

PARKING TABLE

USE	REQUIRED	STANDARD	COMPACT	HANDICAP	TOTAL
HOTEL: 1,086 ROOMS @ 1.1 SP./ROOM	100% 80% 20%	235			
RESTAURANT/LOUNGE: 18,883 S.F. (ACCESSORY USE)					
BALLROOM/MEETING: 43,193 S.F. @ 1 SP./50 S.F.		459	72	12	543
BALLROOM/MEETING: 43,194 S.F. (ACCESSORY USE)					
TOTAL		408			
BICYCLE (408 @ 5%)		20			44

*80% REQUIRED PER NON-ACCESSORY USE WITHIN HOTEL. SEE APPENDIX A TABLE OF LAND DEVELOPMENT CODE.
**20% REQUIRED PER SECTION 22-4-051, ARTICLE 7 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

MAKE MINOR MODIFICATIONS TO BLDG. FOOTPRINT, MAKE SITE RELATED ADJUSTMENTS PER NEW FOOTPRINT. UPDATE SITE DATA TABLE, UPDATE WATER METERS AND WY CONNECTIONS.

ADD CANOPY WALK PEDESTRIAN BRIDGE PER SP-2014-0354C, RELOCATE CURB STRIP ALONG RED RIVER ST. AND UPDATE AFFORDED SHEETS PER CANOPY WALK ADDITION.

SITE DATA

TOTAL SITE AREA	75,723 S.F.
TOTAL AREA WITHIN L.O.C.	1,738 A.C.
TOTAL F.A.R.	15.64:1
BUILDING COVERAGE	69,325 S.F.
TOTAL GROSS S.F.	1,156,135 S.F.
PROPOSED USE	HOTEL
STORIES	40
HEIGHT	452.25' TO MECH ROOF
	595.0' TO SPIRE
FIRE SPRINKLER PROTECTED	YES
FINISHED FLOOR	VARIES
FOUNDATION TYPE	PIERS
ZONING	CBD-CURE
TOTAL IMPERVIOUS COVER	69,797 S.F.
PERCENT OF TOTAL SITE IMPERVIOUS COVER	92.17 %

CITY OF AUSTIN TRANSPORTATION DEPARTMENT NOTE:

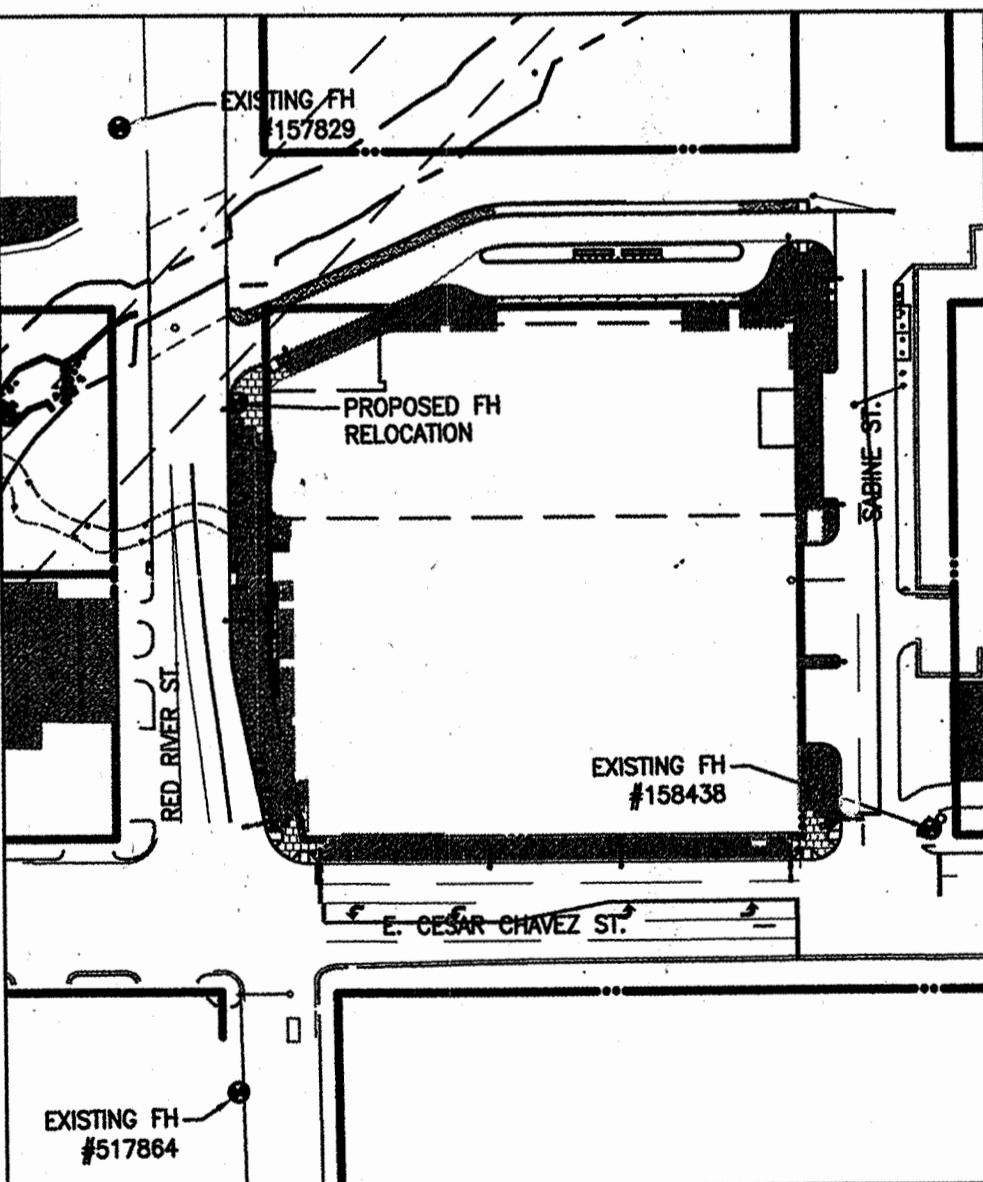
EAST 2ND STREET IS A PUBLIC STREET WITH FULL PUBLIC ACCESS AND WILL BE SIGNED ACCORDING TO CITY CODE AND STATE LAW, MONITORED, AND ENFORCED BY THE CITY OF AUSTIN. ANY VALET OPERATION WILL REQUIRE THE APPROVAL OF AUSTIN TRANSPORTATION DEPARTMENT AND A VALET LICENSE WHICH WILL INCLUDE CURRENT FEES.

NOTE TO PLANS EXAMINER:

A BUILDING PERMIT MUST BE ISSUED BEFORE SEPTEMBER 2, 2014, TO SATISFY THE REQUIREMENTS OF FLOODPLAIN VARIANCE ORDINANCE 20130822-119.

LICENSE AGREEMENT NOTE:

LICENSE AGREEMENT MUST BE AMENDED TO INCLUDE FILTERRA AND BIOCLEAN UNITS PRIOR TO INSTALLATION OF UNITS AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.



FIRE HYDRANT LOCATIONS

EXISTING FIRE HYDRANT (TY)

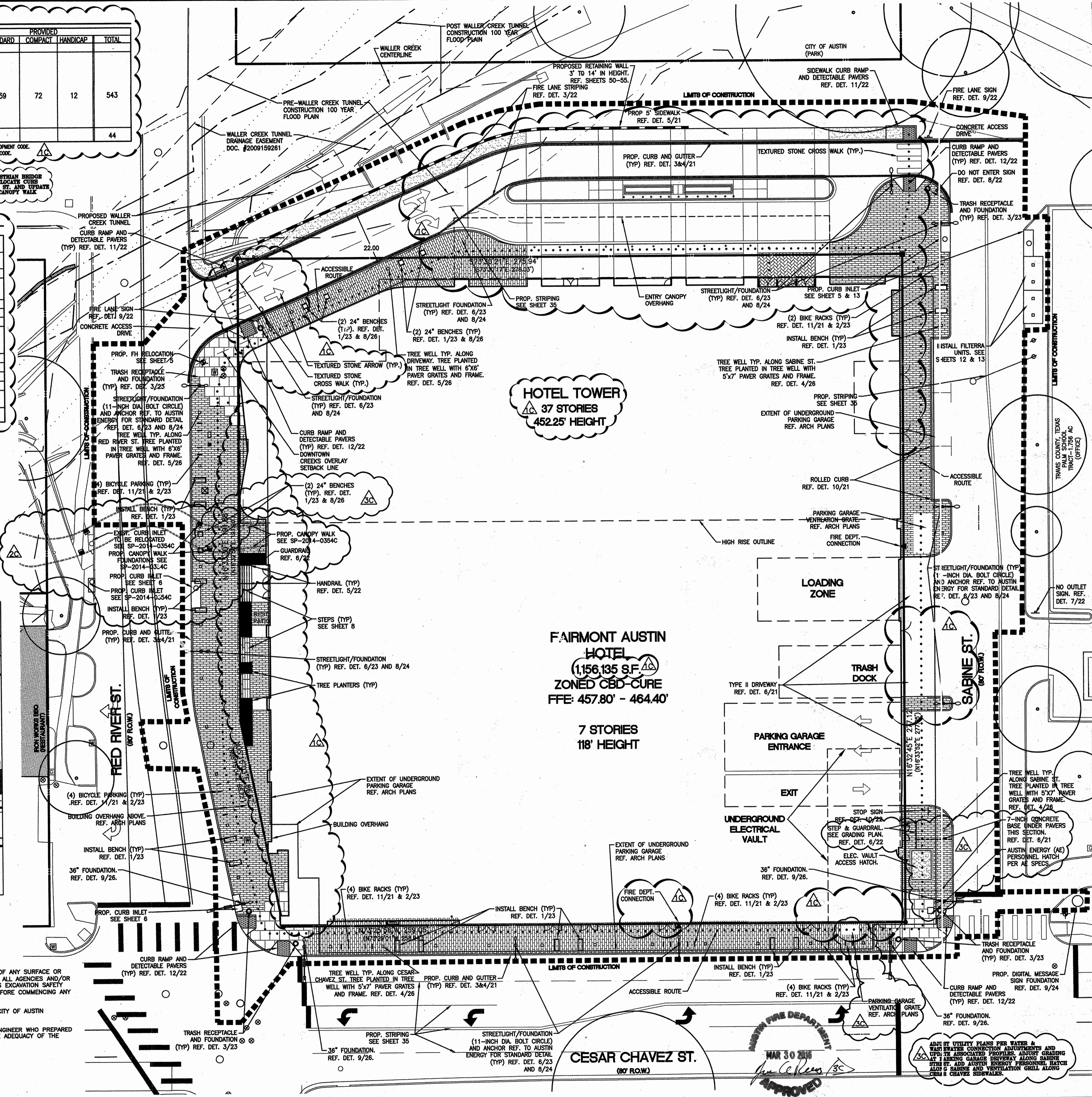
ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800)344-8377 AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF AUSTIN STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

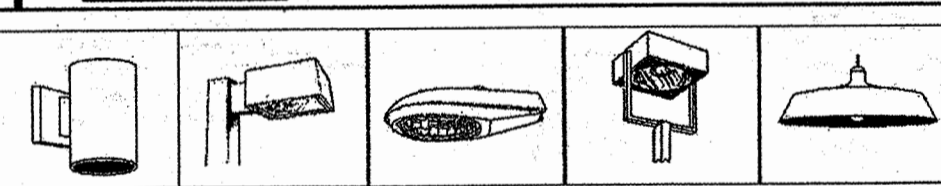
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NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



