



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

To complete this form electronically: Open with
Internet Explorer, then [Click Here to Save and continue.](#)

Property Information

Project Address: 2205 E. Cesar Chavez St.	Tax Parcel ID: 18843
Legal Description: Lot 6, Blk A, Driving Park Addition of Outlet 39, Division "O"	
Zoning District: CS-CO-MU-H-NP	Lot Area (sq ft): 6,707.00
Neighborhood Plan Area (if applicable): Holly	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input type="checkbox"/> N <input type="checkbox"/> Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, click here for more information on the tree permit process.)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/>	
Does this site currently have: water availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> wastewater availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <input type="checkbox"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input type="checkbox"/> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input type="checkbox"/> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, construction material recycling is required per LDC 25-11-39)			
Existing Use:	vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____		
Proposed Use:	vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____		
Project Type:	new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> other: _____		
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (Note: Removal of all or part of a structure requires a demolition permit application.)			
# existing bedrooms: 3	# bedrooms upon completion: 3	# baths existing: 1.0	# baths upon completion: 1.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>Remove old addition & remodel original house. Two story addition to include new bedrooms & half bath and porch.</u> <u>Existing kitchen to be remodeled.</u>			
Trades Permits Required (Circle as applicable): <input type="checkbox"/> electric <input type="checkbox"/> plumbing <input type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)			

Job Valuation		
Total Job Valuation: \$ <u>300,000</u> Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>275,000</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>10,000</u> Elec: \$ <u>5,000</u> Plmbg: \$ <u>5,000</u> Mech: \$ <u>5,000</u> TOTAL: \$ <u>25,000</u>
	Amount for Primary Structure: \$ <u>275,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	877.00		437.00		1,314.00	0.00
b) 2 nd Floor conditioned area			488.00		488.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)					0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	96.90		122.60		219.50	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks					0.00	0.00
Total Building Area (total a through h)	973.90	0.00	1,047.60	0.00	2,021.50	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—		
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement (LDC 25-1-21) Total Building Coverage (sq ft): <u>1,533.50</u> % of lot size: <u>23</u>						
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23) Total Impervious Cover (sq ft): <u>3,001.00</u> % of lot size: <u>45</u>						
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y <input checked="" type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input checked="" type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <input checked="" type="checkbox"/> N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>25</u> ft <u>6</u> in Number of Floors: <u>2</u>			Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y <input checked="" type="checkbox"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small> Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N Width of approach (measured at property line): <u>19.0</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N <small>(If yes, drainage review is required)</small>						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	877.00	437.00			1,314.00
2 nd Floor		488.00			488.00
3 rd Floor					0.00
Area w/ ceilings > 15'		25.00	Must follow article 3.3.5		25.00
Ground Floor Porch* (check article utilized)	97.00	122.60	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2)	200.00	19.60
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	974.00	1,072.60			1,846.60

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 1,846.60

(Total Gross Floor Area ÷ Lot Area) x 100 = 28 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

