

M04/1



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

### NOTIFICATIONS

CASE#: C15-2017-0053

LOCATION: 2303 Quarry Rd



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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1" = 167'



## CITY OF AUSTIN

### Development Services Department

One Texas Center | Phone: 512.978.4000  
505 Barton Springs Road, Austin, Texas 78704

## Board of Adjustment General/Parking Variance Application

**WARNING: Filing of this appeal stops all affected construction activity.**

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

### For Office Use Only

Case # _	ROW # _	Tax # _
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### Section 1: Applicant Statement

Street Address: 2303 Quarry Road

Subdivision Legal Description:

W 52.5 FT OF LOT 5 BLK 2 WESTFIELD A

Lot(s): 5 Block(s): 2

Outlot:    Division:   

Zoning District: SF3

I/We JESSICA OZMUN on behalf of myself/ourselves as  
authorized agent for EDUCM INC C/O GREG JACOBSON affirm that on  
Month August, Day 25, Year 2017, hereby apply for a hearing before the  
Board of Adjustment for consideration to (select appropriate option below):

☒ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other:   

Type of Structure: GARAGE ON PERMITTED SLAB FOUNDATION

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-2-515 - REAR YARD OF THROUGH LOT

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## Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

I contend that my entitlement to the requested variance is based on the following findings:

### Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

There is a permitted oncrete slab where we are requesting that a garage to be built. Due to through yard setbacks and protected trees, this is the only place on the lot that covered parking can be utilized.

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### Hardship

a) The hardship for which the variance is requested is unique to the property in that:

The amount of protected trees on the lot, do not allow for covered parking anywhere else on the lot.

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b) The hardship is not general to the area in which the property is located because:

The neighborhood is an older well established neighborhood all with existing carports or garages and this lot has many protected trees that do not allow for covered parking in any other area.

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## Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Many homes in this neighborhood have pre-existing detached garages or carports. There has been as least one variance case in this neighborhood to allow for a detached garage within the set back. Allowing for a detached garage on this lot will help to keep the character of the neighborhood.

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## Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

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2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

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3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

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4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Jessica Ozmun Digitally signed by Jessica Ozmun  
Date: 2017.08.25 02:59:53 -05'00' Date: 08/25/2017

Applicant Name (typed or printed): Jessica Ozmun

Applicant Mailing Address: 5303 Beechmoor DR

City: Austin State: TX Zip: 78723

Phone (will be public information): (512) 971-2694

Email (optional – will be public information): \_\_\_\_\_

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Name (typed or printed): \_\_\_\_\_

Owner Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 5: Agent Information**

Agent Name: Jessica Ozmun

Agent Mailing Address: 5303 Beechmoor DR

City: Austin State: TX Zip: 78723

Phone (will be public information): (512) 971-2694

Email (optional – will be public information): \_\_\_\_\_

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

We are looking to protect and maintain the character of the neighborhood by adding a detached garage and preserve the protected trees.

\_\_\_\_\_  
\_\_\_\_\_

PROJECT DESIGNERS:  
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description of that alteration.