SITE PLAN NOTES

- ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROTECT ALL EXISTING SITE IMPROVEMENTS AND UTILITIES DURING CONSTRUCTION OPERATIONS.
- ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW PAVEMENT, CONTRACTOR SHALL BLEND NEW PAVEMENT TO EXISTING CONDITIONS. PAVEMENTS SHALL ALIGN BOTH VERTICALLY AND HORIZONTALLY. PONDING AT JOINTS WILL NOT BE ACCEPTABLE.
- PROVIDE MINIMUM 1/8" PER FOOT CROSS SLOPE IN DIRECTION OF SURFACE DRAINAGE ON ALL WALKWAYS.
- WHERE NEW CONCRETE PAVEMENT MEETS EXISTING CONCRETE OR VERTICAL SURFACES PROVIDE 1/2" EXPANSION JOINT. WHERE NEW CONCRETE PAVEMENT MEETS EXISTING ASPHALT, SAW CUT EDGE OF ASPHALT AND BUTT NEW PAVEMENT TIGHT. SCORING JOINTS SHALL MATCH EXISTING CONDITION WHERE NEW CONCRETE PAVEMENT REPLACES EXISTING OR ABUTS EXISTING CONCRETE PAVEMENT.
- FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
- WHERE NEW ASPHALT PAVEMENT MEETS EXISTING ASPHALT, SAW CUT EXISTING ASPHALT. ALL NEW PAVEMENTS SHALL MEET EXISTING FLUSH.
- PARKING LOT LINES AND TRAFFIC CONTROL MARKINGS SHALL BE PAINTED ON PAVEMENT WITH MINIMUM 4" WIDE LINES OR AS SHOWN ON PLANS.
- ALL COMPACT SPACES AND AISLES SHALL BE SIGNED OR MARKED "SMALL CAR ONLY".
- PROVIDE EXPANSION JOINT MATERIAL AT ALL LOCATIONS WHERE CURB AND GUTTER ABUTS OR IS ADJACENT TO WALLS.
- AUTOMATIC UNDERGROUND IRRIGATION SYSTEM MUST BE PROVIDED. CONTRACTOR TO PROVIDE SLEEVING FOR UNDERGROUND IRRIGATION SYSTEM AND COORDINATE WITH IRRIGATION PLAN.
- ALL HANDICAP PARKING SPACES SHALL HAVE SIGNS AS INDICATED ON THE PLANS AND AS PER DETAILS.
- LIGHT POLES OR SIGN POLES ARE NOT ALLOWED IN PARKING OR DRIVEWAY PAVEMENT AREAS. COORDINATE LOCATIONS WITH LANDSCAPE PLAN.
- PIERS FOR LIGHT POLES SHALL NOT BE ABOVE CURB.
- ALL LIGHT POLES WILL BE A MINIMUM THREE (3) FEET BEHIND ANY CURB.
- CONTRACTOR MUST OBTAIN, READ, AND COMPLY WITH ALL GEOTECHNICAL RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON.
- ALL CURB AND GUTTER LOCATED AT ACCESSIBLE SPACES SHALL BE SPILL ONLY PER DETAIL 3/21 (CITY OF AUSTIN STANDARD DETAIL 4305-1).
- THERE ARE NO BUILDINGS WITHIN 50 FEET OF THIS SITE.
- 100-YEAR F.E.M.A. AND 100-YEAR C.O.A. FULLY DEVELOPED FLOODPLAIN ARE EQUIVALENT.
- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULL SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E. PLEASE SEE FIGURE 42 FROM SECTION 2.5 BELOW.
- ALL TREE WELLS TO HAVE AN ELECTRICAL OUTLET.
- CONTRACTOR SHALL INSTALL GREAT STREETS ELECTRICAL CONDUIT, PULL BOXES AND MANHOLES PER AUSTIN ENERGY GREAT STREET STANDARDS. REFER TO AUSTIN ENERGY TYPICAL GREAT STREET LAYOUTS.

FIGURE 42



LEGEND

TC	TOP OF CURB	PROPOSED CONCRETE WALK
BC	BOTTOM OF CURB	PROPOSED CONCRETE PAVING
HP	HIGH POINT	PROPOSED ASPHALT PAVING
GRD	GROUND	PROPOSED ASPHALT PAVING
FL	FLOW LINE	PROPOSED ASPHALT PAVING
TOG	TOP OF GRADE	MORTAR STACK ROCK WALL
TW	TOP OF WALL	RETAINING WALL
PWT	PAVEMENT	2" HT. WOOD FENCE
MAN	MANHOLE	WASTE WATER LINE
CO	CLEANOUT	STORM SEWER LINE
REF. DET.	REFER DETAIL	OVERHEAD UTILITIES
REF. ARCH.	REFER ARCHITECTURAL PLANS	DOWN GUY
CONC.	CONCRETE	UNDERGROUND UTILITIES
EXIST.	EXISTING	GAS LINE
NO/00'00"	SURVEY DATA	EXISTING TREE
NO/00'00"	RECORD DATA	TO REMAIN
BM	BENCHMARK	EXISTING TREE
TM	TEMPORARY BENCHMARK	TO BE REMOVED
SM	SURVEY MONUMENT	EXIST. SIGN
IR	IRON ROD FOUND	SILT FENCE
RO	IRON ROD SET	SLT FENCE
CS	COTTON ON BOLT	SLT FENCE
PRO	PROPERTY LINE	SLT FENCE
---	LIMITS OF CONSTRUCTION	SLT FENCE
---	EXISTING SPOT ELEVATION	SLT FENCE
---	PROPOSED SPOT ELEVATION	SLT FENCE
---	ACCESSIBLE ROUTE	SLT FENCE

SITE PLAN RELEASE

FILE NUMBER: SP-2012-0333C EXPIRATION DATE: 9/13/16
CASE MANAGER: D. GALATI APPLICATION DATE: 10/03/12
REVIEWED FOR GENERAL COMPLIANCE ON: 9/13/13
APPROVED BY PLANNING COMMISSION ON: 9/13/13
APPROVED BY CITY COUNCIL ON: 9/13/13
under Section 112 of Chapter 255 of Austin City Code.
PROJECT EXPIRATION DATE (008/970905-A) DWPZ DDZ
Director, Planning and Development Review Department
RELEASED FOR: 9/13/13
GENERAL COMPLIANCE: 9/13/13
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL. FEATHERS OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

03/29/16

MANCHESTER TEXAS FINANCIAL GROUP, L.L.C.

ONE MARKET PLACE, 33RD FLOOR
SAN DIEGO, CA 92101

FAIRMONT AUSTIN HOTEL

101 RED RIVER, AUSTIN, TEXAS

SITE PLAN

Consort, Inc.

164 E. Cesar Chavez Street, Suite 100
Austin, Texas 78702 (512) 468-6000
T.E.P.E. Firm Registration No. F-659

JOB NO.: 1460-001

DRAWN BY: 3/12/15

DATE: 12/14/15

FILE: 04 SITE PLAN

REV. 3/29/16

SHEET 04 of 56

Site Development Plans



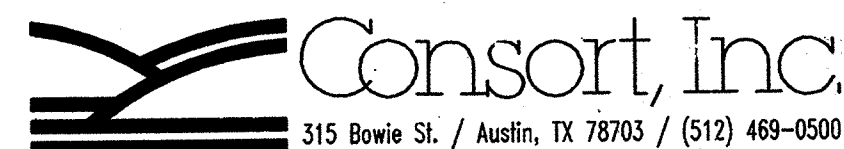
200 San Jacinto Boulevard
AUSTIN, TEXAS 78701

OWNER:
FINLEY COMPANY
P.O. BOX 2086
AUSTIN, TEXAS 78768
(512) 478-0885

DEVELOPER:
VALENCIA HOTELS CORPORATION
3355 WEST ALABAMA
HOUSTON, TEXAS 77098
(713) 871-0221

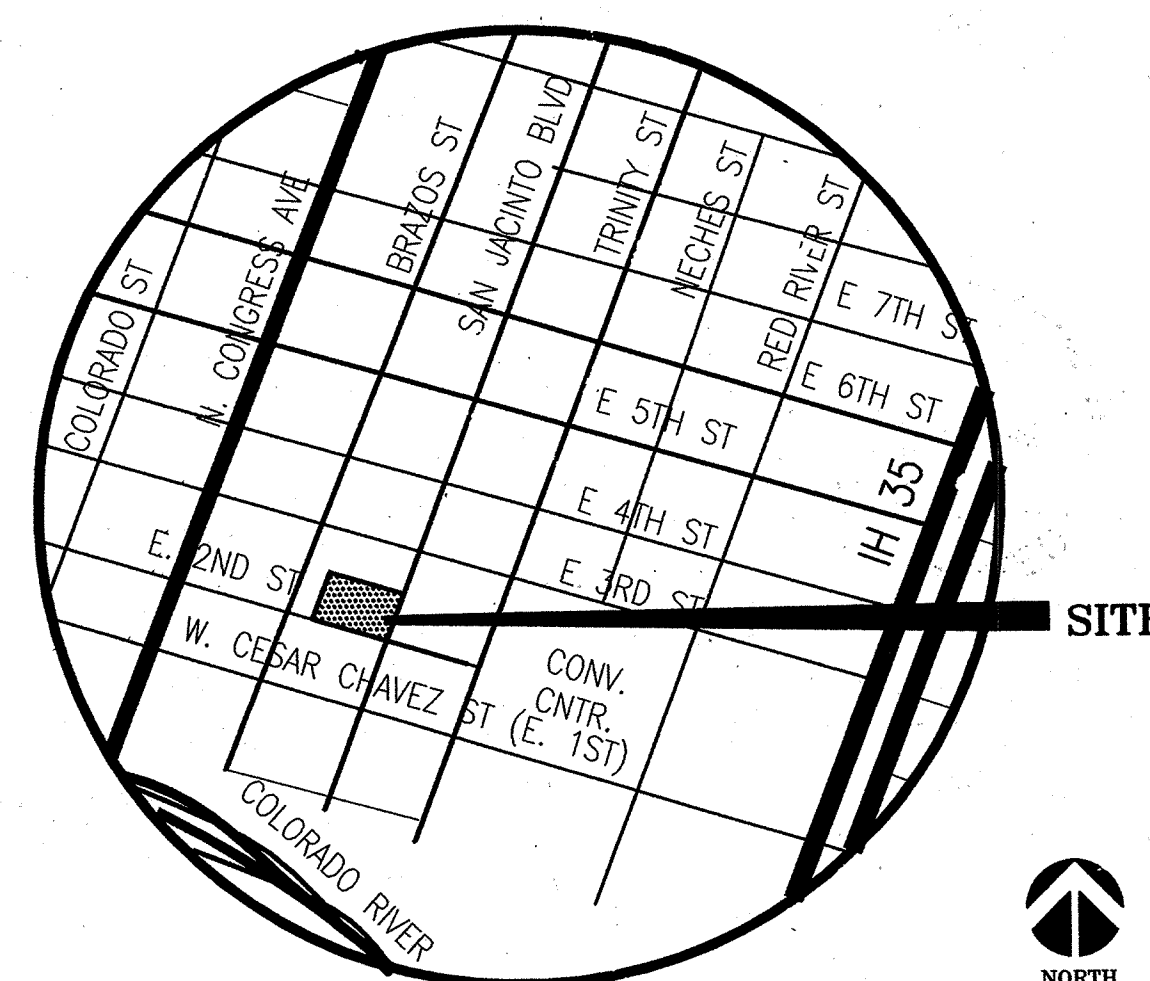
Submittal Date: 12-05-2000

Site Planning, Engineering, & Landscape Architecture



LEGAL DESCRIPTION:

LOT 3 BLOCK 17 ORIGINAL CITY
LOT 4 BLOCK 17 ORIGINAL CITY
LOTS 5-6 BLOCK 17 ORIGINAL CITY



LOCATION MAP
N.T.S.

WATERSHED:
CLASSIFICATION:
RELATED CASES:

ZONING: CBD
SUBDIVISION: RG-1-18 PLAN OF THE CITY OF AUSTIN
(IN-LOTS) 1840

FLOOD PLAIN NOTE

NO PORTION OF THIS PROJECT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION RM PANEL NO. 18433C-0165E DATED JUNE 16, 1993, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

WATERBIRD REGULATIONS

THIS PROJECT IS SUBJECT TO CURRENT WATERSHED ORDINANCE REGULATIONS.




