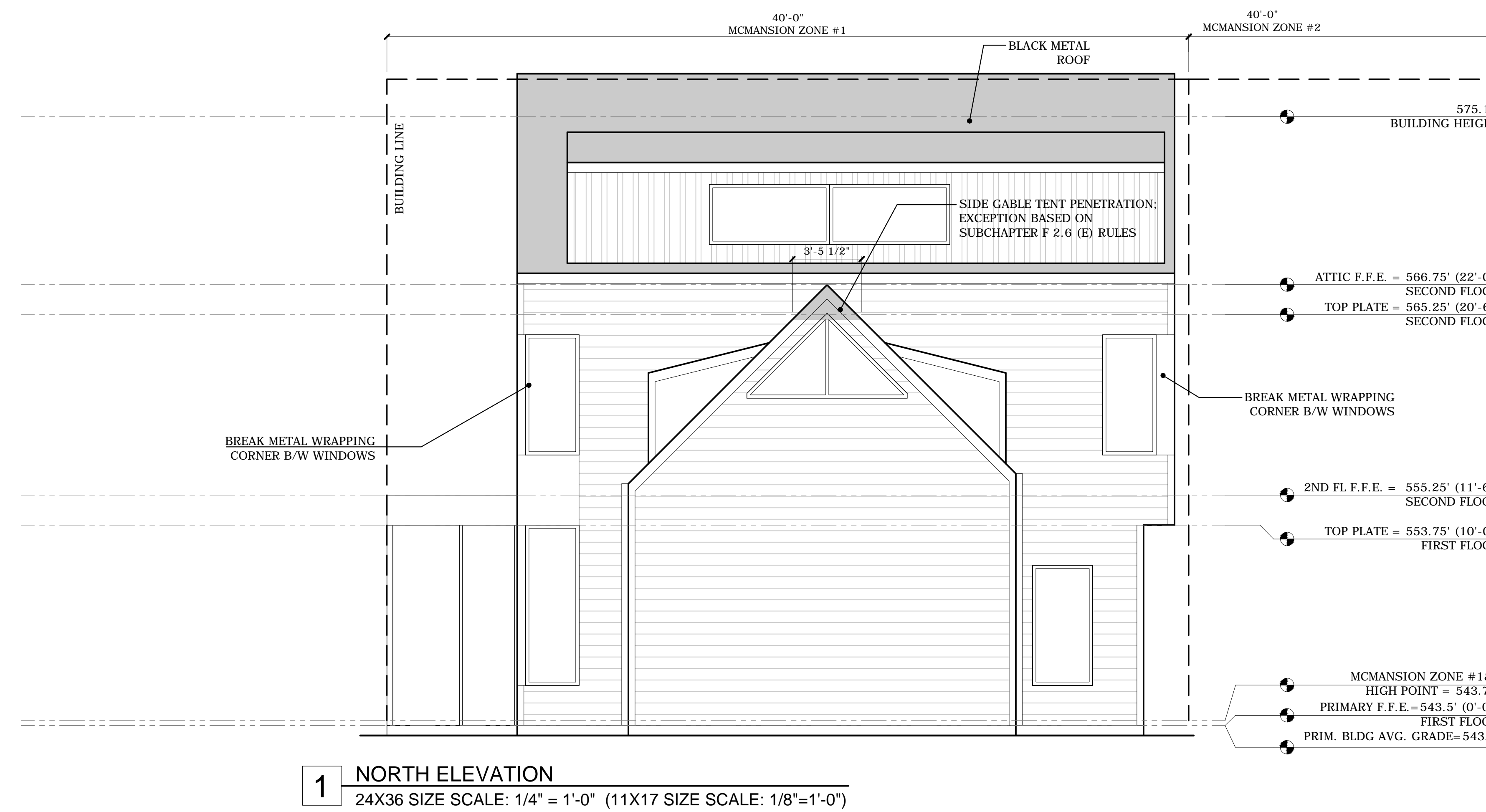
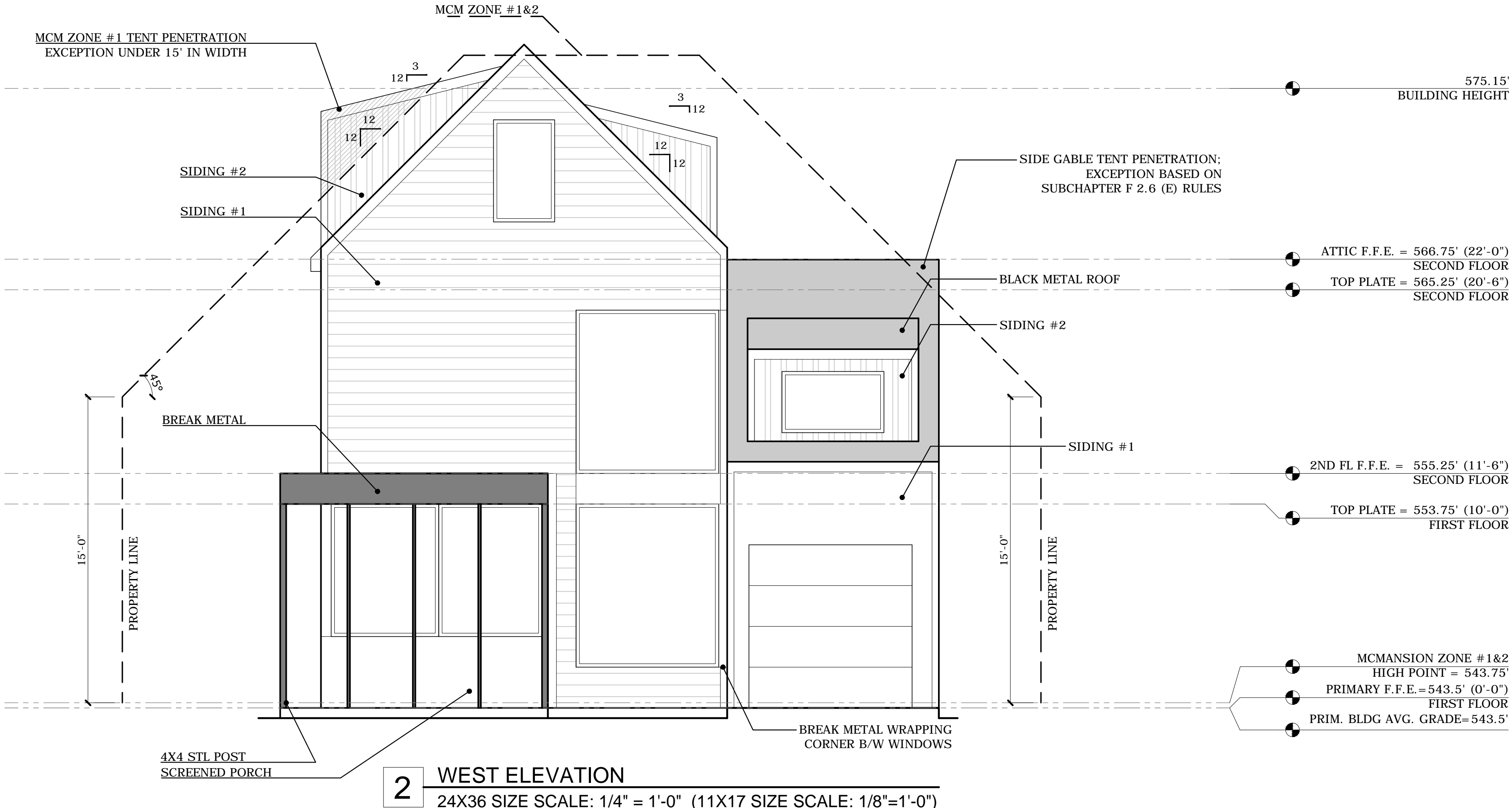
SIDING NOTES:

- TYPE 1 SIDING: FIBER CEMENT BOARD AND BATTEN SIDING "HARDIE BOARD" BY JAMES HARDIE. COLOR TO BE SELECTED BY ARCHITECT. SMOOTH FINISH.

- TYPE 2 SIDING: FIBER CEMENT BOARD AND BATTEN SIDING "HARDIE BOARD" BY JAMES HARDIE. COLOR TO BE SELECTED BY ARCHITECT. SMOOTH FINISH. 6" BATTEN SPACING

EXTERIOR PAINT COLORS:

BODY / TRIM	WHITE
PORCH / TRIM / RAILING	WHITE
SOFFIT FASCIA	WHITE
GARAGE DOOR	BLACK



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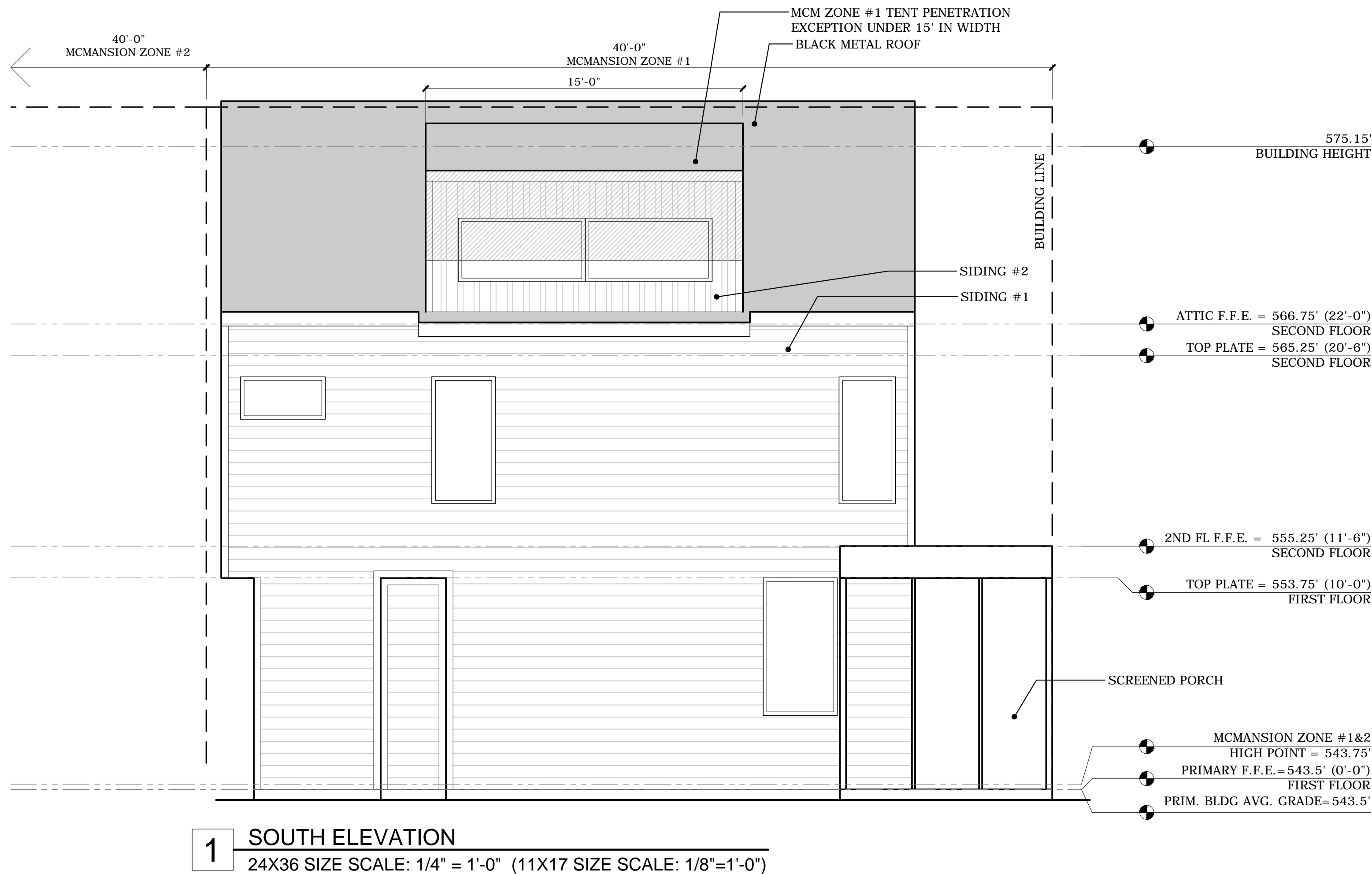