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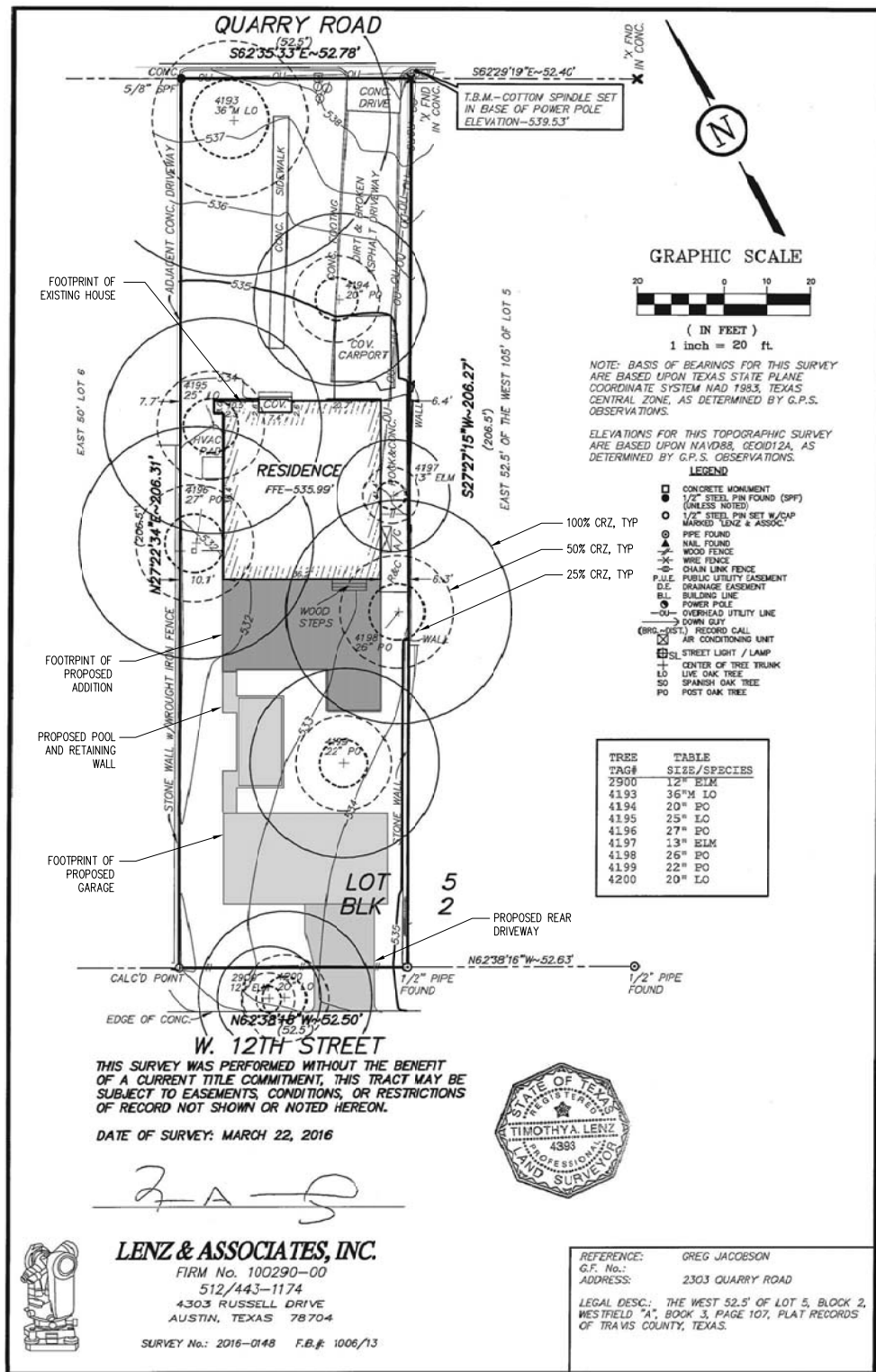
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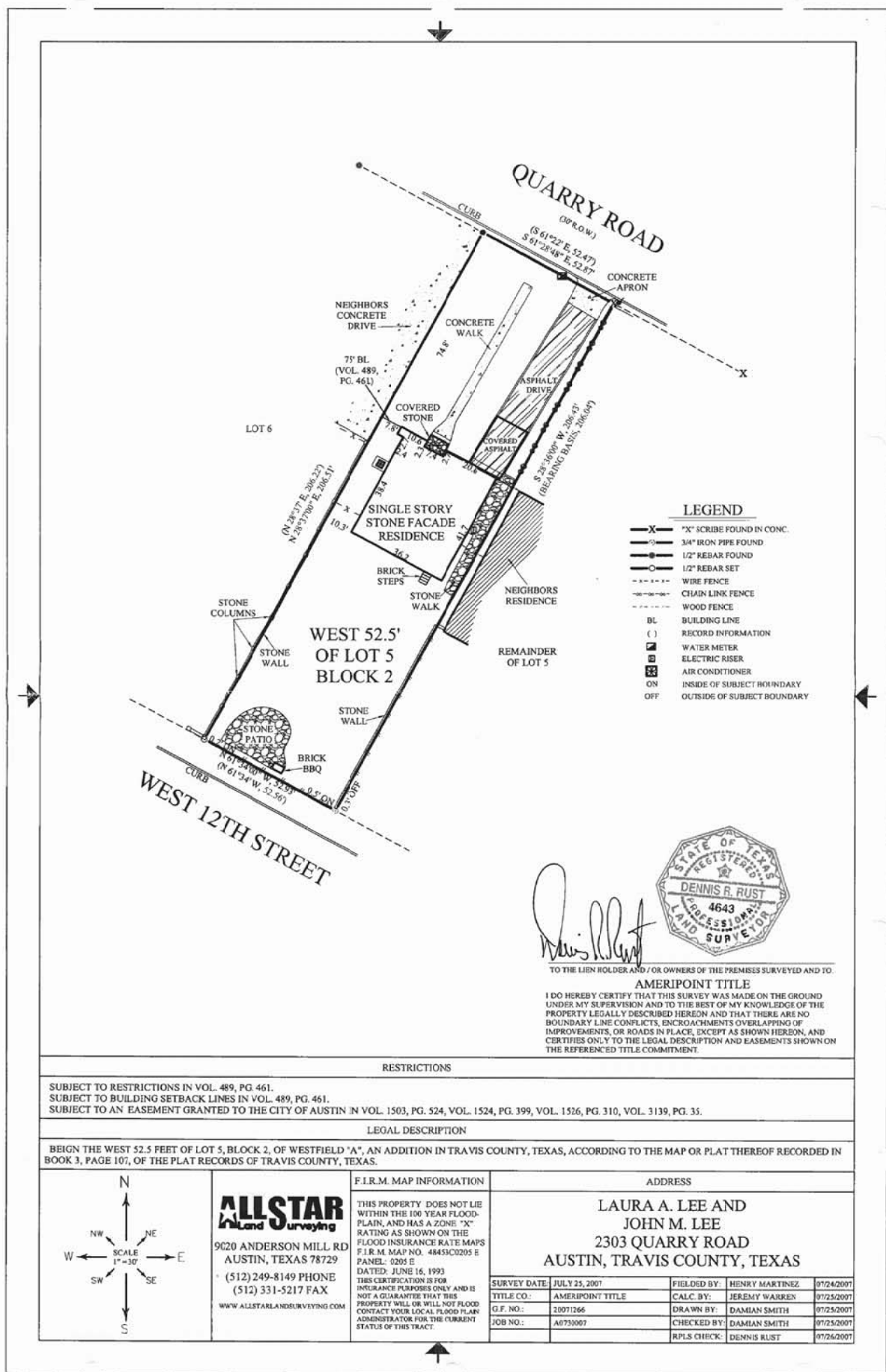
SURVEYS