THIS PROJECT IS LOCATED IN THE WALLER CREEK WATERSHED WHICH IS CLASSIFIED UNDER THE COMPREHENSIVE WATERSHED ORDINANCE AS AN URBAN WATERSHED.

THIS PROJECT IS NOT LOCATED IN THE EDWARD'S AQUIFER RECHARGE ZONE.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

SHEET INDEX

1. COVER SHEET
2. NOTE SHEET
3. SITE PLAN
4. UTILITY PLAN
5. DIMENSION CONTROL PLAN
6. GRADING PLAN
7. EROSION AND SEDIMENTATION CONTROL PLAN, AND
LANDSCAPE PLAN, PLANT LIST AND NOTE SHEET
8. EXISTING AND PROPOSED DRAINAGE PLAN
9. DEMOLITION PLAN
10. DETAIL SHEET
11. DETAIL SHEET
12. DETAIL SHEET

 7-24-12
 9CB
2-11-05
 12-14-09

SITE PLAN RELEASE Sheet 1 of 12
 FILE NUMBER: SP-00-3546 EXPIRATION DATE: 4/11/04
 CASE MANAGER: LBH APPLICATION DATE: 12/5/00
 APPROVED ADMINISTRATIVELY ON: 4/11/01
 APPROVED BY PLANNING COMMISSION ON:
 APPROVED BY CITY COUNCIL ON:
 under Section III of Chapter 25-5 of Austin City Code.
Joan Calkins
 Director, Development Review and Inspection Department
 DATE OF RELEASE: 4/11/01 Zoning: CBD
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 on 6/19/01
 Rev. 3 _____ Correction 3 on 10/25/01

APPROVED BY:

For Director, Development Review and Inspection Department Date _____

SP-00-2546C

Site Plan/Development Permit Number _____ Date _____
Patricia Castelli *2/6/21*
 Fire Department _____ Date _____

Water and Wastewater Engineering Alfredo Jara FO/OM 02.15.01 Date

Water Pressure Zone _____ Date: 2-12-01
Johnny Bontaght
Lumber Building Meter Shop _____ Date: _____

SITE SUMMARY

PROJECT NAME:	JW MARRIOTT
SITE ADDRESS:	110 E. 2ND STREET
CURRENT ZONING:	CBD CURE
LEGAL DESCRIPTION:	LOTS 1-4, 7-12 AND THE SOUTH 14.7 FEET OF LOT 5, BLOCK 18 OF THE ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAN THEREOF, FILED IN THE GENERAL LAND OFFICE OF THE STATE OF TEXAS, TOGETHER WITH THOSE PORTIONS OF THE ALLEY CONTAINING 0.077 ACRES AND 0.014 ACRES RESPECTIVELY, VACATED BY THE CITY OF AUSTIN AND DESCRIBED IN OUTLINE OF PUBLIC ALLEY ACCESS EASEMENT AND RETENTION OF PUBLIC UTILITY AND DRAINAGE EASEMENT RECORDED UNDER DOCUMENT NO. 201013530 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.
OWNER:	FINLEY COMPANY P.O. BOX 2088 AUSTIN, TX 78768-2088
DEVELOPER:	AUSTIN 18 HOTEL, LLC 1000 E. 80TH PLACE, SUITE 700 NORTH MERRILLVILLE, INDIANA 46410 (773) 573-4386
ARCHITECT:	HKS, INC. 1919 MCKINNEY AVENUE DALLAS, TEXAS 75201 (214) 969-5599
ENGINEER:	BURY+PARTNERS 221 WEST 6TH STREET, SUITE 600 AUSTIN, TEXAS 78701 (512) 328-0011
LANDSCAPE ARCHITECT:	BURY+PARTNERS 221 WEST 6TH STREET, SUITE 300 AUSTIN, TEXAS 78701 (512) 327-5900
SITE ACREAGE:	= 79,828.69 SF = 1.833 AC
MAX F.A.R.:	= 16.1
FLOOR TO AREA RATION (F.A.R.):	= 13.43:1
GROSS FLOOR AREA:	= 1,071,953 SF
EXISTING IMP. COVER:	= 79,828.69 (100%) SF
PROPOSED IMP. COVER:	= 79,828.69 (100%) SF

ORDINANCE REQUIREMENTS

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING CODE AND FIRE CODE APPROVAL. NON-BUILDING PERMIT APPROVAL.
- ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE SIGN AND LAND DEVELOPMENT CODE.
- THE OWNER IS RESPONSIBLE FOR ALL COSTS OF RELOCATION OR DAMAGE TO UTILITIES.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.

GENERAL CONSTRUCTION NOTES

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- CONTRACTOR SHALL CALL THE ONE CALL CENTER (800-245-4545) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.
- CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION AT 874-7161 AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET R.O.W. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S R.O.W. MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
- FOR SLOPES OR TRENCHES GREATER THAN FIVE (5) FEET IN DEPTH, CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE, INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 E. 6TH STREET, AUSTIN, TEXAS.
- ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
- UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO:
 - ☒ RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT (INSIDE THE CITY LIMITS); OR
 - INSTALLATION OF AN ELECTRIC OR WATER METER (IN THE FIVE-MILE ETJ), THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION, AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.
- DEVELOPER INFORMATION
 - OWNER: PHONE # (773) 573-4386
 - AUSTIN 18, HOTEL LLC
701 EAST 83RD STREET
ADDRESS: NORTH MERRILLVILLE, INDIANA 46410
 - OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:
BURY AND PARTNERS PHONE # (512) 328-0011
 - PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:
AUSTIN 18, HOTEL LLC PHONE # (773) 573-4386
 - PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE:
AUSTIN 18, HOTEL LLC PHONE # (773) 573-4386
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 15-12-161 THROUGH 15-12-181 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT OF WAY.
- WHEN THERE IS A CONFLICT BETWEEN PROJECT PLANS AND PROJECT SPECIFICATIONS, THE APPROVED PROJECT PLANS WILL GOVERN.
- UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION RELEASE BY THE CITY, THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.

FIRE DEPARTMENT

- THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN "ALL WEATHER DRIVING SURFACE."
- HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE 4-INCH OPENING AT LEAST EIGHTEEN (18) INCHES ABOVE FINISHED GRADE. THE 4-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH A THREE (3) TO SIX (6) FOOT SETBACK FROM CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE (3) FEET OF ANY HYDRANT AND THE 4-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
- TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES INCLUDE: FIRE ALARMS, FIRE ALARMS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, WHERE ALTERNATE METHODS OF PROTECTION ARE PROVIDED, AS APPROVED BY THE FIRE CHIEF, THE ABOVE MAY BE MODIFIED OR WAIVED.
- ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE VEHICLE LOADS, ANY PERVIOUS/DECORATIVE PAVING WITHIN 100' OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
- COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN (10) FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES.
- FIRE LANES DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH CITY OF AUSTIN FIRE MARSHAL'S OFFICE AND INSPECTED FOR FINAL APPROVAL.
- VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.

CITY OF AUSTIN ELECTRIC UTILITY NOTES

- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY, AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-B, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING(S) AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER SHALL BE RESPONSIBLE FOR ANY INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION, AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTERLINE OF THE OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

AMERICANS WITH DISABILITIES ACT

- THE CITY OF AUSTIN HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS ONLY. THE APPLICANT, PROPERTY OWNER, AND OCCUPANT OF THE PREMISES ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER LAWS, REGULATIONS, AND RESTRICTIONS WHICH MAY BE APPLICABLE TO THE PROPERTY AND ITS USE.
- THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 dba AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
- ALL EXTERIOR LIGHTING SHALL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL PROPERTY.
- EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED WHEN ADJACENT TO RESIDENTIAL PROPERTY.
- ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE.

COMPATIBILITY

- HIGHLY REFLECTIVE MATERIALS WILL NOT BE USED. MATERIALS MAY NOT EXCEED 30 REFLECTIVITY. THIS REQUIREMENT SHALL NOT APPLY TO SOLAR PANELS OR TO COPPER OR PAINTED METAL ROOFS.
- THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 dba AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
- ALL EXTERIOR LIGHTING SHALL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL PROPERTY.
- EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED WHEN ADJACENT TO RESIDENTIAL PROPERTY.
- ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE.

REQUIRED PARKING

USE	NUMBER OF ROOMS OR GROSS SF	RATIO	SPACES
HOTEL	1,011	1:1.1	1,113
GENERAL RESTAURANT	6,105	80% of 1:75	66
EXHIBITION HALL	27,098	80% of 1:50	434
BALLROOM	62,765	80% of 1:50	1,005
MEETING ROOMS	46,413	80% of 1:50	743
GENERAL RESTAURANT	7,330	ACCESSORY USE	0
GENERAL RETAIL	770	80% of 1:275	3
COCKTAIL LOUNGE	4,405	80% OF 1:50	71
		TOTAL	3,435
			687
			2,081

*REQUIRED NUMBER OF PARKING SPACES IN THE CBD IS:
MINIMUM OF 20% REQUIRED PER APPENDIX A
MAXIMUM OF 60% REQUIRED PER APPENDIX A

REQUIRED PARKING PER CITY OF AUSTIN ZONING CASE C14-2012-0048 AND ORDINANCE 20120628-130 IS 438 SPACES

BUILDING DATA

BLDG NO.	STORIES	MAX HEIGHT*	F.F. ELEV	FOUNDATION	BLDG. COVERAGE (S.F.)	BLDG. COVERAGE (%)	FAR
1 - HOTEL	34	403' 8"	471.3	CAISSONS	78,679	98.56	13.43:1

*MAX HEIGHT OF OVERALL BUILDING = 403' 8"

**MAX HEIGHT OF BUILDING WITHIN 40-FT OF CONGRESS AVENUE = 90' 0"

LEVEL	REGULAR	COMPACT	PUBLIC EV CHARGING STATION	ACCESSIBLE	SUBTOTAL	VALET	COMPACT	SUBTOTAL	LEVEL TOTAL
P1	69	6	2	3	80	52	10	62	142
P2	76	15	0	3	94	75	19	94	188
P3	61	13	0	3	77	42	22	64	141
TOTAL	206	34	2	9	251	169	51	220	471