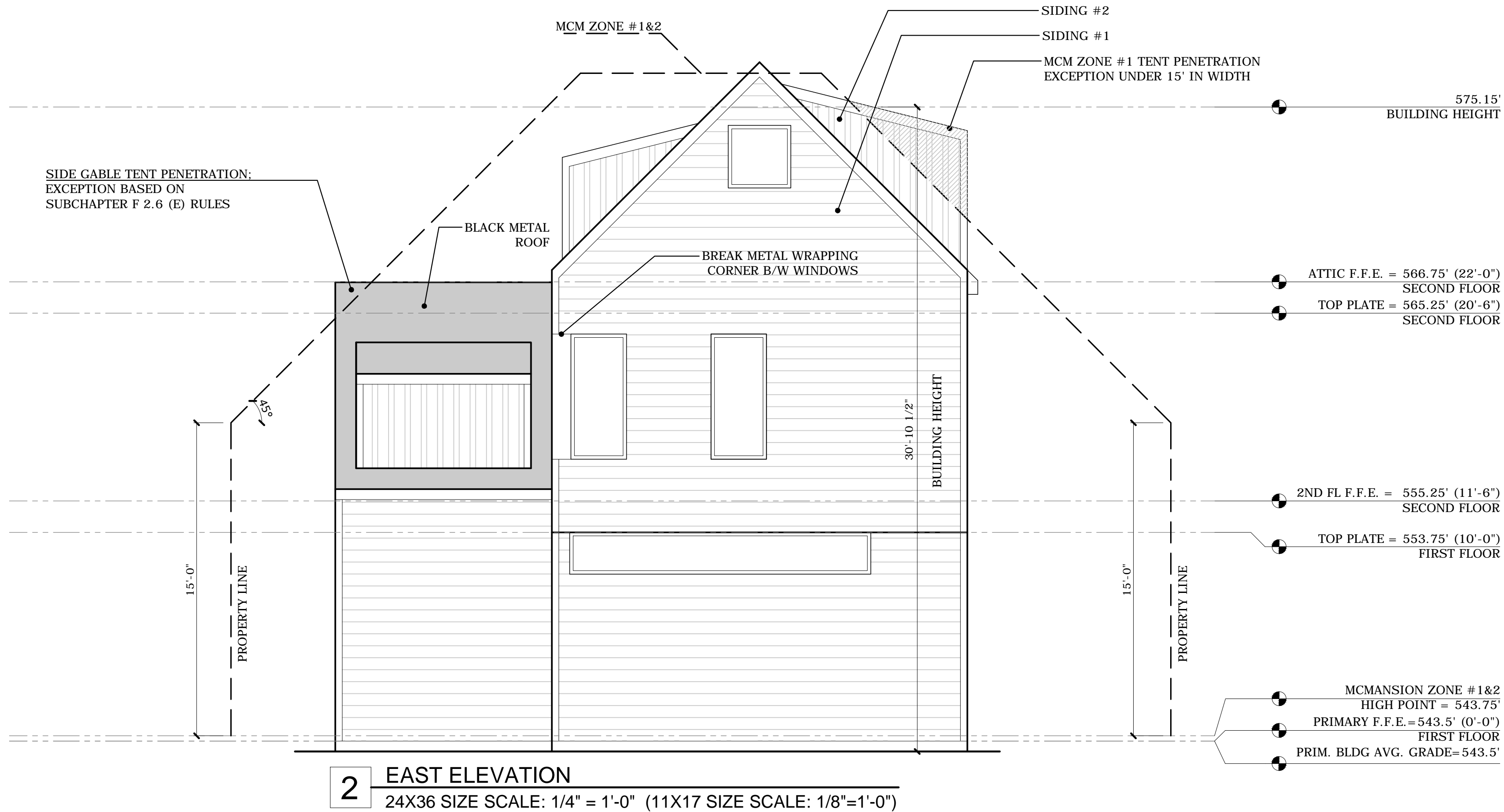
PRIMARY RESIDENCE ELEVATIONS

A3.0

FINISH NOTES:
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SOFFIT FASCIA WHITE
GARAGE DOOR BLACK



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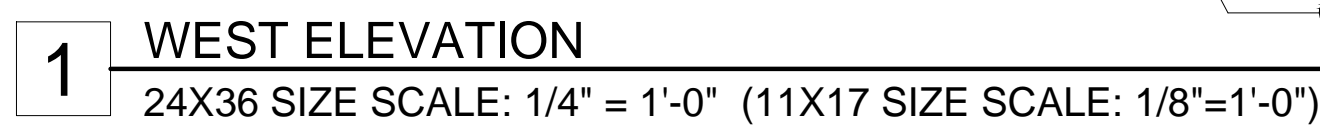
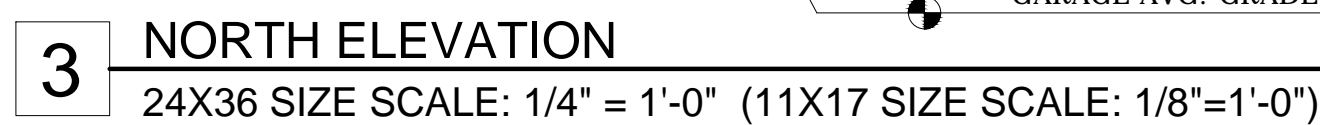
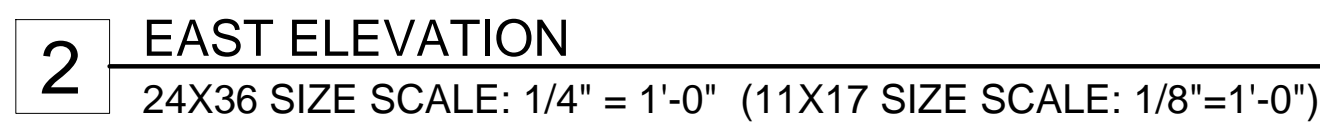
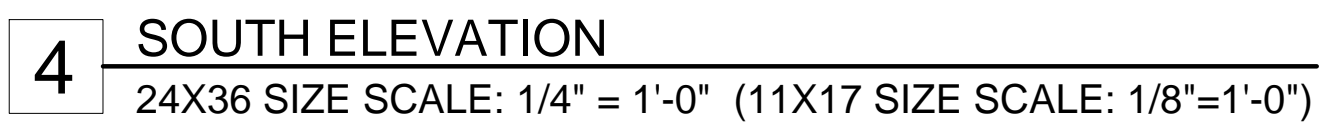
PRIMARY RESIDENCE
ELEVATIONS