SHEET NUMBER

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\\tsclient\SLand Projects\3\WESTFIELD A - W 52.5 LOT 5 BLK A\dw1\MS TREE TOPO 2016-0148.DWG. 3/29/2016 1:46:48 PM, XPMUser

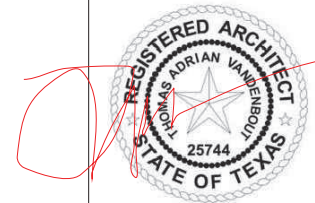


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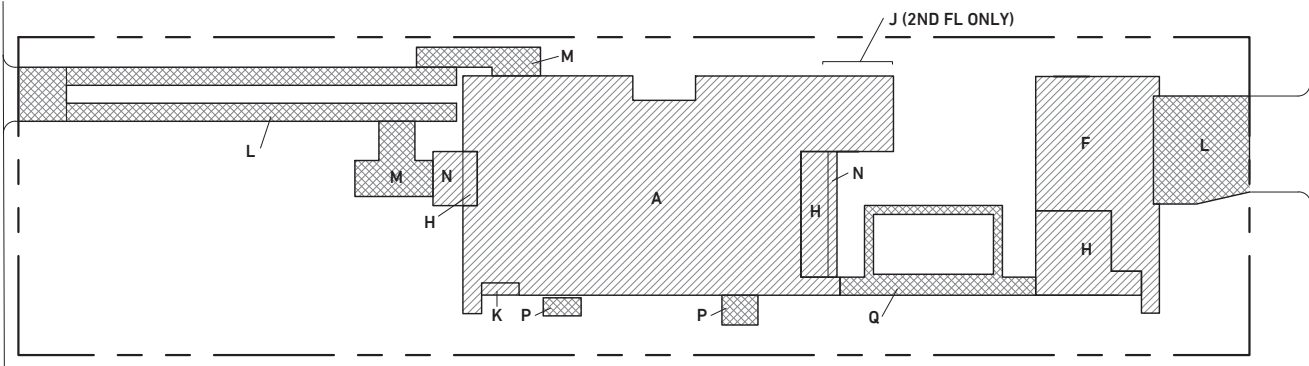
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## COVERAGE ANALYSIS

SHEET NUMBER

KEY:

 BUILDING COVERAGE IMPERVIOUS COVERAGE

AREA DESCRIPTION	EXIST (SQ FT)	NEW (SQ FT)	TOTAL (SQ FT)
A. FIRST FLOOR CONDITIONED AREA	1,385	798	2,183
B. SECOND FLOOR CONDITIONED AREA	0	1,957	1,957
C. THIRD FLOOR CONDITIONED AREA	0	1,852	1,852
D. BASEMENT	0	0	0
E. ATTACHED COVERED PARKING	0	0	0
F. DETACHED COVERED PARKING	0	548	548
G. COVERED WOOD DECKS	0	0	0
H. COVERED PATIO	0	291	291
I. COVERED PORCH	0	0	0
J. BALCONY	0	154	154
K. OTHER (MISC OVERHANGS)	0	50	50
<b>TOTAL BUILDING AREA (TBA)</b>	<b>1,385</b>	<b>5,650</b>	<b>7,035</b>
<b>TOTAL BUILDING COVERAGE (TBC)</b>	<b>1,385</b>	<b>1,687</b>	<b>3,072</b>
L. DRIVEWAY**	416	285	701
M. SIDEWALKS	150	0	150
N. UNCOVERED PATIO	0	100	100
O. UNCOVERED WOOD DECKS	0	0	0
P. AC PADS AND OTHER CONCRETE FLATWORK	18	28	46
Q. OTHER (POOL COPING, RETAINING WALLS)	0	171	171
<b>TOTAL IMPERVIOUS COVER*</b>	<b>1,969</b>	<b>2,271</b>	<b>4,240</b>
R. POOL	0	200	200
S. SPA	0	0	0

## BUILDING COVERAGE INFORMATION

LOT AREA (SQ FT):	10,841
EXISTING BUILDING COVERAGE (SQ FT):	1,385
EXISTING COVERAGE % OF LOT =	13%
FINAL BUILDING COVERAGE (SQ FT):	3,072
EXISTING COVERAGE % OF LOT =	28%

## IMPERVIOUS COVER INFORMATION

EXISTING IMPERVIOUS COVERAGE (SQ FT):	1,969
EXISTING COVERAGE % OF LOT:	18%
FINAL IMPERVIOUS COVERAGE (SQ FT):	4,240
FINAL COVERAGE % OF LOT:	39%

\* TOTAL IMPERVIOUS COVER IN FRONT YARD IS 10.6%

\*\* EXISTING FRONT ASPHALT DRIVEWAY TO BE REPLACED WITH DRIVE RIBBONS OF LESSER TOTAL IMPERVIOUS AREA.