BICYCLE SPACES REQUIRED = 18

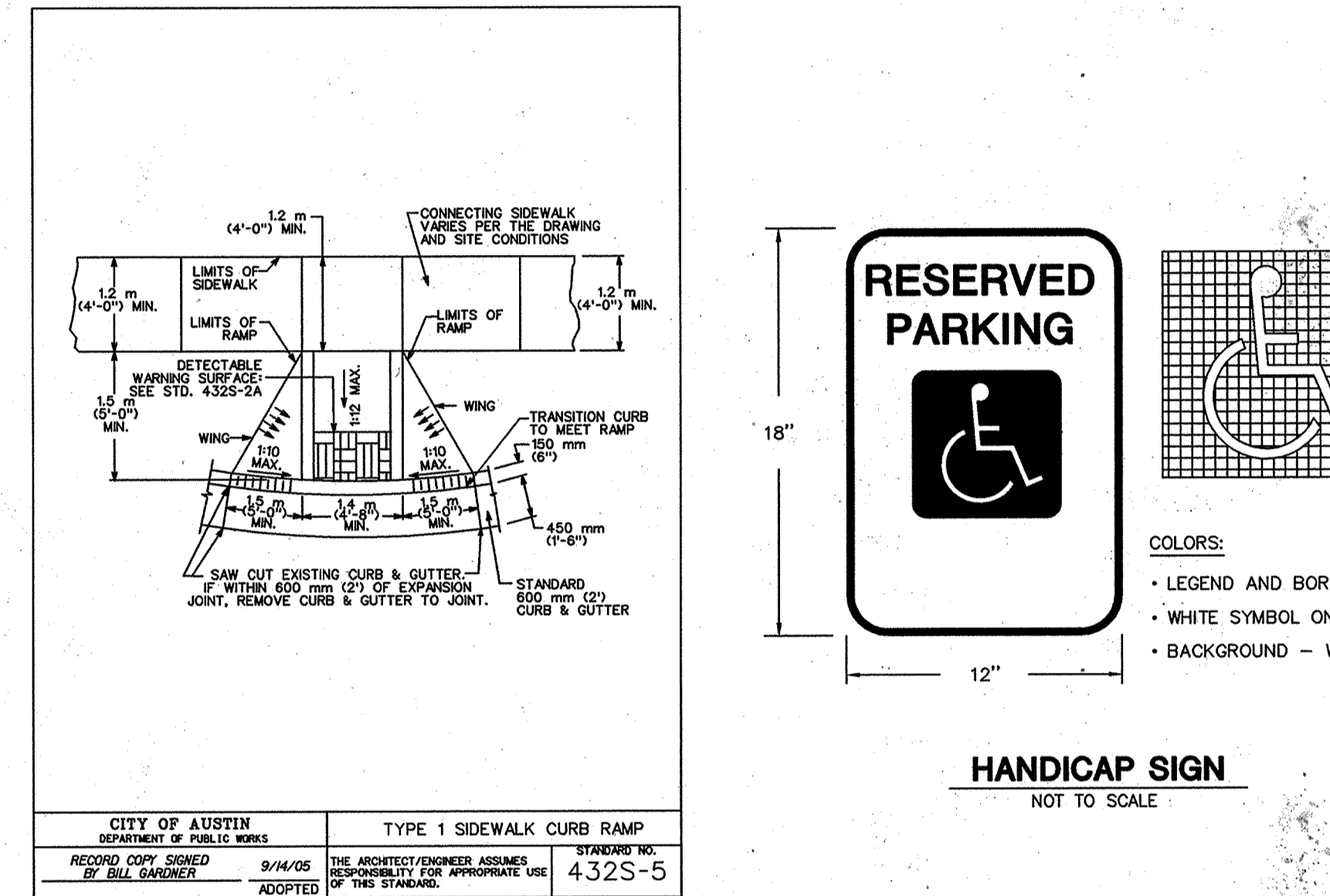
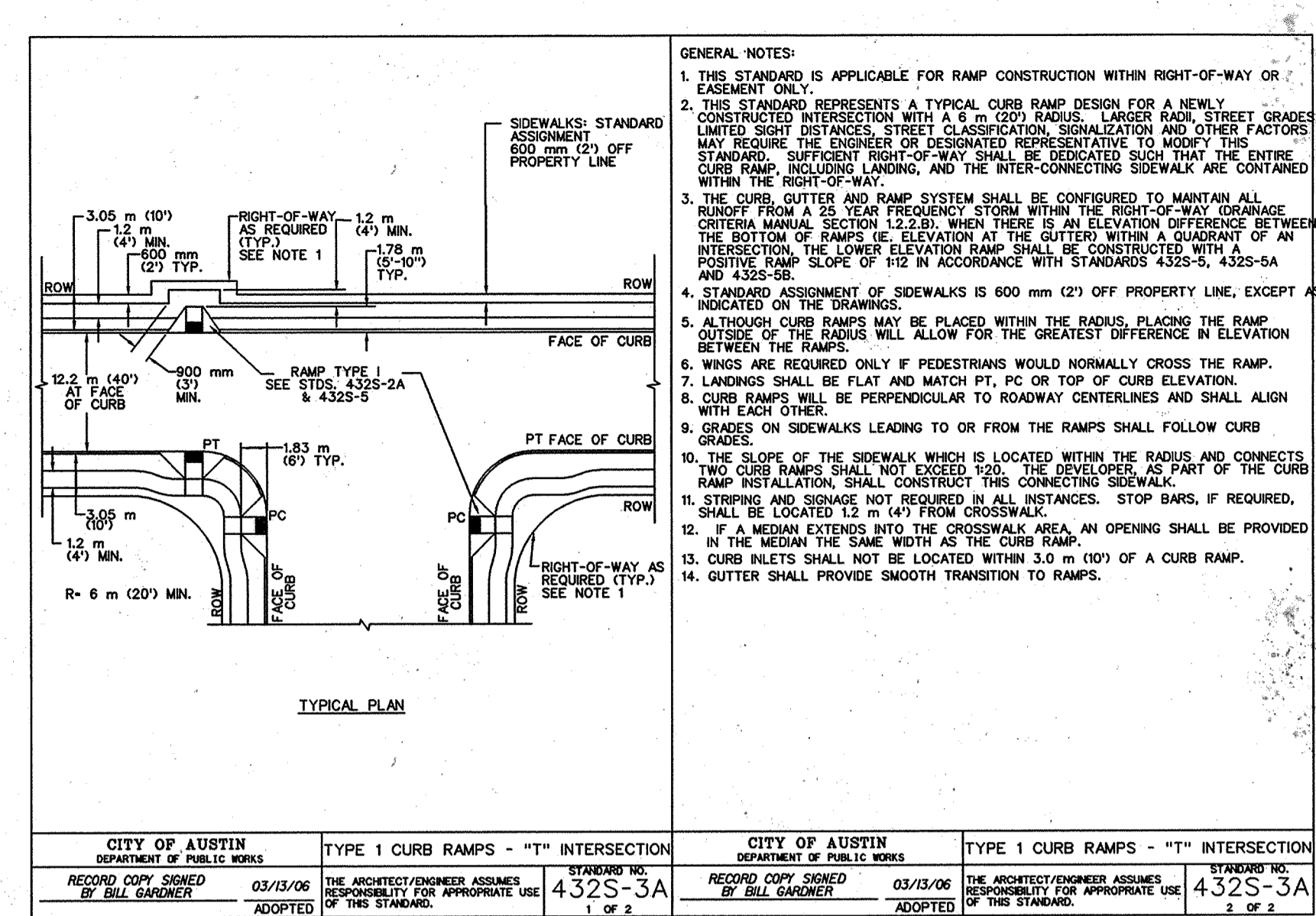
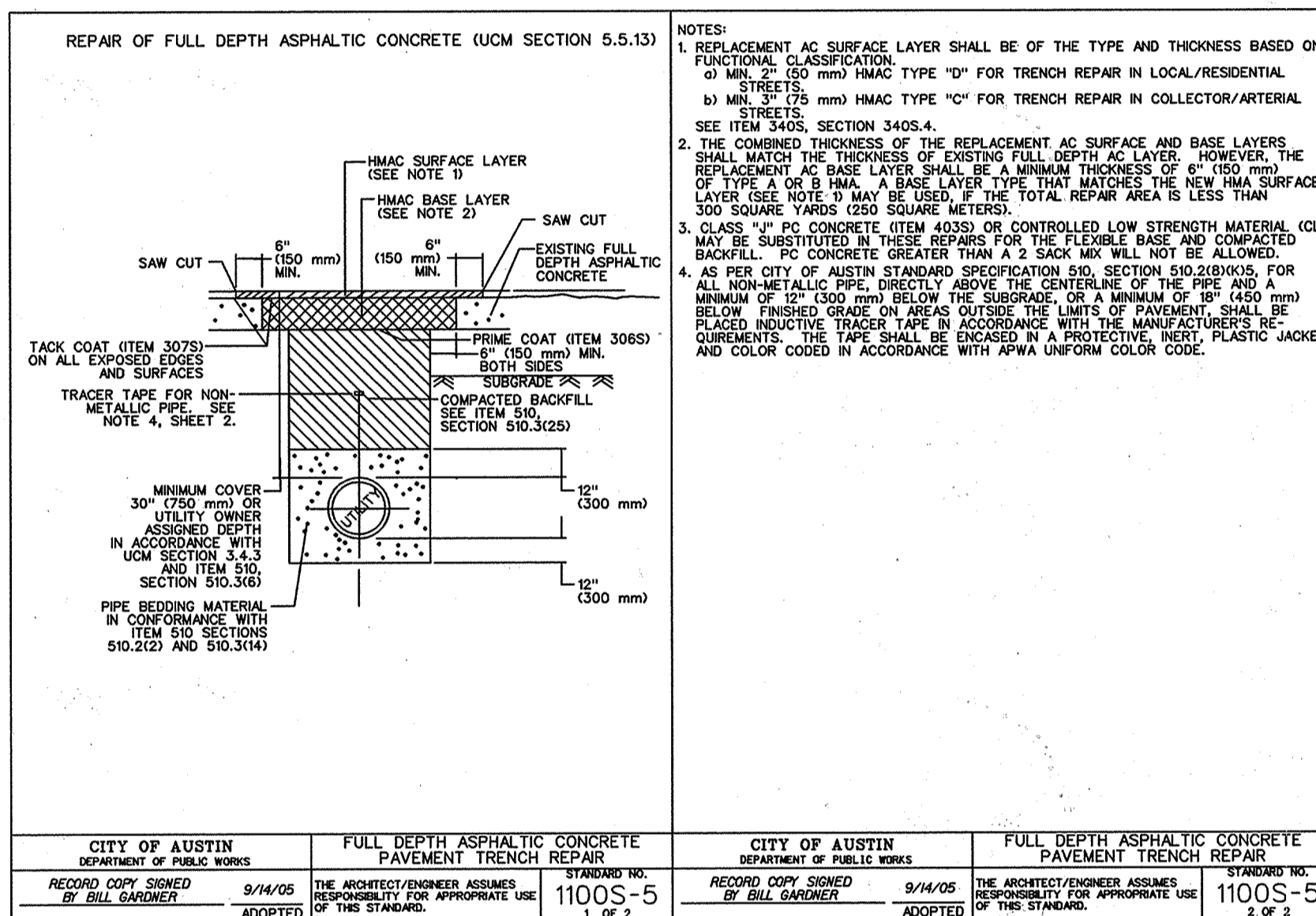
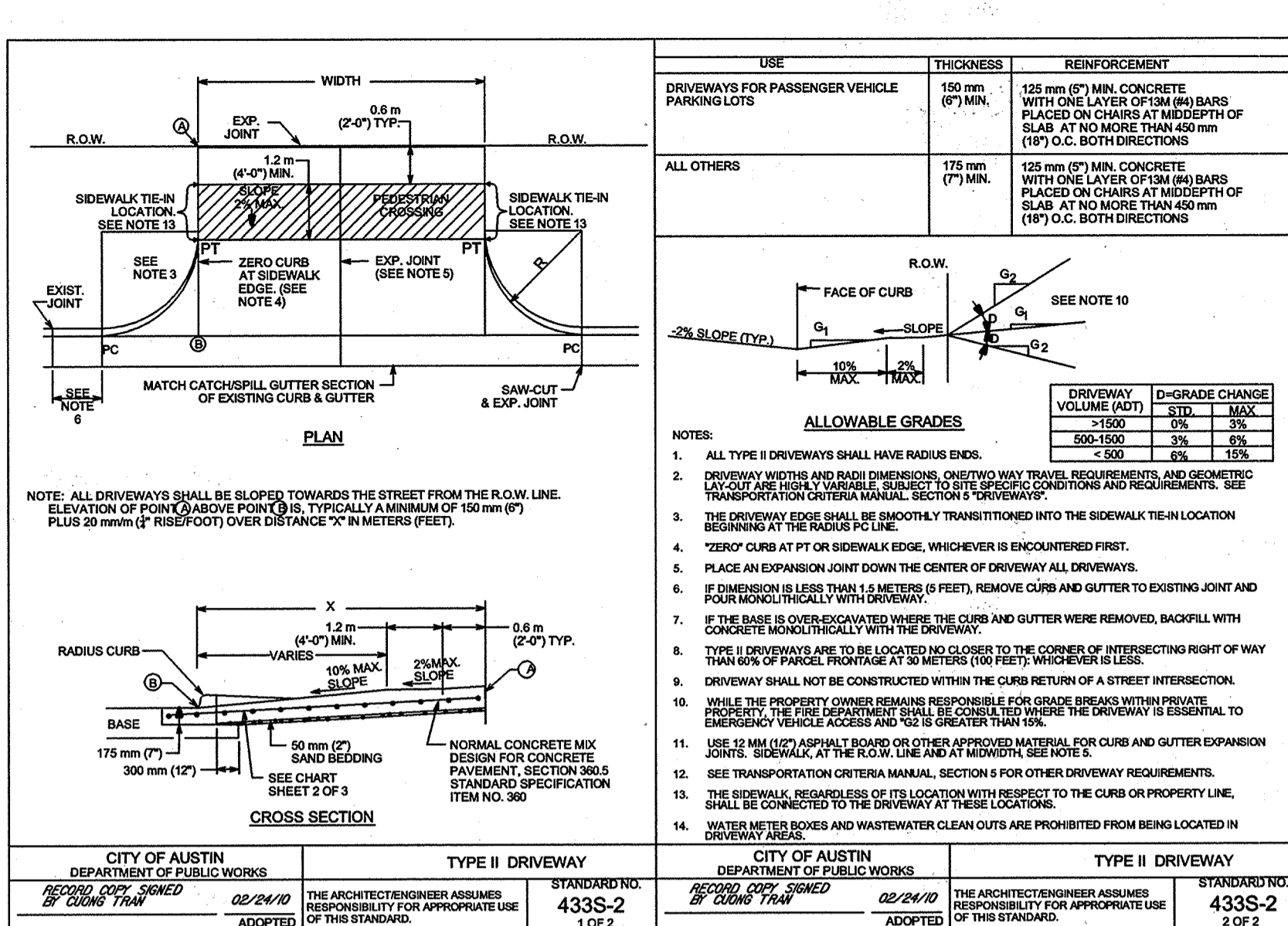
BICYCLE SPACES PROVIDED = 40