A3.1

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PORCH / TRIM / RAILING	WHITE
SOFFIT FASCIA	WHITE
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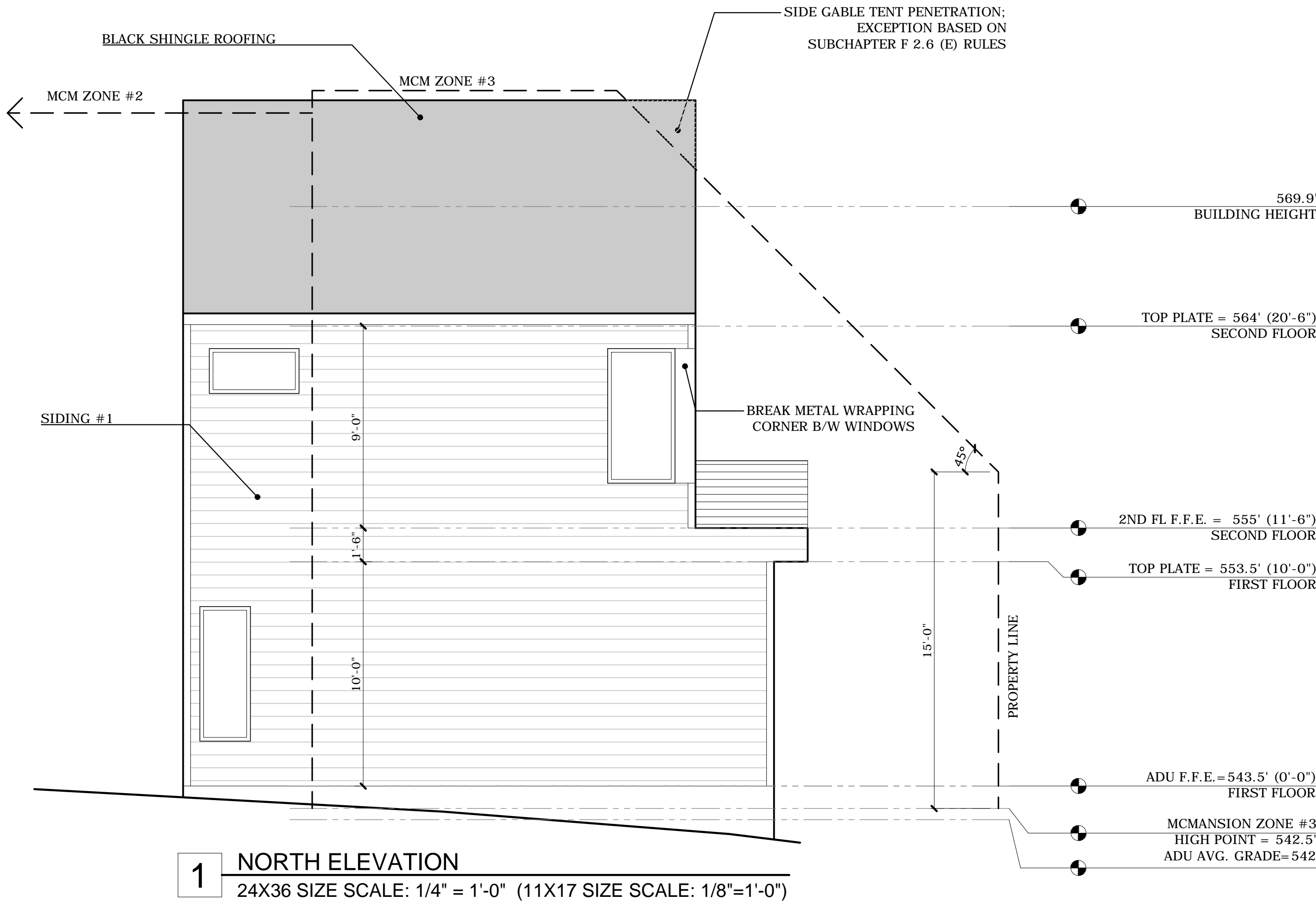
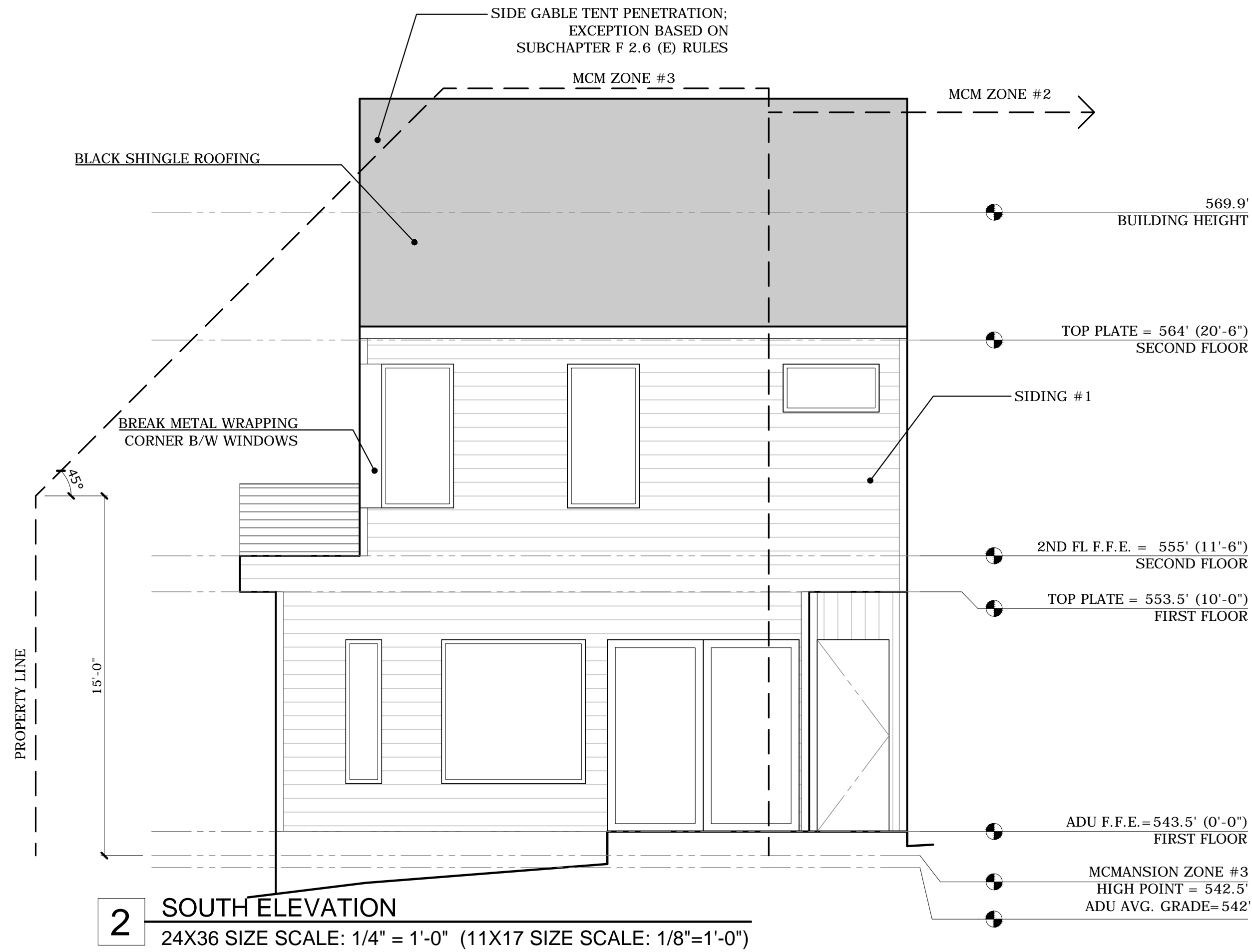