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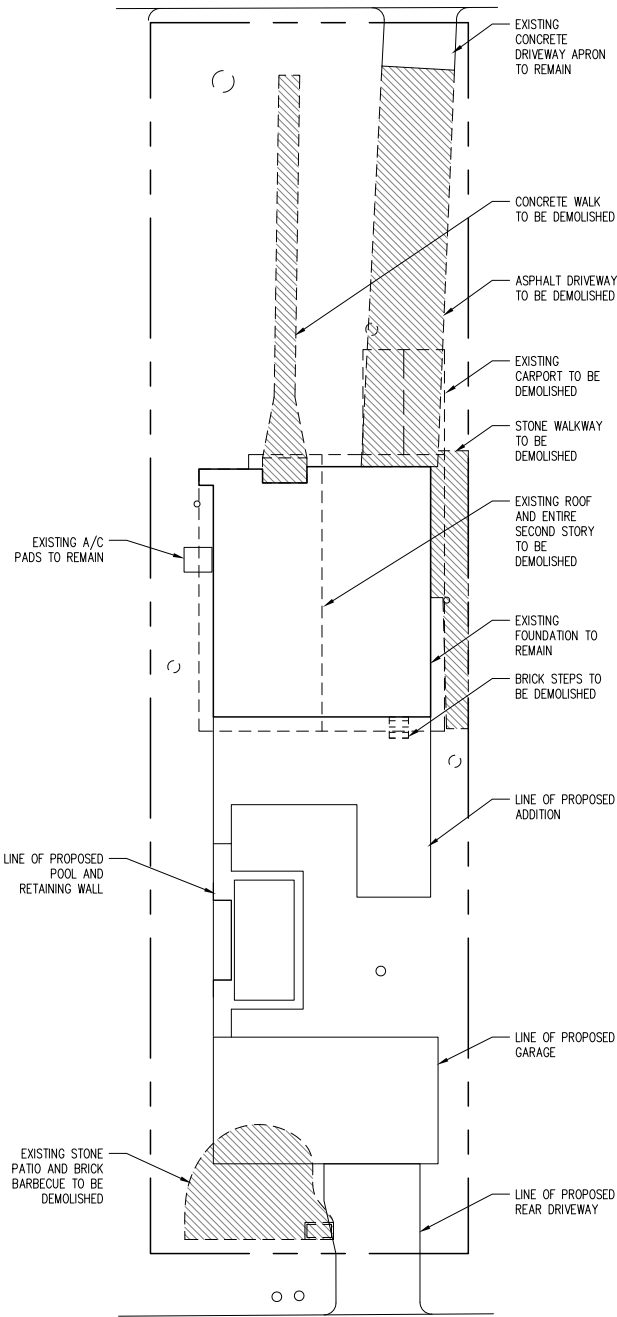
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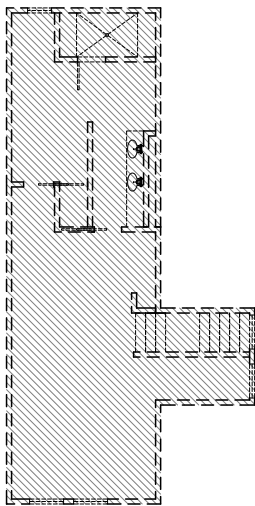
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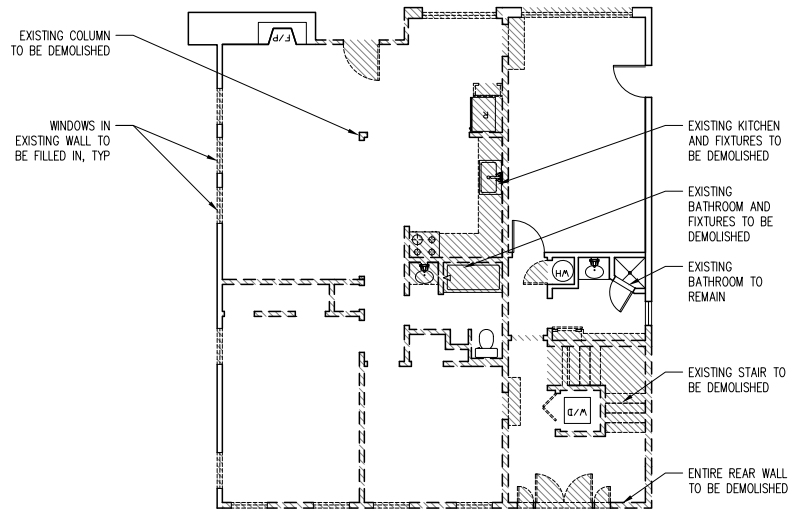