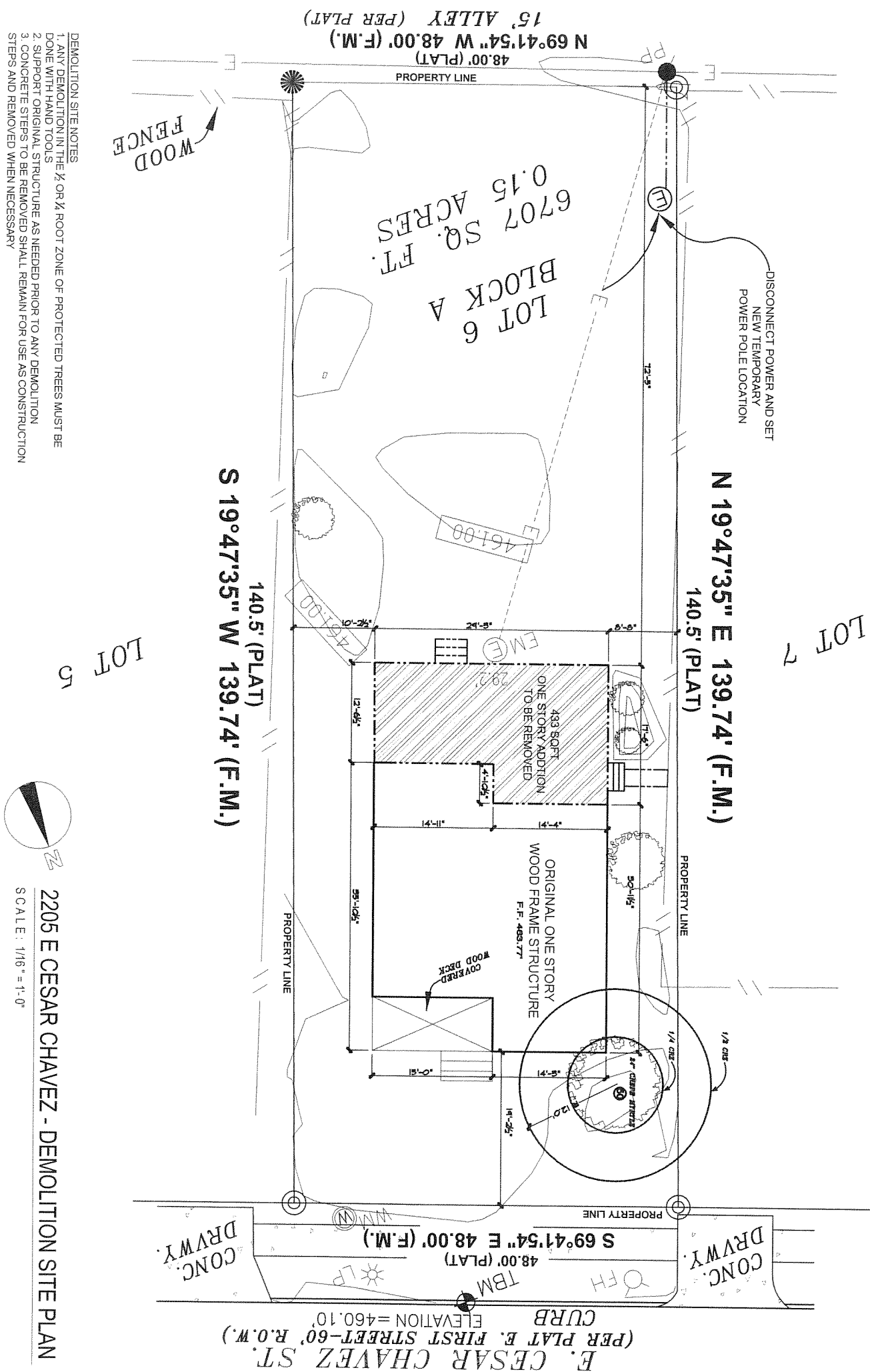
***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway, and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



GENERAL NOTES

1. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE 2012 IRC, IECC AND 2011 NEC AND ORDINANCES ADOPTED BY THE CITY OF WESTLAKE HILLS & ALL OTHER APPLICABLE BUILDING CODES.

2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO J SQUARE ARCHITECTURE LLC.

3. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME OR THEIR EXACT MEANING, J SQUARE ARCHITECTURE LLC. SHALL BE NOTIFIED FOR CLARIFICATION.

4. THE STRUCT., MECH., ELEC., LIGHTING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF THE STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION PRIOR TO THE INSTALLATION OF THIS WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR J SQUARE ARCHITECTURE OR J SQUARE ARCHITECTURE'S CONSULTANTS.

5. FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS, ETC., SHALL BE APPROVED BY J SQUARE ARCHITECTURE PRIOR TO INSTALLATION.

6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUD WALL UNLESS OTHERWISE NOTED OR INDICATED.

7. EXAMINATIONS OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT HIS WORK SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH HIS WORK IS TO BE PERFORMED. HE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK THE LOCATION OF EXISTING STRUCTURES OR EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS BEHALF FOR ANY EXPENSE TO WHICH HE MAY INCUR DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH AN EXAMINATION. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO J SQUARE ARCHITECTURE LLC. PRIOR TO COMMENCEMENT OF WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO THE VARIATION BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS INDICATED ON THE DRAWINGS.