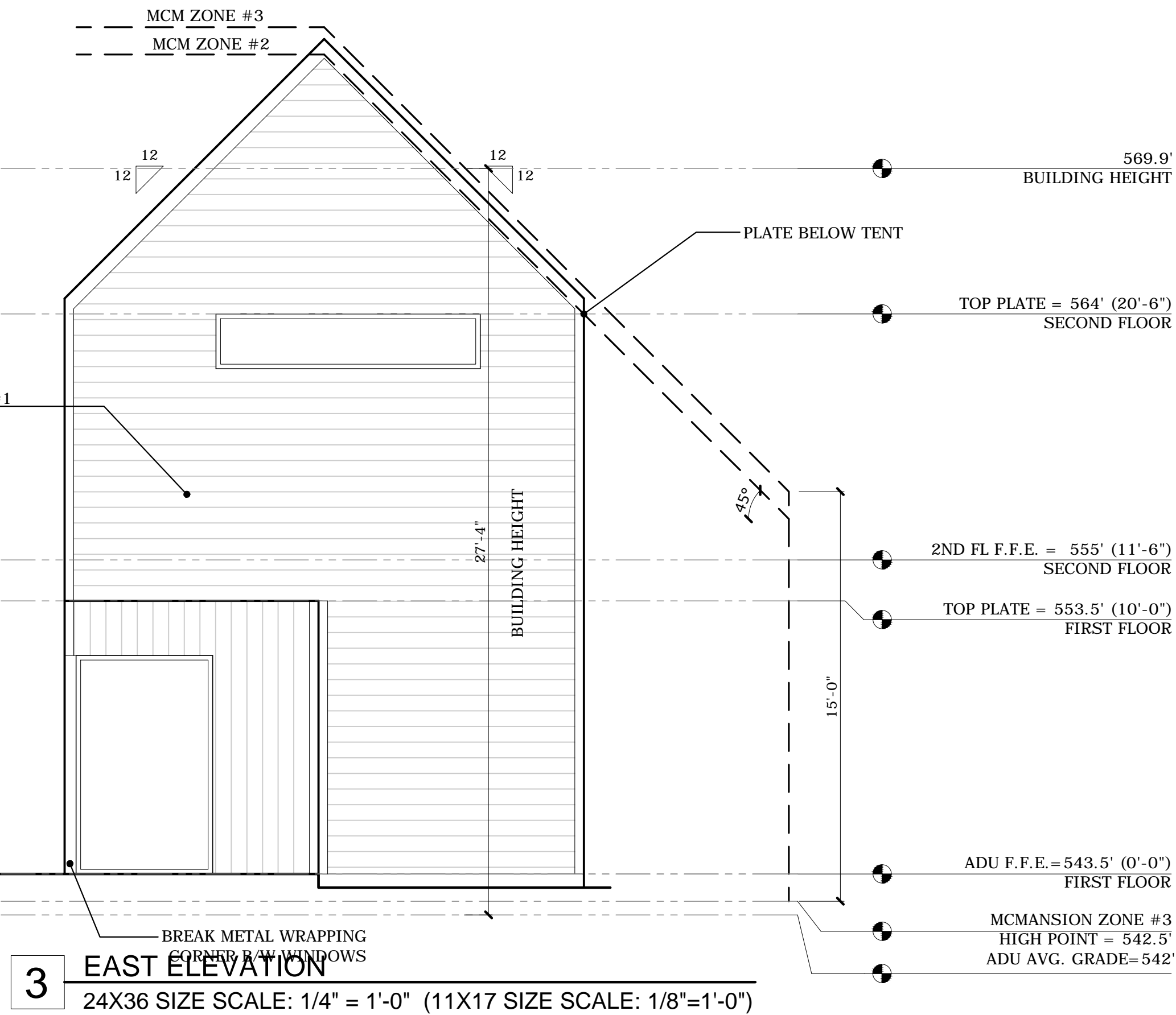
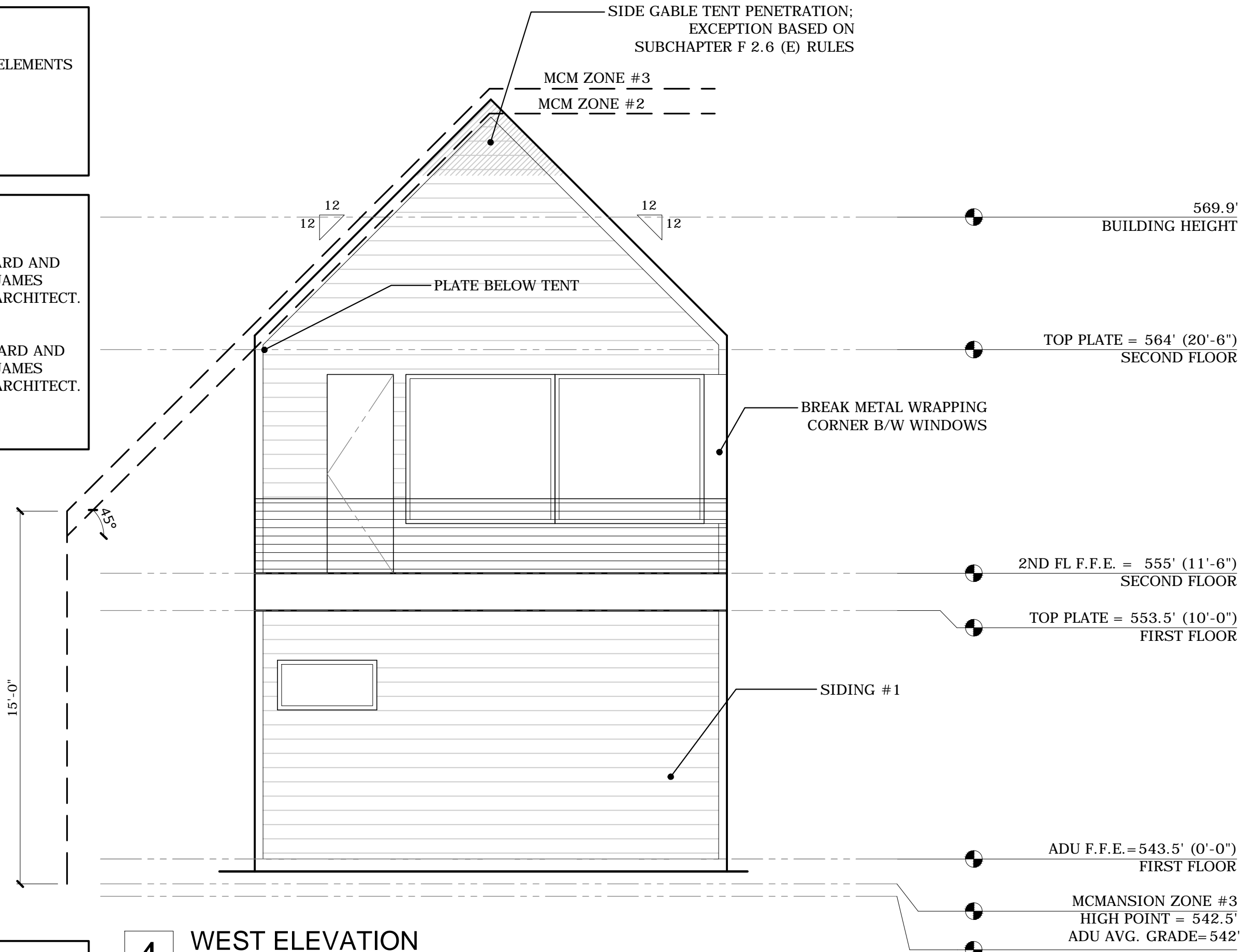
GARAGE ELEVATIONS