NOTE:  
ENTIRE EXISTING SECOND STORY AND  
ROOF TO BE DEMOLISHED



4 DEMO DIAGRAM: REAR VIEW

NTS



1 DEMO PLAN - 1ST FL

1/16" = 1'-0"

3 DEMO SITE PLAN

1/32" = 1'-0"

2 DEMO PLAN - 2ND FL

1/16" = 1'-0"

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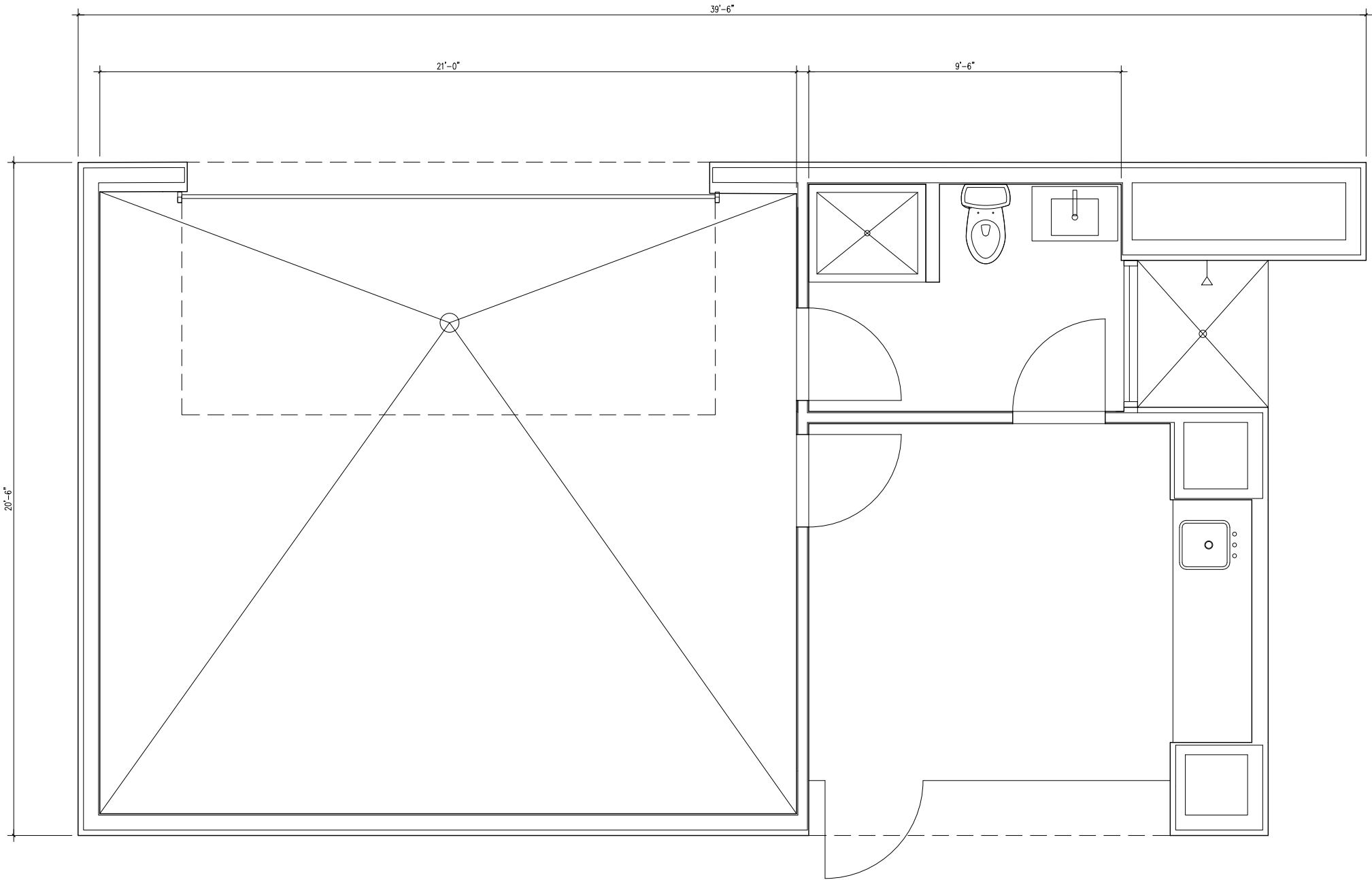
## SITE PLAN

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$$1/16'' = 1'-0''$$

FRONT YARD TOTAL AREA:	1,324 SQ FT
FRONT YARD TOTAL IMPERVIOUS COVERAGE:	140 SQ FT
FRONT YARD PERCENTAGE OF IMPERVIOUS COVERAGE (<40% MAX):	10.6%


$$1/16'' = 1'-0''$$



1 | GARAGE NORTH ELEVATION 1/4" = 1'-0"