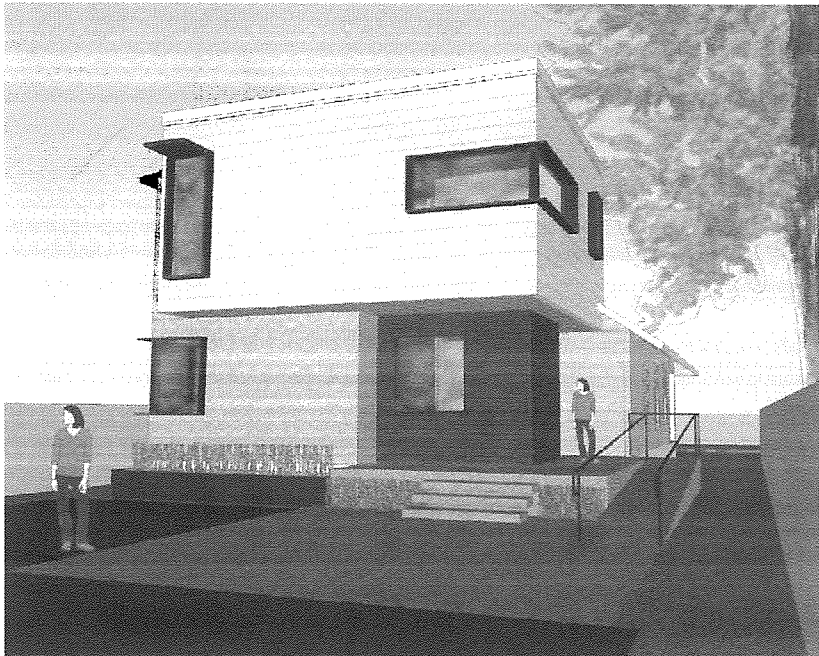
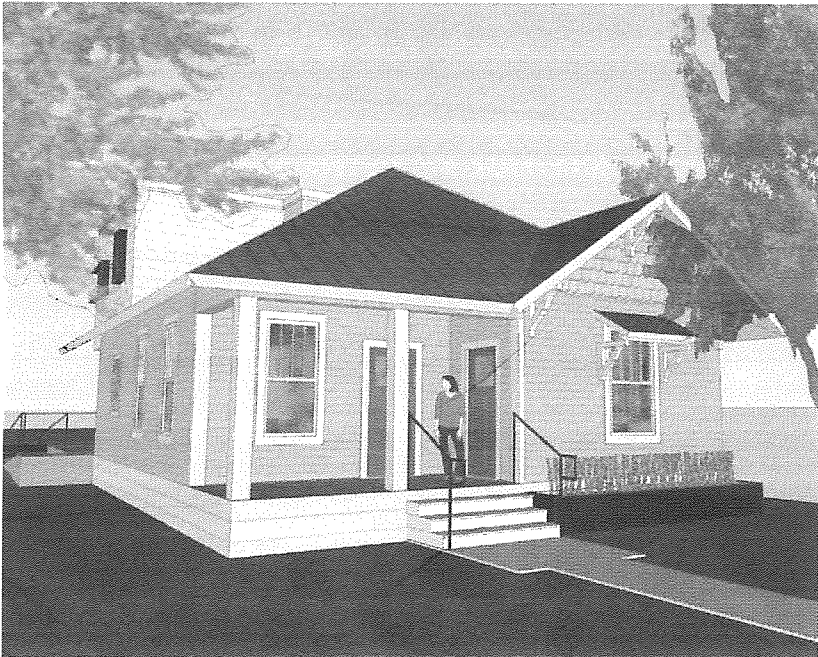
8. THE CONTRACTOR IS CAUTIONED THAT HIS WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY HIM AND INCLUDED IN HIS BUDGET AND INITIAL WORK SCOPE WITH NO LATER ADDITIONAL COST TO THE OWNER.

9. ITEMS OF WORK INDICATED ON THE DRAWING AS N.I.C. (NOT IN CONTRACT) SHALL BE PERFORMED, FURNISHED, OR LET UNDER SEPARATE CONTRACT BY THE OWNER. THE CONTRACTOR SHALL COORDINATE HIS WORK ACCORDINGLY AS REQUIRED TO MEET THE CONSTRUCTION SCHEDULE.

10. IT SHALL BE CONSTRUED THAT EACH SUBCONTRACT IS AN INTEGRAL PART OF THE GENERAL CONTRACT AND CONTRACTOR SHALL PROVIDE AND MAINTAIN IN FULL OPERATION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT A SUFFICIENT CREW OF LABORERS, MECHANICS AND FOREMAN TO PROSECUTE THE WORK WITH DISPATCH.

11. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGH OUT THE COURSE OF THE JOB. G.C. SHALL MAINTAIN SAFETY AND CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN THIS CONSTRUCTION AT THE CONCLUSION OF THE INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.



PROJECT INFORMATION

ADDRESS:
2205 E. CESAR CHAVEZ ST
AUSTIN, TX 78702
LEGAL DESCRIPTION:
LOT 6 BLOCK A
DRIVING PARK ADDITION OF
OUTLET 39 DIVISION "O"
ZONING: CS-CO-MU-H-NP
CURRENT USE: RESIDENTIAL
PROPOSED WORK:
-DEMOLITION OF ADDITION
-RENOVATION/REMODEL OF
ORIGINAL STRUCTURE
-2 STORY ADDITION TO REAR
OF STRUCTURE

AREA CALCULATIONS:

EXISTING ONE STORY STRUCTURE: 1407 SQFT
AREA TO BE REMOVED: 429 SQFT
REMAINING AREA TO BE RENOVATED: 973.9 SQFT

NEW FIRST FLOOR ADDITION : 437 SQFT
TOTAL FIRST FLOOR: 1314 SQFT
NEW SECOND FLOOR ADDITION: 488 SQFT
NEW PORCHES, DECKS, AND STEPS: 281.4 SQFT
RENOVATED PORCH & WALK: 170.3
RENOVATED WOOD STEPS : 19.9

SITE AREA: 6707 SQFT
IMPERVIOUS ALLOWED: 3018 SQFT
BUILDING IMPERVIOUS: 1554.5 SQFT
SITE IMPERVIOUS: 1447.2 SQFT
TOTAL IMPERVIOUS: 3002 SQFT = 44.7 %

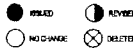
2205 E. CESAR CHAVEZ RENOVATION / ADDITIONS

ARCHITECTURAL		DRAWING NUMBER	DATE BY: J.S. JAMES DATE: 10-10-17
COVER SHEET	A0		
EXISTING SURVEY	SV		
DEMOLITION SURVEY	D0		
EXISTING PLANS	D1		
EXISTING ELEVATIONS	D2		
DEMOLITION PLANS	D3		
DEMOLITION ELEVATIONS	D4		
CONSTRUCTION STAGING	CN		

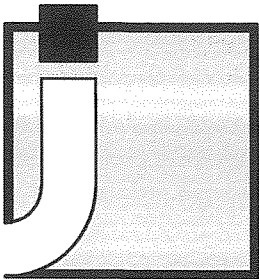
ARCHITECTURAL		DRAWING NUMBER	DATE BY: J.S. JAMES DATE: 10-10-17
ARCHITECTURAL SITE PLAN	SP		
VISIBILITY PLAN	V		
FLOOR PLANS	A1		
ROOF PLAN	A2		
ELEVATIONS	A3		
ELEVATIONS	A4		
ELECTRICAL PLANS	E1		

STRUCTURAL		DRAWING NUMBER	DATE BY: J.S. JAMES DATE: 10-10-17
STRUCTURAL NOTES	S0.0		
STRUCTURAL NOTES	S0.1		
FOUNDATION PLAN	S1.0		
2ND FLOOR FRAMING	S2.0		
ROOF FRAMING	S2.1		
1ST FLR LATERAL BRACING	SL2.0		
2ND FLR LATERAL BRACING	SL2.1		
FOUNDATION DETAILS	S3.0		
FOUNDATION DETAILS	S3.1		
FOUNDATION DETAILS	S3.1		
STEEL FRAMING DETAILS	S4.0		
WOOD FRAMING DETAILS	S5.0		
WOOD FRAMING DETAILS	S5.1		
SHEAR WALL DETAILS	S5.2		

INDEX TO DRAWINGS



ISSUED FOR PERMIT, REGULATORY APPROVAL & FOR CONSTRUCTION



J ■ SQUARE
ARCHITECTURE

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AUSTIN, TEXAS 78757
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512 . 879 . 4151 F