REQUIRED LOADING SPACES = 8

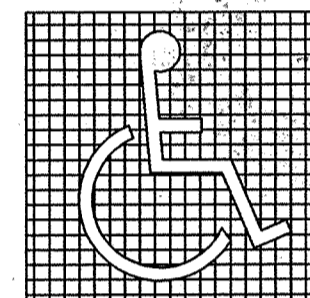
PROVIDED LOADING SPACES = 3 WITH ONE LOADING SPACE BEING 12'94" X 37.57' AND TWO LOADING SPACES BEING 11' X 55.08'

REQUIRED LOADING SPACES PER CITY OF AUSTIN ZONING CASE C14-2012-0048 AND ORDINANCE 20120628-130 IS 3 SPACES

WITH ONE LOADING SPACE BEING 10' X 30' AND TWO SPACES BEING 10' X 55'



RESERVED
PARKING

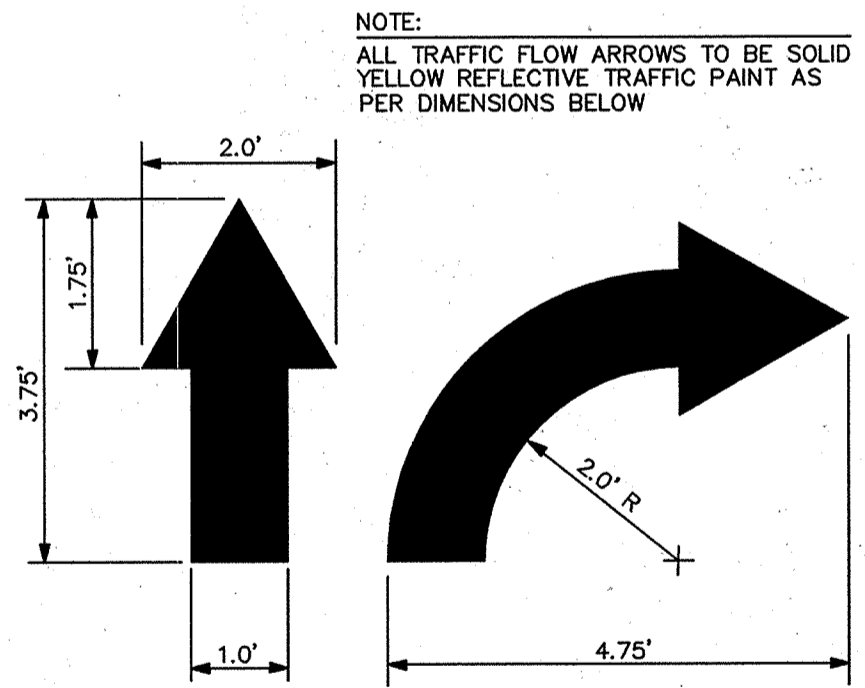


COLORS:
- LEGEND AND BORDER - GREEN
- WHITE SYMBOL ON BLUE BACKGROUND
- BACKGROUND - WHITE

HANDICAP SIGN

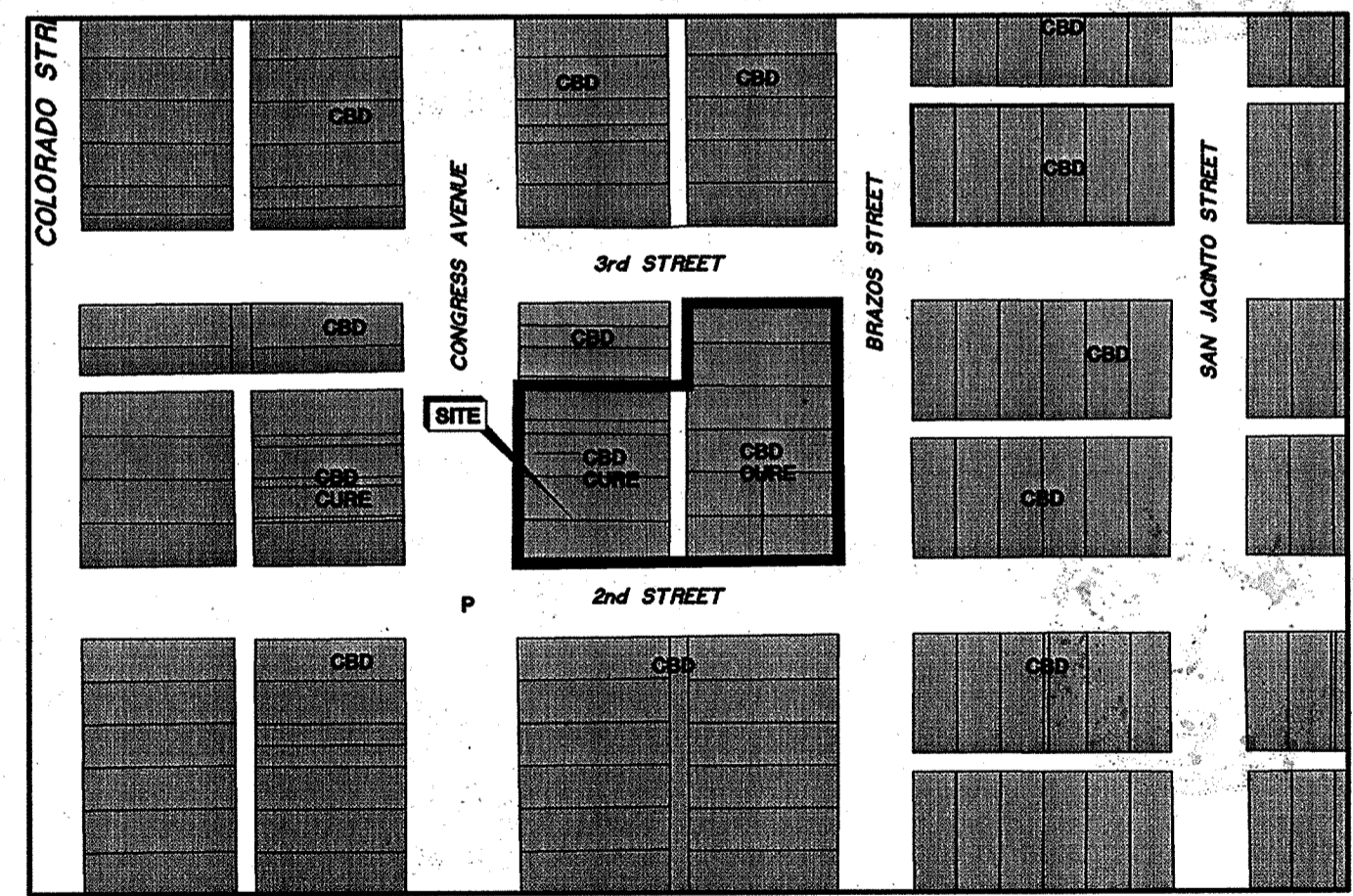
NOT TO SCALE

LEVEL	FLOOR S.F.		USE
P3	25,911 sf	46,330 sf	HOTEL SUPPORT/PARKING
P2	7,566 sf	58,883 sf	HOTEL SUPPORT/PARKING
P1	32,670 sf	52,623 sf	HOTEL SUPPORT/PARKING
1	45,755 sf	18,610 sf	HOTEL SUPPORT/RESTAURANT & GEN. RETAIL & COCKTAIL LOUNGE
1M	3,640 sf		MECHANICAL MEZZANINE
2	36,857 sf	41,818 sf	HOTEL SUPPORT/EXHIBIT HALL & MEETING ROOMS
3	42,063 sf	41,696 sf	HOTEL SUPPORT/JR. BALLROOM & MEETING ROOMS
3.5	23,737 sf		MECHANICAL MEZZANINE
4	36,391 sf	46,980 sf	HOTEL SUPPORT/ GRAND BALLROOM & MEETING ROOMS
5	54,293 sf	5,782 sf	AMENITY & HOTEL SUPPORT/ MEETING ROOMS
6	24,706 sf		HOTEL ROOMS
7	24,706 sf		HOTEL ROOMS
8	24,706 sf		HOTEL ROOMS
9	24,706 sf		HOTEL ROOMS
10	24,706 sf		HOTEL ROOMS
11	24,706 sf		HOTEL ROOMS
12	24,706 sf		HOTEL ROOMS
14	24,706 sf		HOTEL ROOMS
15	24,706 sf		HOTEL ROOMS
16	24,706 sf		HOTEL ROOMS
17	24,706 sf		HOTEL ROOMS
18	24,706 sf		HOTEL ROOMS
19	24,706 sf		HOTEL ROOMS
20	24,706 sf		HOTEL ROOMS
21	24,706 sf		HOTEL ROOMS
22	20,202 sf		HOTEL ROOMS
23	18,116 sf		HOTEL ROOMS
24	18,116 sf		HOTEL ROOMS
25	18,116 sf		HOTEL ROOMS
26	18,116 sf		HOTEL ROOMS
27	18,116 sf		HOTEL ROOMS
28	18,116 sf		HOTEL ROOMS
29	18,116 sf		HOTEL ROOMS
30	18,116 sf		HOTEL ROOMS
31	18,116 sf		HOTEL ROOMS
32	18,116 sf		HOTEL ROOMS
33	18,116 sf		HOTEL ROOMS
34	18,116 sf		HOTEL ROOMS
SUB-TOTAL (OCCUPIED):	1,071,953 sf		
SUB-TOTAL (PARKING):	157,836 sf		
TOTAL:	1,229,789 sf		



TRAFFIC FLOW ARROW

N.T.S.