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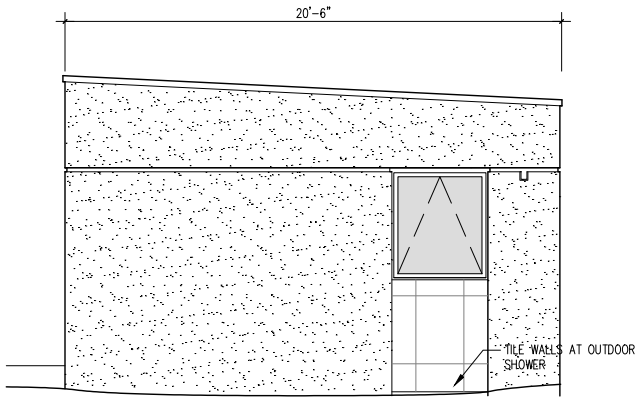
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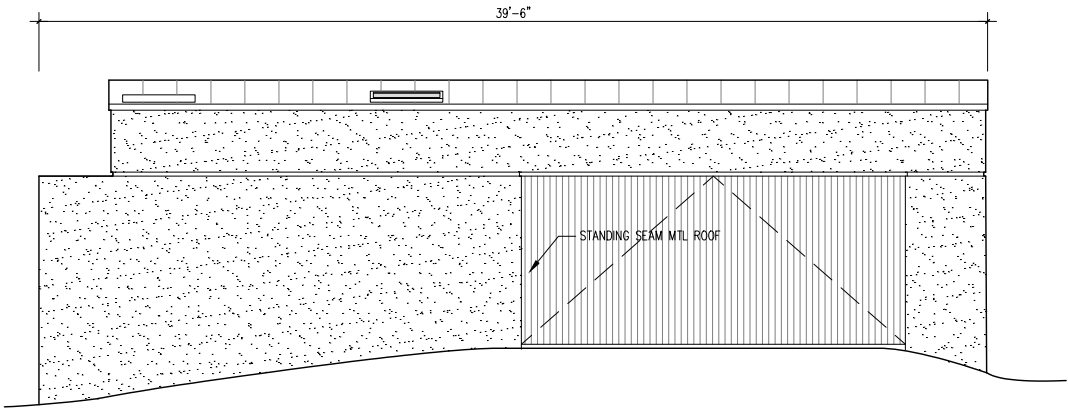


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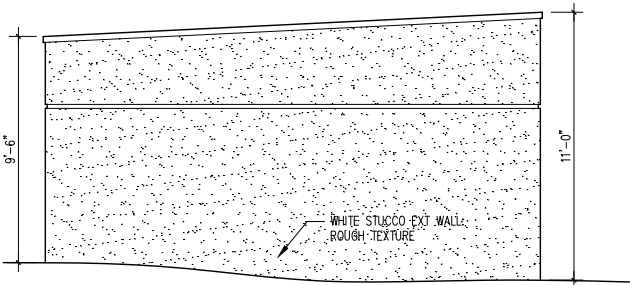
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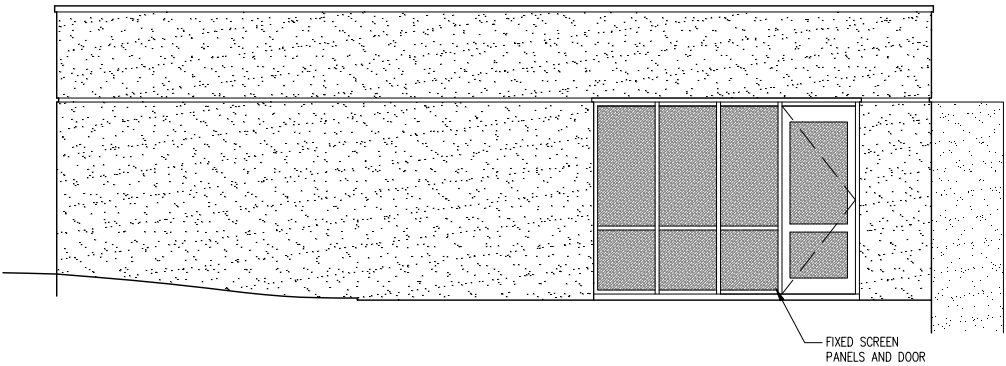
4	GARAGE NORTH ELEVATION	1/8" = 1'-0"
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3	GARAGE NORTH ELEVATION	1/8" = 1'-0"
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2	GARAGE NORTH ELEVATION	1/8" = 1'-0"
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1	GARAGE NORTH ELEVATION	1/8" = 1'-0"
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ELEVATIONS