A3.2

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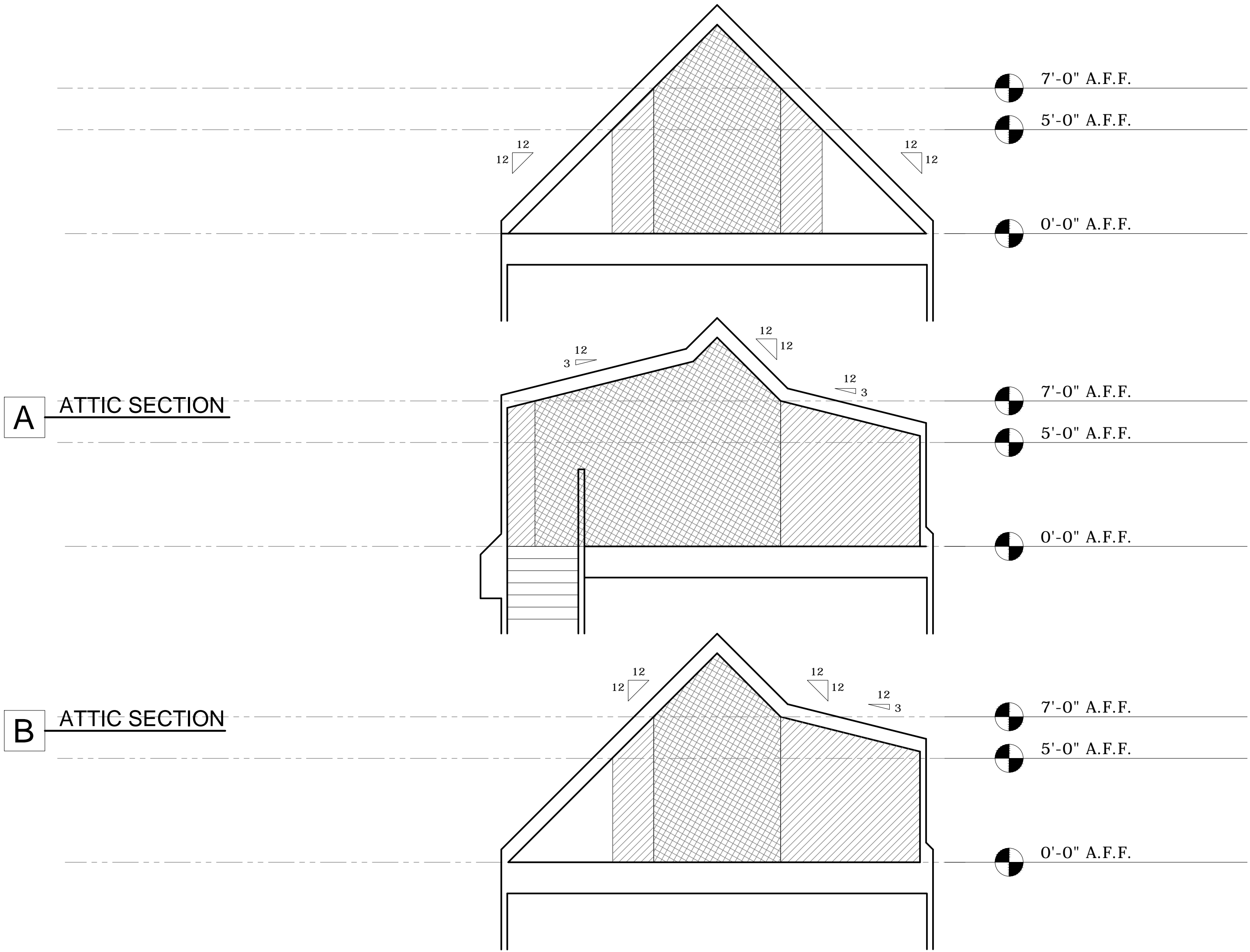
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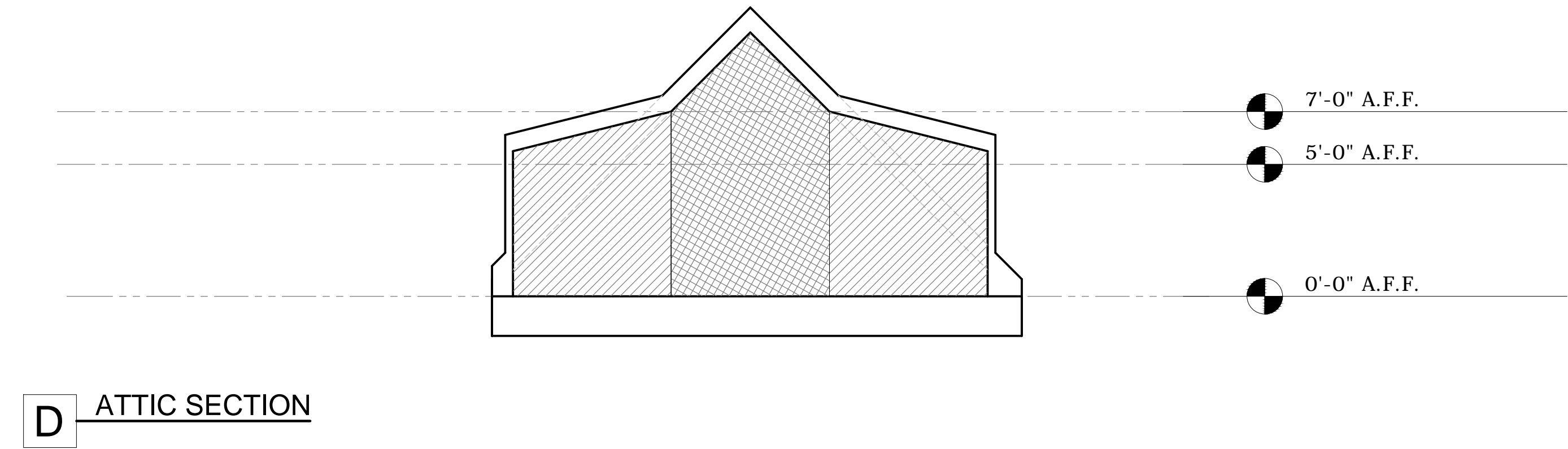
ADU RESIDENCE
ELEVATIONS