LAND USE MAP

N.T.S.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 8 of 31
FILE NUMBER: SP-2011-0334C
APPROVED BY COMMISSIONER ON: 8/10/12 UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC) 8/10/13 CASE MANAGER SUE WELCH
PROJECT EXPIRATION DATE (ORD.#070905-A) 12-7-2015 WPPZ DDZ
ADMIN
mgw
Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: 8/10/12 ZONING: CBD-CURE
Rev. 1 _____ Correction 1
Rev. 2 _____ Correction 2
Rev. 3 _____ Correction 3
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

Bury+Partners
221 West Sixth Street, Suite 600
Austin, Texas 78701
Tel. (512) 328-0011 Fax. (512) 328-0025
TIF# Registration Number F-1046
Bury+Partners, Inc. Copyright 2012

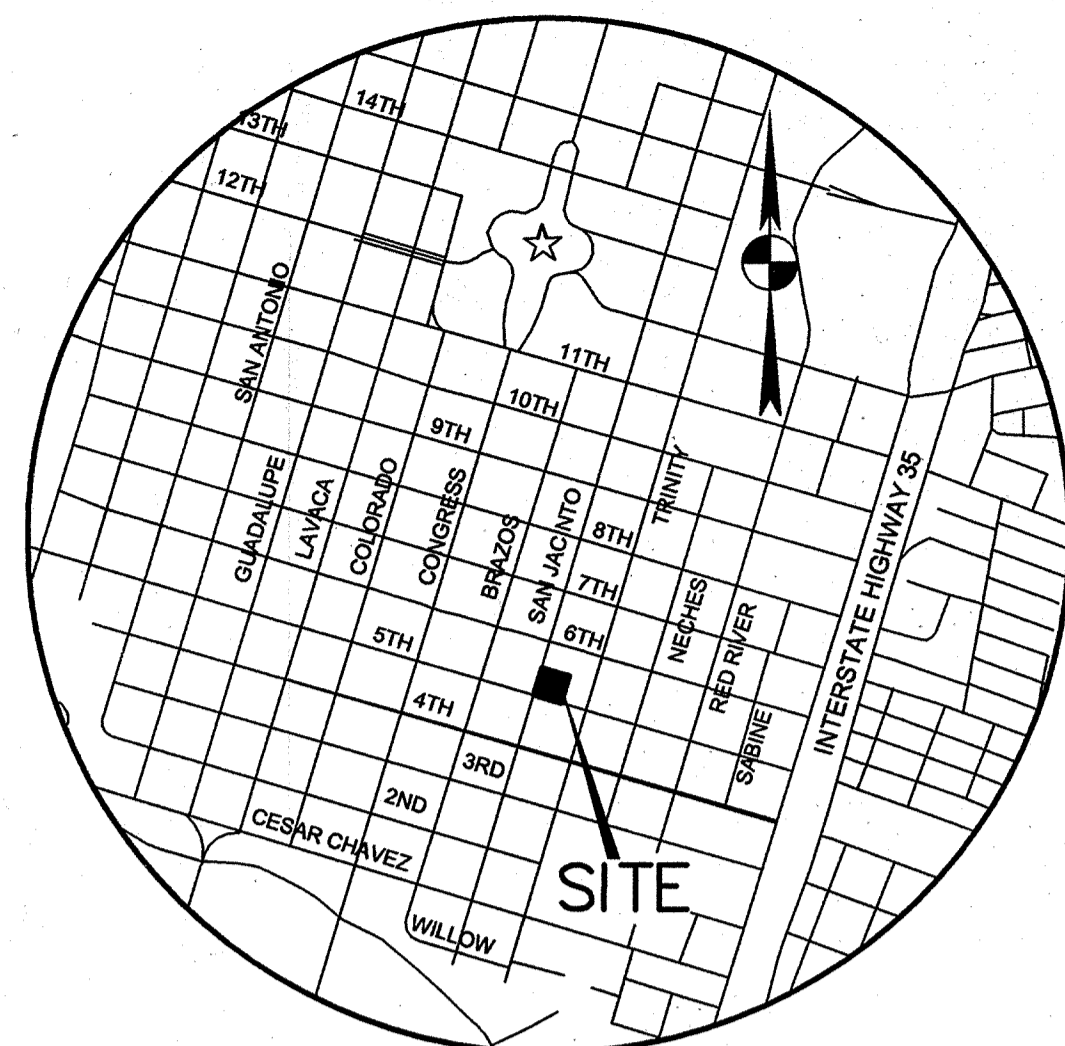
STATE OF TEXAS
BRYAN H. BELL
111283
COMMERCIAL
REAL ESTATE

SITE PLAN NOTES AND DETAILS

JW MARRIOTT
110 E. 2ND STREET
AUSTIN 18 HOTEL, LLC

DRAWN BY: ML
DESIGNED BY: ML/KME/JAI
REVIEWED BY: JAI
PROJECT NO.: 103996-10001

SHEET **8** OF **61**



VICINITY MAP

N.T.S.
C.O.A. GRID J22
MAPSCO PAGE NO. 585W

OWNER/DEVELOPER: WESAUS, LLC
DUSTIN LOUDERBACK
701 E. 83rd STREET
NORTH MERRELLVILLE, INDIANA 46411
(773) 573-4386

ARCHITECT: HKS
MICHAEL E. MENEFEE
1919 MCKINNEY AVE.
DALLAS, TX 75201
(214) 969-5599

ENGINEER: BURY+PARTNERS, INC.
BRYANT R. BELL
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701
(512) 328-0011

LANDSCAPE ARCHITECT: BURY+PARTNERS, INC.
ZACHRY M. HUNTER
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701
(512) 328-0011

WATERSHED STATUS:

THIS PROJECT IS LOCATED IN THE WALLER CREEK WATERSHED WHICH IS CLASSIFIED AS URBAN WATERSHEDS. THIS PROJECT IS LOCATED OUTSIDE THE EDWARDS AQUIFER RECHARGE, TRANSITION, AND CONTRIBUTING ZONE ACCORDING TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND THE CITY OF AUSTIN. THIS SITE WILL BE DEVELOPED CONSTRUCTED, AND MAINTAINED IN CONFORMANCE WITH TERMS AND CONDITIONS OF THE CITY LAND DEVELOPMENT CODE AS OF THE PROJECT APPLICATION DATE.

FLOODPLAIN INFORMATION:

THE TRACT SHOWN HEREON LIES WITHIN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, AS SHOWN ON MAP NO. 4845300485H, DATED SEPTEMBER 26, 2008, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

LEGAL DESCRIPTION:

0.406 ACRE OF LAND, SITUATED IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING LOTS 1, 2 AND 3, BLOCK 58, OF THE ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT ON FILE IN THE GENERAL LAND OFFICE OF THE STATE OF TEXAS.

BENCHMARK NOTE:

SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION

RELATED CAPS: C14-2012-0106
ZONING ORDINANCE No.: 20121213-079

Bury+Partners

221 West Sixth Street, Suite 600
Austin, Texas 78701
Tel. (512)328-0011 Fax (512)328-7325
TBPE Registration Number F-1048
Bury+Partners, Inc. ©Copyright 2013

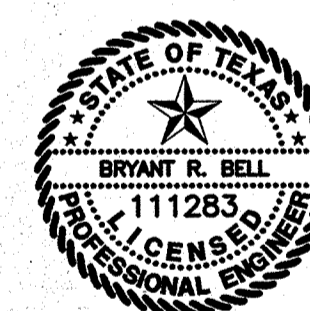
SITE DEVELOPMENT PERMIT PLANS FOR 5TH AND SAN JACINTO HOTEL

SHEET NO.	DESCRIPTION	SHEET INDEX
1	COVER	
2	EXISTING CONDITIONS AND TOPOGRAPHY	
3	DEMOLITION PLAN	
4	EROSION AND SEDIMENTATION CONTROL PLAN	
5	SITE PLAN	
6	SITE PLAN NOTES AND DETAILS	
7	SITE PLAN NOTES AND DETAILS	
8	EXISTING DRAINAGE AREA MAP	
9	PROPOSED DRAINAGE AREA MAP	
10	GRADING PLAN	
11	STORM SEWER PLAN AND PROFILE	
12	EROSION AND SEDIMENTATION CONTROL, DRAINAGE NOTES AND DETAILS	
13	UTILITY PLAN	
14	STREET CONDUIT PLAN	
15	ELECTRIC DETAILS	
16	TREE LIGHTING & DRAINAGE PLAN	
17	WATER AND WASTEWATER PROFILES	
18	WATER AND WASTEWATER NOTES AND DETAILS	
19	SOUTH ELEVATION	
20	WEST ELEVATION	
21	EAST ELEVATION	
22	NORTH ELEVATION	
23	PARKING LEVEL B-1	
24	PARKING LEVEL B-2	
25	PARKING LEVEL B-3	
26	PARKING LEVEL B-4	
27	STREETS AND NOTES	
28	TRAFFIC CONTROL DETAILS	
29	TRAFFIC CONTROL DETAILS	
30	TRAFFIC CONTROL DETAILS	
31	LANDSCAPE LICENSE AGREEMENT PLAN	
32	LANDSCAPE LICENSE AGREEMENT DETAILS	
33	LANDSCAPE LICENSE AGREEMENT DETAILS	
34	LANDSCAPE LICENSE AGREEMENT DETAILS	
35	IRRIGATION PLAN	
36	IRRIGATION PLAN	
37	PAVING PLAN	
38	PAVING DETAILS	
39	TAP PLAN	1C

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (sq. ft.)	TOTAL SITE IMP. COVER (sq. ft.) [%]	CITY OF AUSTIN APPROVAL/DATE	DATE IMAGED
1C	ADDED A TAP PLAN	(R) 1 (A) 39	39	0 sq. ft.	100%		
2C	Adjust SS Plan and Prof Around Existing Utilities. Show tap meter for construction only	(R) 1, 11, 39	39	0 sq. ft.	100%	@ 12-10-13	
3C	SHOW THE BUILT LOCATION OF FREE CONNECTIONS	(R) 1, 13	39	0	100%	@ 12-10-14	

PERMIT NO. : SP-2012-0432C
SUBDIVISION NO. : ORIGINAL CITY OF AUSTIN
ADDRESS : 310 E. 5TH STREET
SUBMITTAL DATE : DECEMBER 21, 2012

SUBMITTED BY : BRYANT R. BELL, P.E. DATE 05.24.13
BURY+PARTNERS, INC.
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701
(512) 328-0011



AUSTIN WATER UTILITY
EXPIRATION DATE
JUL 03 2016

APPROVED AND RELEASED

JUL 26 2013
CITY OF AUSTIN

Inspection Notice: Please call Watershed Protection and Development Review, Construction Inspection Division at 474-3662 for arrangements for payment of inspection fees and job assignment for inspection of the public utilities related to this site. Inspection fees must be paid before any pre-construction meeting can be held.

CENTRAL
WATER PRESSURE ZONE

APPROVED FOR ACCEPTANCE:

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT
INDUSTRIAL WASTE
CITY OF AUSTIN FIRE DEPARTMENT
Reviewed BY: George Lesenda Folom 7/3/13
AUSTIN WATER UTILITY DEPARTMENT

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 1 of 39
FILE NUMBER: SP-2012-0432C APPLICATION DATE: 12/21/12
APPROVED BY: ADMINISTRATION ON: 7/10/13 UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC) 7/10/16 CASE MANAGER: BARTON-HOLMES
PROJECT EXPIRATION DATE (ORD. #70905-A) 12/21/17 DWPZ DDZ X
mt aball
Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPANANCE: 7/10/13 ZONING: CD-CURE
Rev. 1: Correction: 7/12/13
Rev. 2: Correction: 7/12/13
Rev. 3: Correction: 7/12/13
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENTLY AT THE TIME OF FILING, AND A BUILDING PERMIT IS PERMITTED AND/OR A NOTICE OF CONSTRUCTION IS A BUILDING PERMIT IS NOT REQUIRED, MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

SHEET
1
OF 38

PLAN SUBMITTALS:

NO.	DATE	COMMENTS

I, BRYANT R. BELL, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

FILE: G:\101649\10006\101649006CVR01.dwg

CONSTRUCTION	BLDG.	FIRE	REQUIRED	ACTUAL REQUIRED
TYPE	S.F.	SPRINKLER	FIRE FLOW	FIRE FLOW
IA	292,784	YES	5,250	75% 1,500

*Fire flow requirement supporting information for SER application

NOTE:
LOTS WITH 80 PSI OR GREATER REQUIRE A PRIV. SET AT 65 PSI, TO BE INSTALLED ON THE OWNERS SIDE OF THE WATER METER.