SHEET NUMBER

A 1.2

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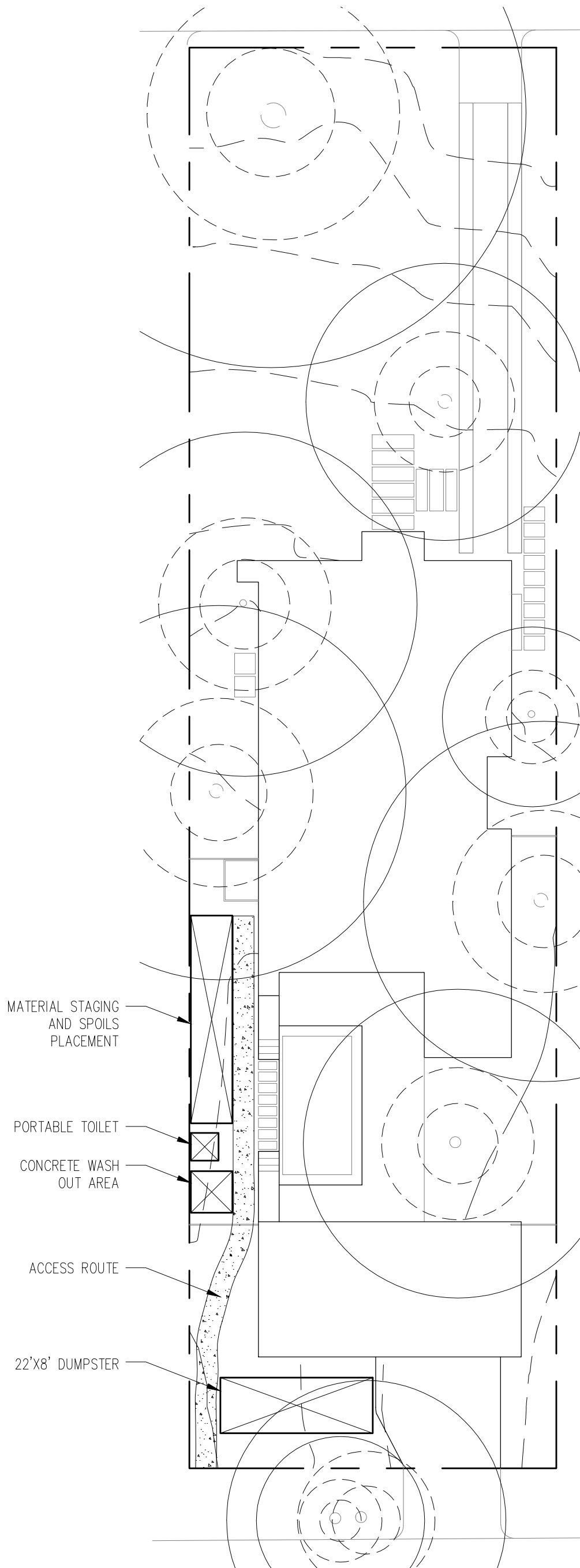
SITE DIAGRAMS

SHEET NUMBER

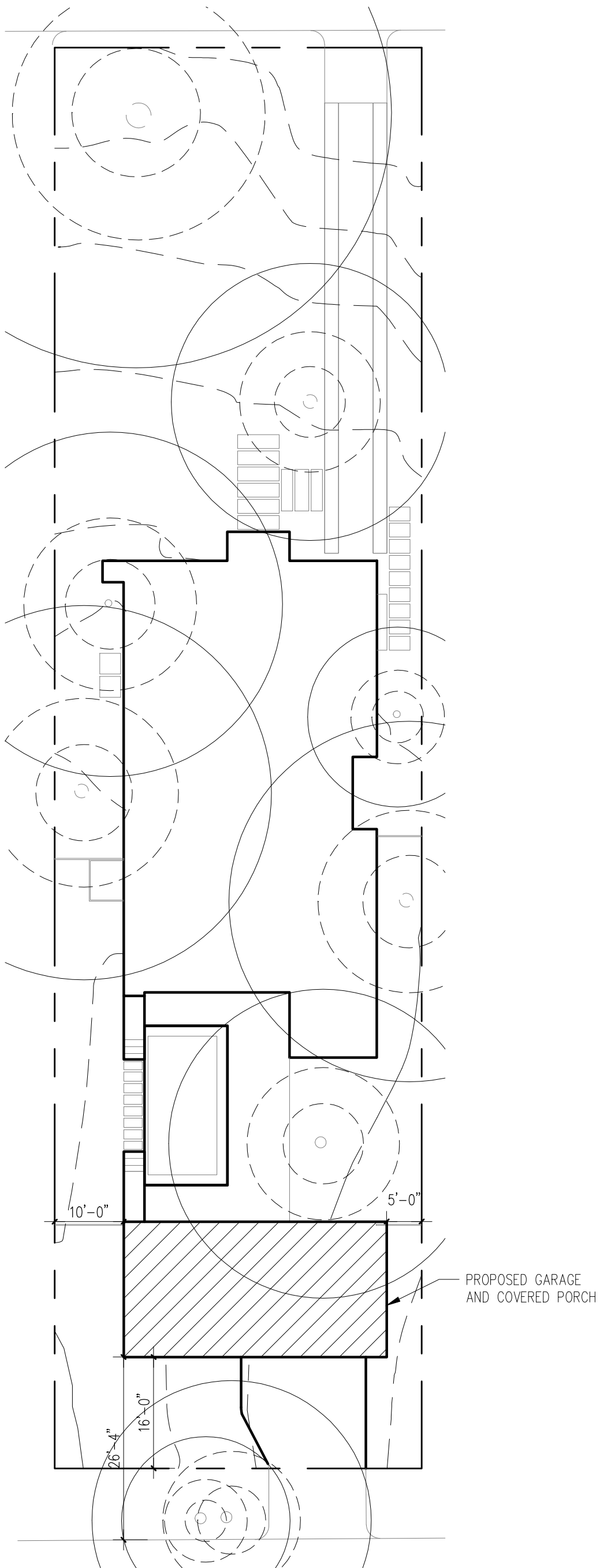
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DIAGRAM NOTE: CURRENTLY  
PERMITTED CONCRETE  
PARKING PAD TO BE  
CONVERTED TO GARAGE AND  
COVERED PORCH