A3.3

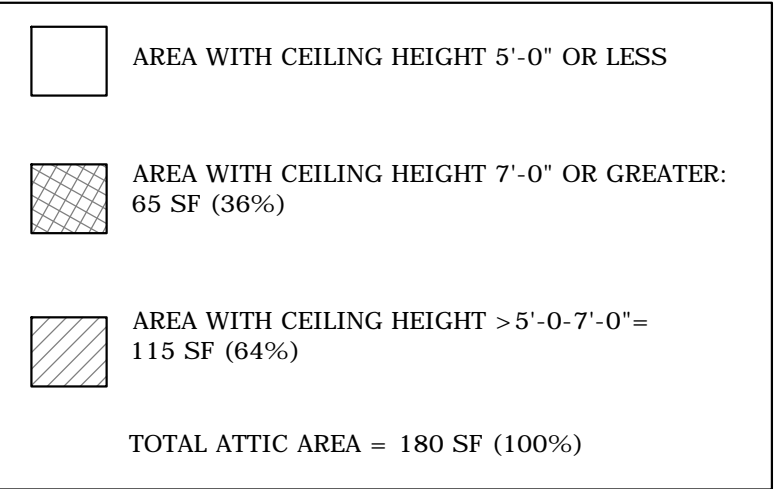
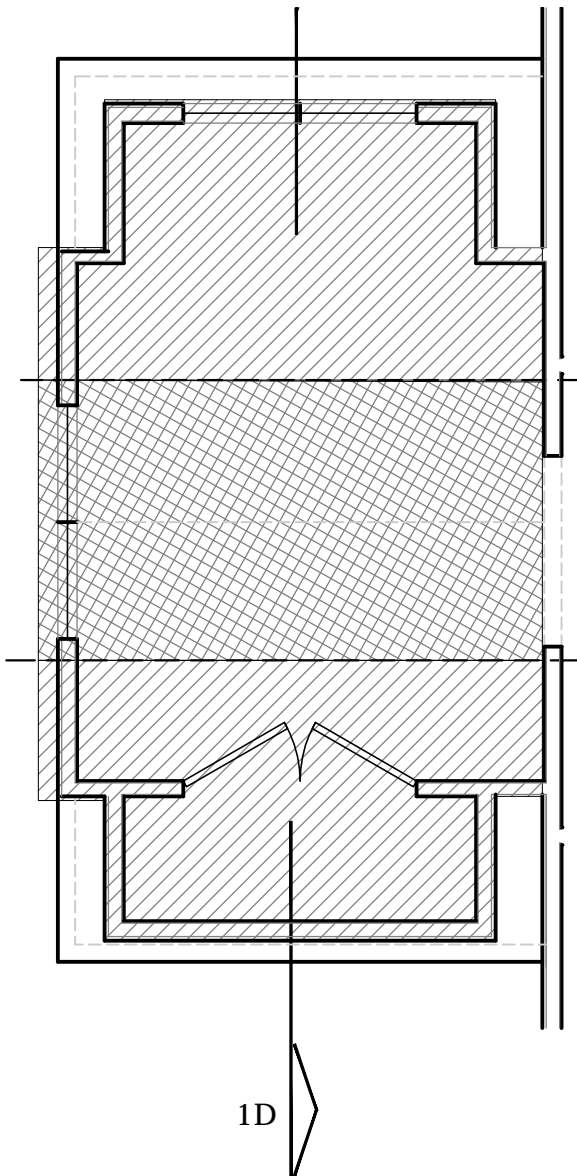
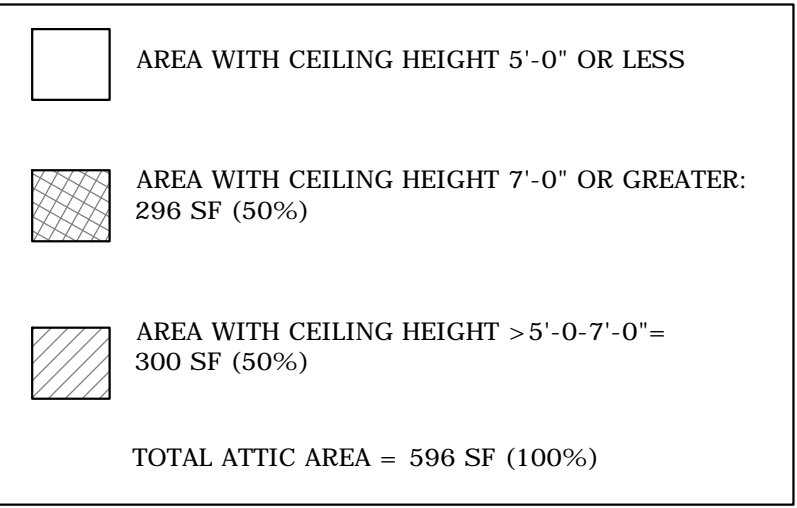
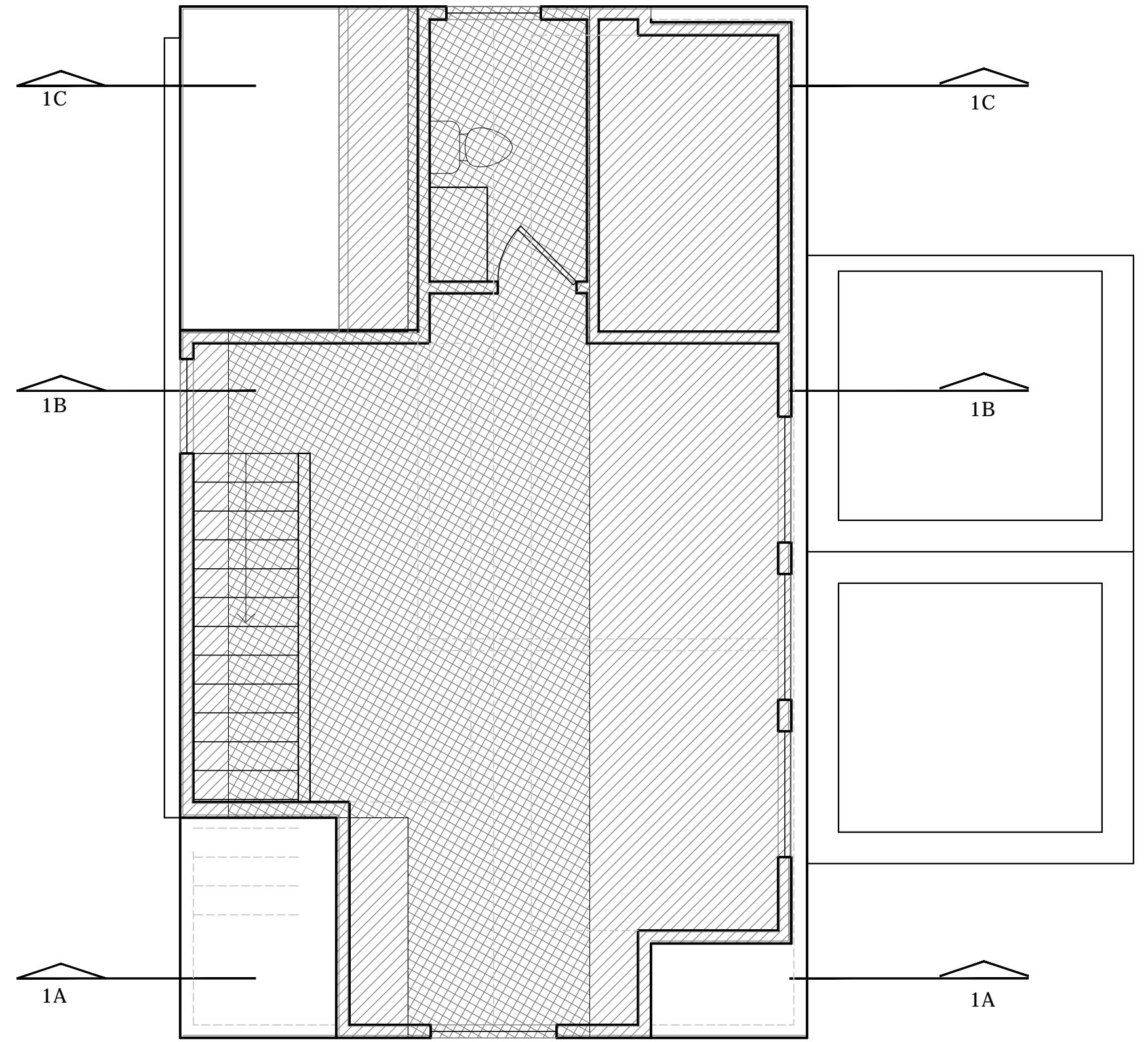


C ATTIC SECTION

2 ATTIC EXEMPTION
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 GARAGE ATTIC EXEMPTION
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



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ATTIC EXEMPTION

A4.0