DOMESTIC DEMAND = 500 GPM
FIXTURE UNITS = 4200
BUILDING HEIGHT = 230.0'

K01/48



K01/49



ARTICLE 7. - OFF-STREET PARKING AND LOADING.

Division 3. - Off-Street Loading.

§ 25-6-531 - OFF-STREET LOADING FACILITY REQUIRED.

- (A) A person must provide an off-street loading facility for:
 - (1) a new building or for a new use established in an existing building; and
 - (2) an addition or enlargement of an existing use or a change of occupancy or operation that results in an additional loading space being required;
- (B) For an off-street loading facility in use on March 1, 1984, a person may not:
 - (1) reduce the capacity to less than the number of spaces prescribed by Appendix A (*Tables Of Off-Street Parking And Loading Requirements*); or
 - (2) alter the design or function in a manner that violates Appendix A (*Tables Of Off-Street Parking And Loading Requirements*).
- (C) A loading facility constructed or substantially reconstructed after January 1, 1985, must comply with the design standards prescribed in Division 4 (*Design And Construction Standards For Parking And Loading Facilities*) and the Transportation Criteria Manual.
- (D) A required loading facility must:
 - (1) be maintained for the duration of the use or existence of the building requiring the facility; and
 - (2) be used exclusively for the purpose of loading and unloading goods, materials, and supplies.

Source: Section 13-5-103; Ord. 990225-70; Ord. 031211-11.

§ 25-6-532 - OFF-STREET LOADING STANDARDS.

- (A) A person must provide an off-street loading facility for each use in a building or on a site as prescribed in Appendix A (*Tables Of Off-Street Parking And Loading Requirements*).
- (B) Multiple uses or occupancies located in a single building or on one site may be served by a common loading space if the director determines that the loading space can adequately serve each use.
- (C) For a common loading space, described under Subsection (B), the director shall apply Appendix A (*Tables Of Off-Street Parking And Loading Requirements*) to the combination of buildings and uses served by the loading space instead of to each individual building and use. The schedule applicable to the use with the greatest load requirement shall be used.
- (D) An off-street loading facility requirement is based on the gross floor area. The gross floor area does not include enclosed or covered areas used for off-street parking or loading.
- (E) In this section, each two square feet of exterior site area used for a commercial or industrial use equals one square foot enclosed floor area.

Source: Section 13-5-104; Ord. 990225-70; Ord. 031211-11.

Division 4. - Design and Construction Standards for Parking and Loading Facilities.

§ 25-6-561 - APPLICABLE REGULATIONS; GENERAL MAINTENANCE.

- (A) A parking or loading facility, circulation area, or queue line must comply with the design and construction standards in this section and in the Transportation Criteria Manual.

- (B) A parking and loading facility must be maintained free of refuse or debris and must be available for the off-street parking or loading use for which the facility is required.

Source: Section 13-5-105(a) and (f); Ord. 990225-70; Ord. 031211-11.

§ 25-6-562 - DRAINAGE; LIGHTING.

- (A) The surfacing, curbing, and drainage improvements on a parking or loading facility must provide adequate drainage and prevent the free flow of water to an adjacent property or public street or alley.
- (B) A light installed to illuminate a parking facility or paved area must be designed to reflect away from a residential use to the maximum extent practicable.
- (C) An area used for primary circulation, frequent idling of vehicle engines, or loading activity must be designed and located to minimize the effect on an adjoining property, including the use for screening or sound baffling.

Source: Section 13-5-105(b), (c), and (e); Ord. 990225-70; Ord. 031211-11.

§ 25-6-563 - SCREENING.

- (A) A parking facility that is in a nonresidential district parking facility and that adjoins a residential district must be separated from the residential district by a wall or fence to screen the residential district from car lights and vehicle storage and movement. The wall or fence must be at least four feet in height and must be located on the common boundary between the parking facility and the residential district for the length of the common boundary.
- (B) A parking facility containing more than 10 spaces and that is in a residential district that adjoins another property in a residential district must be separated from the adjoining property by a wall, fence, or landscape to screen the residential district from car lights and vehicle storage and movement. The wall, fence or landscape must be at least six feet in height and must be located on the common boundary between the parking facility and the adjoining property for the length of the common boundary.
- (C) A screen prescribed under Subsection (A) or (B) must be located on the property line unless:
 - (1) existing vegetation will be harmed if the screen is placed on the property line; or
 - (2) placement of the screen on the property line would interfere with an existing drainage feature or utility.
- (D) If a person places screening on the property other than on the property line, the person must provide lot line monuments along the property line.
- (E) The director may waive a screening requirement prescribed by Subsection (A) or (B) if:
 - (1) the director determines that extraordinary conditions exist as defined in the Environmental Criteria Manual; or
 - (2) the property owner who benefits from the screening submits a written statement to the director that the owner would prefer that screening not be provided.
- (F) The director or the Land Use Commission may modify a design and construction requirement of this division for a site subject to site plan review if the director or Land Use Commission determines that the modified requirement improves the esthetics or utility of the design or provides protection to an adjoining use in a manner equal to or greater than the specific requirements of this division.

Source: Section 13-5-105; Ord. 990225-70; Ord. 010607-8; Ord. 031211-11.

Division 5. - Special Provisions for Property in the Central Business District (CBD), a Downtown Mixed Use (DMU) Zoning District, and the Central Urban Redevelopment (CURE) Combining District Area.

§ 25-6-592 - LOADING FACILITY PROVISIONS FOR THE CENTRAL BUSINESS DISTRICT (CBD) AND A DOWNTOWN MIXED USE (DMU) AND PUBLIC (P) ZONING DISTRICTS.

- (A) This section applies to a site zoned central business district (CBD) or downtown mixed use (DMU), and public (P) zoning district within the area bounded by Martin Luther King, Jr., Boulevard; IH-35; Lady Bird Lake; and Lamar Boulevard, except for:
 - (1) a building with a gross floor area of not more than 10,000 square feet; or
 - (2) the renovation of an existing structure, if the director determines that there is not enough space on the site to comply with the requirements of this section.
- (B) The following must be located on-site in accordance with this section:
 - (1) a trash receptacle location; and
 - (2) an off-street loading facility.
- (C) For a site that is adjacent to an alley:
 - (1) the off-street loading facility and trash receptacle location must be accessible from the alley; and
 - (2) the use of the alley for loading or unloading is a permitted use.
- (D) For a site that is not adjacent to an alley:
 - (1) a curb cut for an off-street loading facility or trash receptacle location may not exceed 30 feet in width;
 - (2) a vehicle may not use a public right-of-way to back into or out of an off-street loading facility or trash receptacle location; and
 - (3) the off-street loading facility and trash receptacle location:
 - (a) must be accessible from a street other than Congress Avenue or Sixth Street;
 - (b) may not be visible from a street, except at a curb cut; and
 - (c) must be at least 30 feet deep, measured from the front setback line or side setback line as applicable.
- (E) The Land Use Commission may waive a requirement of Subsection (C) or (D) after determining that:
 - (1) waiving the requirement does not create a hazard to pedestrians or vehicles; and
 - (2) for a waiver of Subsection (D)(3)(b), the applicant has reduced the visibility of the off-street loading facility and trash location to the greatest extent possible.
- (F) The minimum number of loading spaces for development in the CBD or a DMU zoning district is listed on the schedule at the end of Section 25-6-592 (Loading Facility Provisions for the Central Business District (CBD) and a Downtown Mixed Use (DMU) and Public (P) Zoning Districts). For civic uses, the number of loading spaces required shall be determined by the Director. For all other uses not listed in the table contained at the end of Section 25-6-592, the requirements of Appendix A, Part 1 apply.
- (G) Multiple uses or occupancies located in a single building or on one site may be served by a common loading space, if the Director determines that the loading space can adequately serve each use.
- (H) The Director may modify the number and size of spaces required after reviewing documentation provided by the applicant concerning the demand for loading facilities for similar developments.

SCHEDULE OF OFF-STREET LOADING REQUIREMENTS FOR CENTRAL AUSTIN

Sizes: (feet) 10 × 30 × 14 10 × 40 × 14 10 × 55 × 15		
Use:	Gross Floor Area Of Structure	Required Loading Space Per Square Foot of Floor Area
Financial services, business or professional office, meeting	0—10,000	0
	10,001—100,000	1 (10 × 30)
	100,001—200,000	1 (10 × 30) + 1 (10 × 40)
	200,001 or more	1 (10 × 30) + 1 (10 × 40) + additional spaces as required by the Director
Hotel, motel, meeting, convention, or exhibition halls	0—10,000	0
	10,001—150,000	1 (10 × 30)
	150,001—300,000	1 (10 × 30) + 1 (10 × 40)
	300,001—500,000	1 (10 × 30) + 1 (10 × 40) + 1 (10 × 55)
	500,001 or more	1 (10 × 30) + 1 (10 × 40) + 1 (10 × 55) + additional spaces as determined by the Director

Source: Section 13-5-106(c); Ord. 990225-70; Ord. 990603-108; Ord. 010607-8; Ord. 031211-11; Ord. 20130411-061; Ord. 20130926-082.

APPENDIX A. - TABLES OF OFF-STREET LOADING

SCHEDULE C
Off-Street Loading Requirement

Square Feet of Floor Area	Minimum Number Of Off-Street Loading Spaces
0—10,000	0
10,001—75,000	1
75,001—150,000	2
150,001—300,000	3
Over 300,000	1 for each 100,000

Source: Section 13-5-107; Ord. 990225-70; Ord. 990520-38; Ord. 000511-109; Ord. 000831-65; Ord. 010426-48; Ord. 020627-Z34; Ord. 031120-44; Ord. 031211-11; Ord. 040617-Z-1; Ord. 20110210-018; Ord. 20121108-057; Ord. 20130523-104; [Ord. 20140417-082, Pt. 2, 4-28-14](#); [Ord. No. 20151119-080, Pt. 3, 11-30-15](#).

Division 9. - University Neighborhood Overlay District Requirements.

§ 25-2-751 - APPLICABILITY.

This division applies to property in the university neighborhood overlay (UNO) district if the property owner files a site plan and an election for the property to be governed by this division.

Source: Ord. 040902-58.

§ 25-2-764 - DESIGN GUIDELINES.

- (A) A site plan must comply with the design guidelines prescribed by administrative rule. An applicant shall file with the site plan drawings of all building elevations and streetscapes that demonstrates substantial compliance with the design guidelines.
- (B) The director of the Neighborhood Planning and Zoning Department shall determine whether a site plan substantially complies with the design guidelines.
- (C) The director of the Neighborhood Planning and Zoning Department may waive a provision of the design guidelines if the director determines that the provision is unreasonable or impractical as applied to the site plan and that, with the waiver, the site plan will still substantially comply with the design guidelines. A waiver under this subsection must be the minimum departure from the provision necessary to avoid an unreasonable or impractical result.

Source: Ord. 040902-58; Ord. 20080925-039.