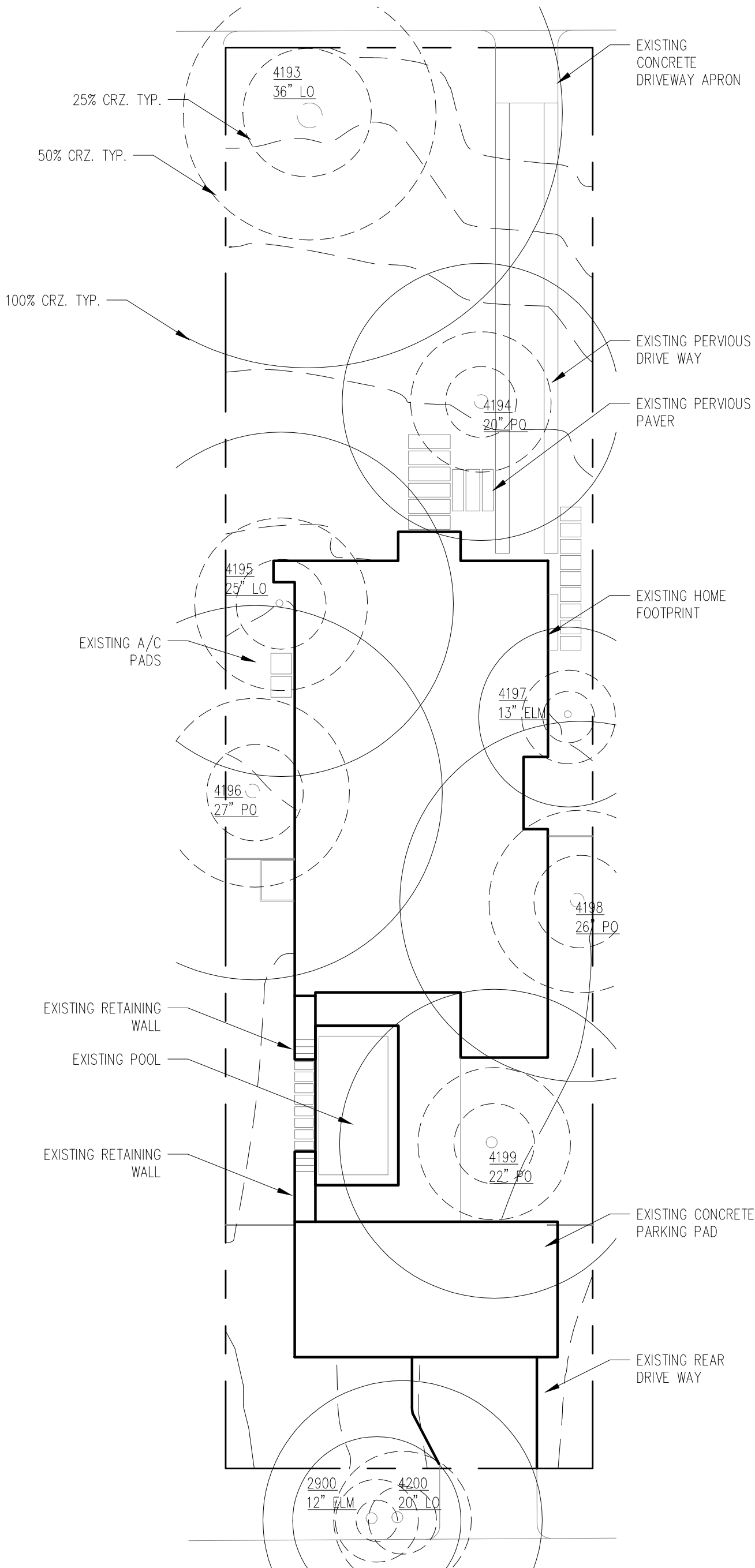
DIAGRAM NOTE:  
EXISTING=PERMITTED BUT  
NOT YET CONSTRUCTED.  
LABELED AS SUCH FOR  
APPLICATION CONSISTENCY



3 PROPOSED CONSTRUCTION PLANNING DIAGRAM



2 PROPOSED VARIANCE DIAGRAM 1/32" = 1'-0"



1 SITE DIAGRAM AS CURRENTLY PERMITTED 1/32" = 1'-0"