INFO@JSQUAREARCH.COM
WWW.JSQUAREARCH.COM



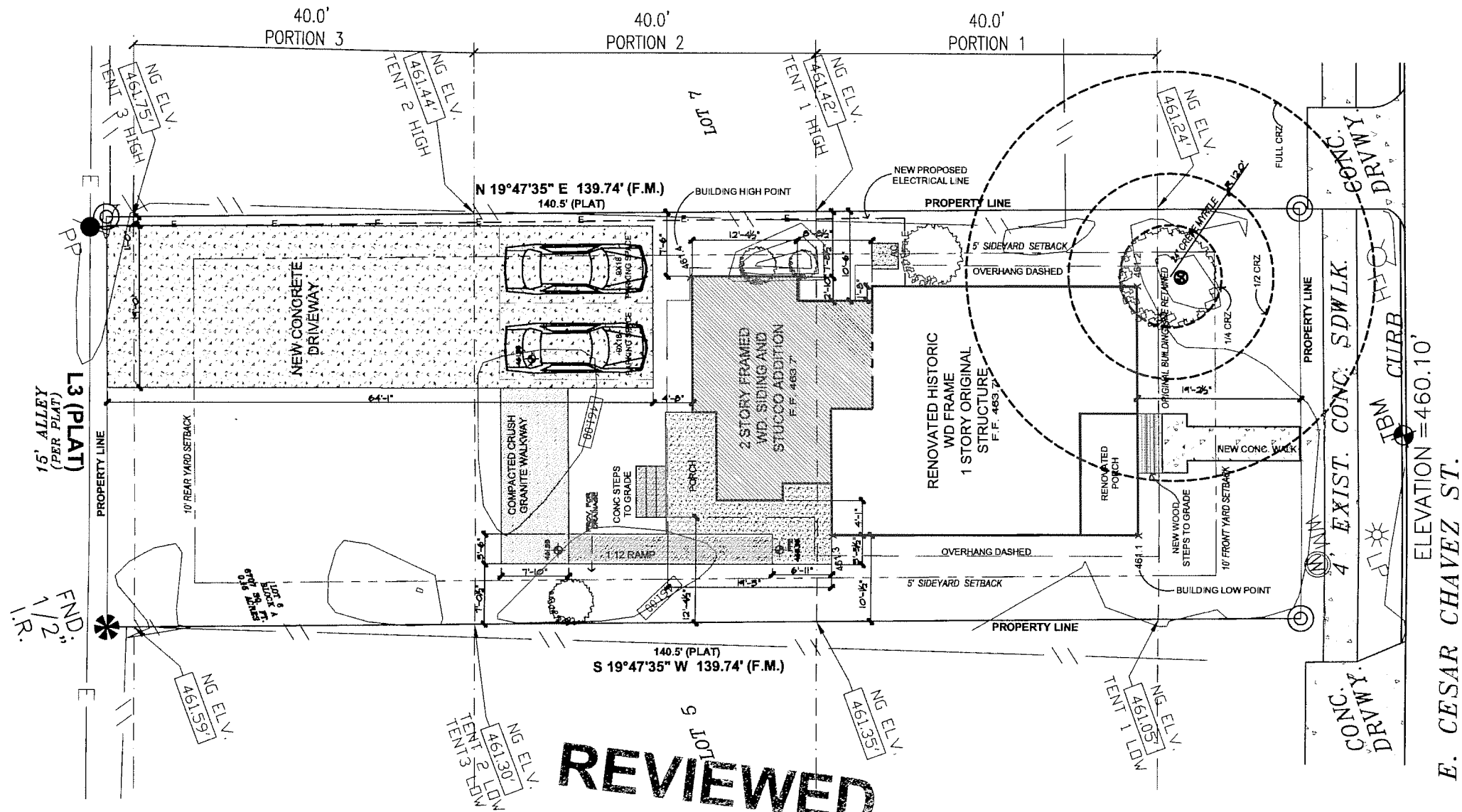
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ARCHITECTURE LLC IS PROHIBITE

PROJECT NAM
2205 E. Cesar Chave
Austin, TX 7870
Travis Count

DATE: October 10, 2017
SCALE: AS NOTED

SHEET NO:

A0



REVIEWED

OCT 12 2017

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

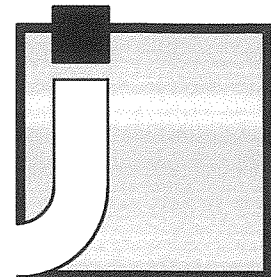
AE APPROVED

OCT 12 2017
284-105
CDC



NEW SITE PLAN
SCALE: 1/16" = 1'-0"

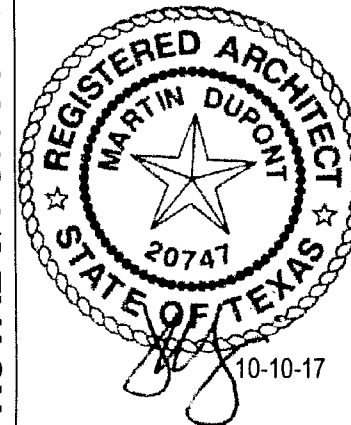
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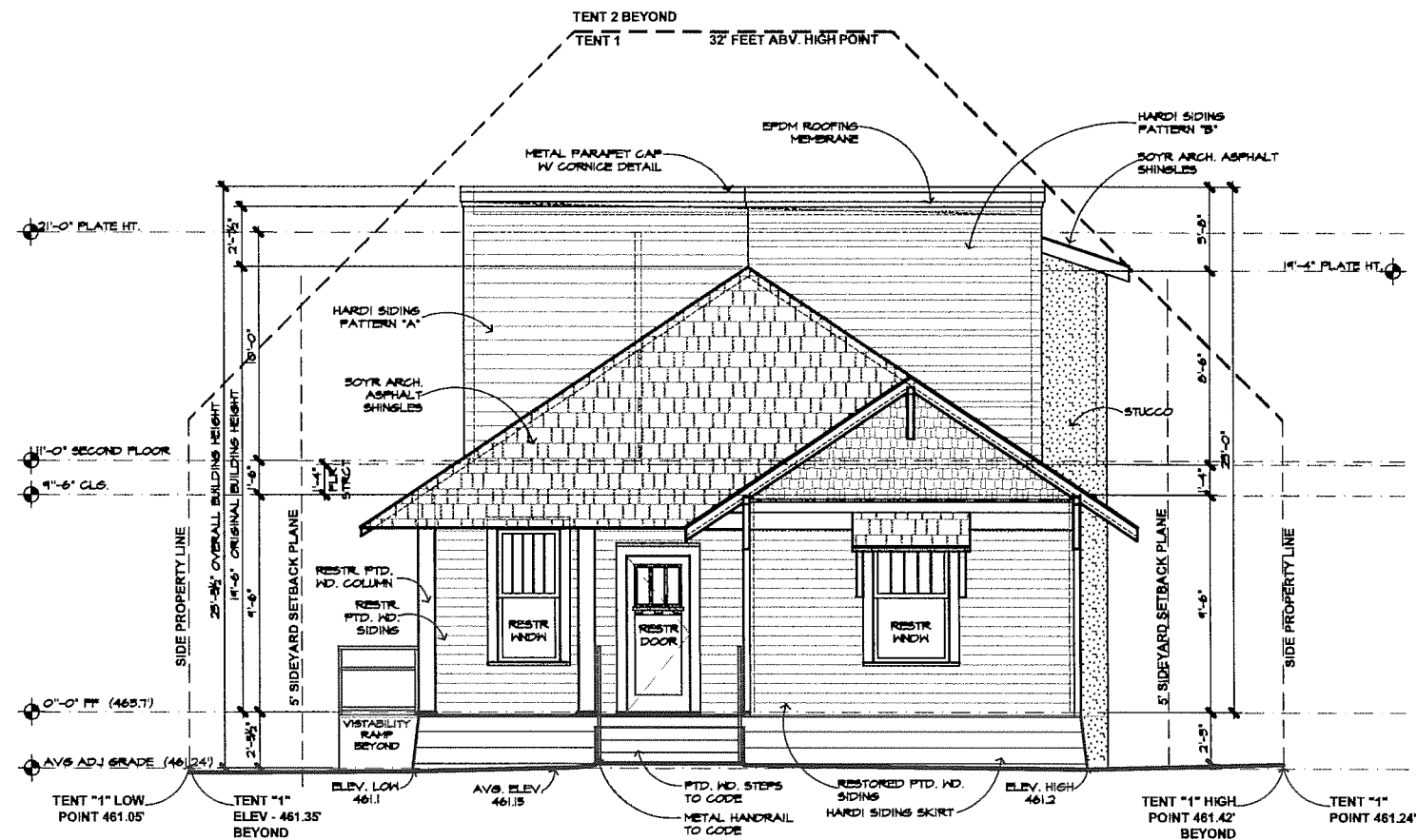
PROJECT NAME