Central Austin Combined Neighborhood Plan

**West Campus/University Neighborhood
Overlay (UNO) Design Guidelines**

West Campus Design Guidelines

for the UNIVERSITY NEIGHBORHOOD OVERLAY

a component of the
Central Austin Combined Neighborhood Plan

June 2004

FINAL VERSION /10

prepared for the **UNIVERSITY AREA PARTNERS**

by the office of
COTERA+REED ARCHITECTS

and assisted by Taylor Simpson Parking Consultants

INTRODUCTION

Introduction to UNO Overlay and West Campus Design Guidelines
Summary of the goals of U.N.O

MAPS

Districts Throughout CANPAC
Allowable Heights Throughout UNO

INDEX OF ARCHITECTURAL GUIDELINES

GENERAL

- G.1 BUILDING SETBACKS
- G.2 PEDESTRIAN PARK ACCESS
- G.3 HISTORICAL CONTINUITY AND AUTHENTICITY
- G.4 ACCOMMODATION OF PERMANENT SMALL SCALE NEIGHBORS
- G.5 ACCOMMODATION OF BUILDING SIGNAGE

PARKING

- P.1 PLANNING PARKING STRUCTURES
- P.2 SCREENING HEADLIGHTS
- P.3 FLAT SLAB REQUIREMENT

STREETSCAPE

IMPROVEMENTS

- S.1 STREET TREES
- S.2 SIDEWALKS/UTILITIES/AMENITIES
- S.3 STREETSCAPE LIGHTING

BUILDING

- B.1 BUILDING USES AT GROUND LEVEL
- B.2 BUILDING USES AT UPPER LEVEL
- B.3 HEIGHT OF GROUND LEVEL
- B.4 PLANNING FOR BUILDING SERVICES
- B.5 LOADING AND MANEUVERING
- B.6 BUILDING MATERIALS / QUALITY
- B.7 BUILDING STEPBACKS
- B.8 HUMAN SCALE
- B.9 STREET LEVEL WINDOWS

APPENDIX

Council Resolution

Illustration of Transportation Standard

INTRODUCTION

The West Campus Design Guidelines and the University Neighborhood Overlay of which it is a part are components of a neighborhood plan sponsored by the City of Austin and neighborhood organizations to the west and north of the UT Austin campus. These documents are intended to create a long range vision of a urban and diverse residential district in the area just west of the campus, while preserving the smaller scale residential character of other areas in the neighborhood plan. It is the intention of the groups which developed the documents that the conflicting goals - each firmly rooted in principals of sustainability - of urban density and the preservation of traditional inner neighborhoods, can each be satisfied through common effort.

As the university grew, West Campus developed with small scale buildings and homes, many of which served the university in some way. Much of this original building stock has become short term rental properties for students. In addition, some properties have been consolidated and converted to two and three story apartment blocks. The gradually increasing need for parking, resulting from the change to rental from single family has not been well accommodated. Streets and front yards are filled with cars from local residents and students. Many older apartment buildings use the previously required building setback for head in parking, creating conflicts with pedestrians at the sidewalk.

The overlay and guidelines are intended to help create a residential district that is close to the campus, consolidating some of the student housing that is presently scattered throughout the city, and thereby reducing transient student traffic to campus from outside, and reducing the transient parking requirements around West Campus. The district should also create housing for university faculty and staff, and may include hotels catering to business and academic visitors.

The overlay permits those who wish to develop under the existing strictures to do so. However, new development may also *opt-in* to the rules of the UNO, which allows larger buildings and denser development. These developments will follow the standards set in the UNO overlay and the West Campus Design Guidelines.

Through this process, larger residential buildings will be promoted, and the area will ultimately develop into a dense population of students, professors and staff for the university. The close proximity of the campus is expected to allow most to commute by foot and bicycle, greatly reducing this community's reliance on cars, and reducing the development pressure on the areas north of UT. This shift in population should also reduce the use of neighborhood streets for commuter parking.

Promoting a greater density at the city center is one way of reducing sprawl at the city periphery; this is considered by many to be one of the greatest threats to environmental health and to our livelihood. Besides simply putting more development in a smaller area - and benefiting from an efficient infrastructure, a dense mixture of uses can reduce our reliance on cars, subsequently reducing pollution and oil consumption.

The UNO overlay West Campus Design Guidelines were crafted to promote larger buildings of greater quality and longer life, which accommodate current parking requirements. These should also be designed to promote a comfortable pedestrian environment. The guidelines are not intended to create a manual of architectural style. They *are* intended to create a framework for a comfortable, walkable, urban fabric, within which a variety of architectural expression can exist without conflict.

SUMMARY OF GOALS OF UNO AND WEST CAMPUS GUIDELINES

1. *TRANSPORTATION*

The UNO Overlay is intended to support for City of Austin's and Capitol Metro's and The University of Texas's vision for an integrated transportation plan which includes commuter options and a reduced reliance on cars - through density and planning.

2. *STREET ORGANIZATION*

- A. Creation of HIERARCHY of transportation concerns in street design:
 - 1 pedestrian traffic
 - 2 transit
 - 3 bicycle traffic
 - 4 cars
- B. Define street types throughout overlay:
 - pedestrian oriented east west streets
 - local transportation oriented north south streets
 - arterials with more cars and wider sidewalks: 24th+29th+Rio Grande+Guadalupe+MLK
- C. Creation of a two-way street system throughout the area
- D. Four way stops standard at all intersections for non-commercial corridors and Rio Grande
- E. Lighted signals at major intersections along arterials
- F. Accommodation of bike traffic on all streets

3. *PARKING*

- A. *Municipal involvement:*
 - 1. Encourage developments in rapid transportation, that reduce the need for parking throughout the district.
 - 2. Encourage the establishment of a locally controlled municipal parking authority that would develop regional parking structures which could - as the need for cars diminishes - be converted into habitable space. The creation of a local municipal parking authority could help control and regulate on-street parking.
- B. *Parking responsibility:*
 - ensure that new buildings have off-street parking - either on the property or in a regional parking garage - and do not rely on surrounding streets for parking needs
- C. *Parking control:*
 - do not create streets that are lined with only parking garages at the lower levels
- D. *Parking control:*
 - provide significant incentives for parking underground
- E. *Regional garages:*
 - will be required to contain secondary spaces at ground level

FINAL VERSION /10

- F. *Mixed-use encouragement*
buildings in the UNO Overlay may use smaller parking dimensions
off-street parking not required for commercial uses under 20,000 SF along the designated corridors

4. *BUILDING USE*

- A. overlay will require 80% residential uses - in existing residential base districts.
*except: buildings under 60 feet in height along Guadalupe;
buildings under 60 feet in height along MLK between Guadalupe and Rio Grande
buildings under 60 feet in height along 24th St. between Guadalupe and Rio Grande*
- B.1 overlay will require 10% of the residential to be leased through CoA Smart Housing Program for 12 year period. Threshold for inclusion in this provision will be projects of 40 units or a resident population of 80 tenants. Threshold income is 80% median family income.
- B.2 overlay will also require an additional 10% of the residential to be leased through CoA Smart Housing Program using a 50% median family income threshold.
- B.3 projects may satisfy the 50% affordable housing requirements by paying a fee in lieu of participating in the Smart Housing Program. The fee would be calculated as \$0.15 per square foot of the gross building area. These fees would be used to develop affordable housing exclusively in the UNO district.
- B.4. affordable units in a building may be separated from market rate units if given their own physical identity and if a separate management structure is established. Otherwise, the affordable units in a building must be integrated into the non-affordable units and distributed throughout. In either case, the units leased under the Smart Housing Program shall be constructed with the same level of quality as the average of the building.
- C. the overlay will define *secondary uses* specifically for UNO

5. *COMPATIBILITY*

- A. no INTRA district compatibility requirements
yes INTER district compatibility requirements

6. *STREETSCAPE IMPROVEMENTS*

- A. Install trees, lighting, seating and other amenities in R.O.W.
- B. Reduce the amount of curb cuts.
- C. Create a complete system of wide sidewalks along street frontage.
- D. Create a locally controlled finance district for funding streetscape improvements using local parking meters
- E. Encourage streetscape improvements by waiving fees associated with license agreements

7. *BUILDING SIZE/LOCATION*

- A. Avoid deep canyons by stepping back buildings above streetwall.

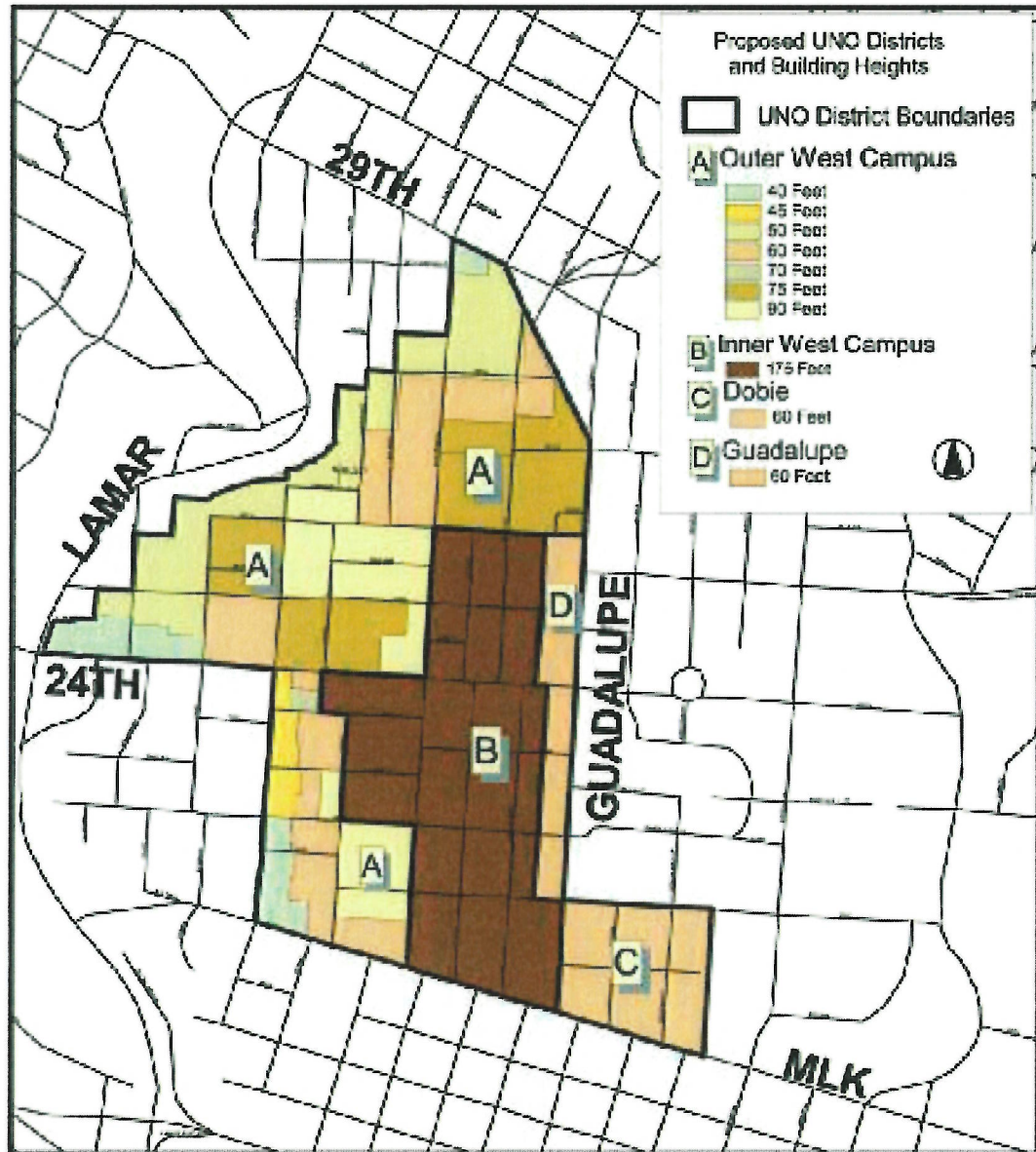
GREATER NEIGHBORHOOD PLANNING AREA



UNO OVERLAY
PLANNING AREA
WITHIN WEST CAMPUS
NEIGHBORHOOD
AREA

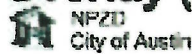
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BOUNDARIES OF THE UNO PLANNING AREA



Proposed University Area Overlay (UNO) Districts

March 24, 2004



600 0 500 1000 Feet