2205 E. Cesar Chavez
Austin, TX 78702
Travis County

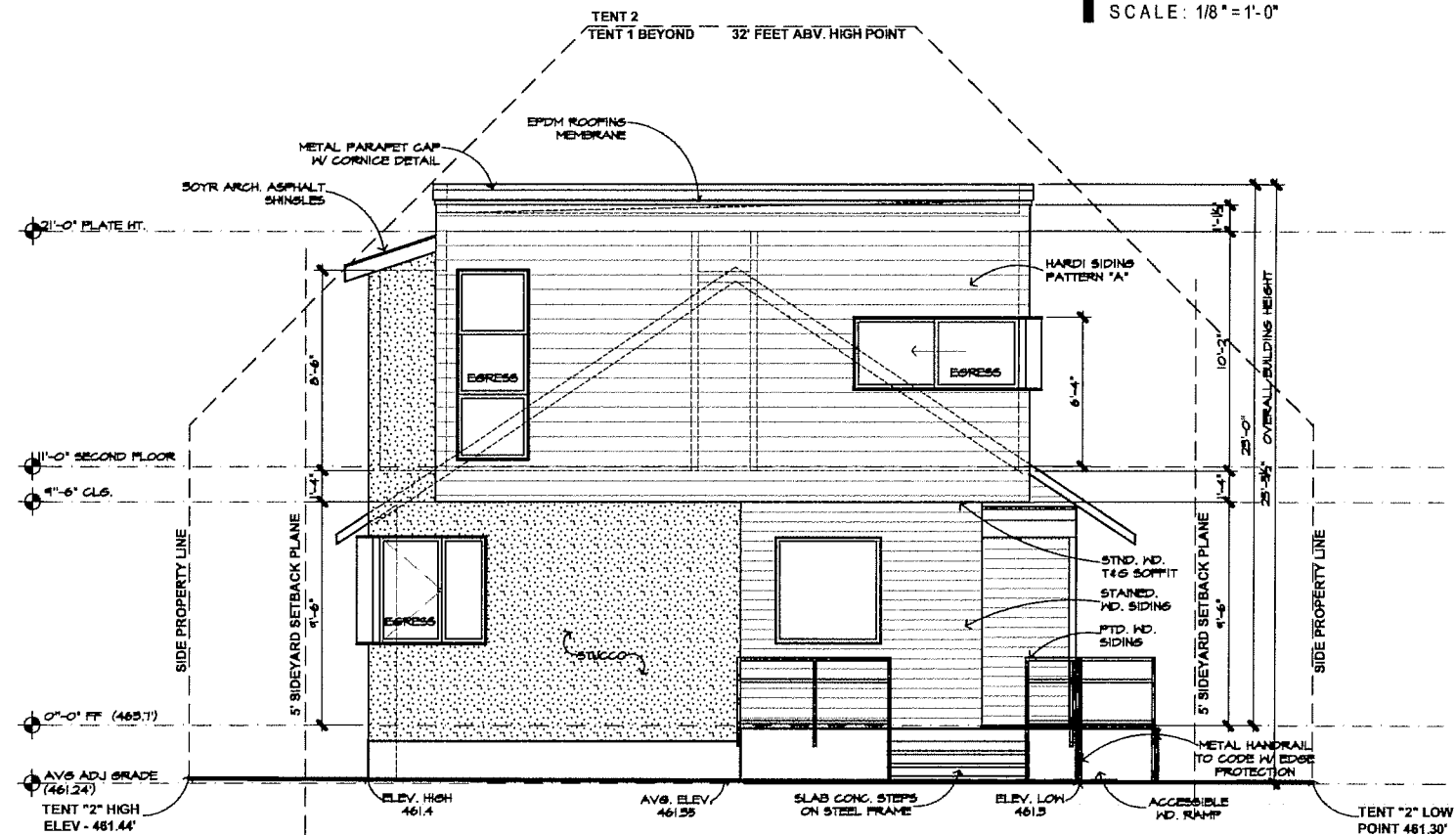
DATE: October 10, 2017
SCALE: AS NOTED

SHEET NO:

SP



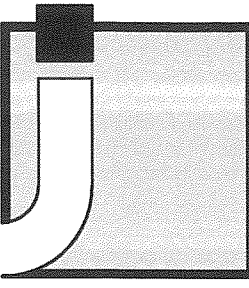
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

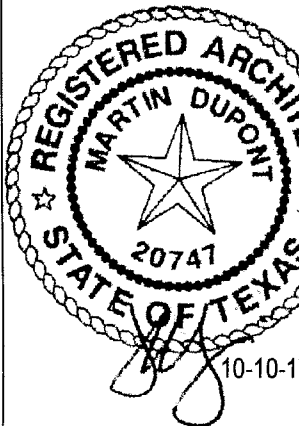
1. CONSULT WITH ARCHITECT PRIOR TO PLACING WINDOW ORDER FOR VALUE ENGINEERING.
2. ALL TRIM SHALL BE CONTINUOUS WHERE POSSIBLE, OR ALIGN W/ ADJACENT MILLWORK.
3. GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.
4. COORDINATE ALL MILLWORK DETAILS WITH OWNER, ARCHITECT & CABINET MAKER.
5. STUCCO MOCK-UP REQUIRED.
6. UNLESS OTHERWISE NOTED, ALL INTERIOR ELEVATIONS, FIXTURES, AND FINISHES TO BE SELECTED BY OWNER.
7. DOORS WITHOUT DIMENSIONS ARE CENTERED IN THEIR RESPECTIVE SPACE U.N.O.
8. ALL STAIR RISERS AND TREADS SHALL BE EQUAL UNLESS NOTED OTHERWISE.
9. GENERAL CONTRACTOR/OWNER TO PROVIDE STRUCTURAL ENGINEERING AS REQUIRED.
10. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
11. DIMENSION STRINGS @ DOORS AND WINDOWS ARE TO THE CENTER LINE OF THE OPENING. DOORS WITHOUT DIMENSION STRINGS ARE 6" FROM THE INSIDE CORNER TO THE HINGE-SIDE JAMB.
12. ALL MILL MARKS MUST BE SANDED.
13. WALL, FLOOR & CEILING FRAMING TO BE COORDINATED WITH FIXTURE LOCATIONS TO ALLOW FIXTURES TO TAKE PRECEDENCE. ADJUST FLOOR/ROOF FRAMING AS NECESSARY TO ALLOW FIXTURE TO BE IN LOCATION AS SHOWN ON MEP PLANS.
14. ALL HAND/GUARD RAILS TO BE INSTALLED PER CODE.
15. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE IN DOORS AND WINDOWS.
16. PROVIDE SOUND BATT INSULATION AROUND ALL NEW BATHROOMS AND LAUNDRY ROOMS.
17. GENERAL CONTRACTOR TO PROVIDE 1/2" x 1/4" x 3/4" PLYWOOD CATWALK IN ATTIC SPACE TO AIR HANDLING UNITS, HOT WATER HEATERS, ETC. UNITS SHALL BE LOCATED WITHIN 20' OF ATTIC ACCESS.
18. VENTILATE AND FIREPROOF HOTWATER ENCLOSURES PER CODE AND AS NECESSARY.
19. GENERAL CONTRACTOR TO VERIFY ALL DOOR AND WINDOW STYLE, OPTIONS, TYPE, ETC. WITH OWNER PRIOR TO ORDERING.
20. PROVIDE THERMAL INSULATION IN ALL AREAS REQUIRED AND SPECIFIED BY CODE.
21. UNLESS OTHERWISE NOTED, ALL FIXTURES ARE CENTERED IN/ON HALLWAYS, ROOM, DOORS, WINDOWS, OPENINGS ETC.
22. RECESSED CAN LIGHT FIXTURES MTD. IN SLOPED CEILING CONDITIONS TO HAVE SLOPED CAN TYPE.
23. ALL ROOF PENETRATIONS SHALL BE LOCATED TO THE SIDE OF THE ROOF AS MUCH AS POSSIBLE, AND PAINTED TO MATCH THE COLOR OF THE ROOFING MATERIAL.



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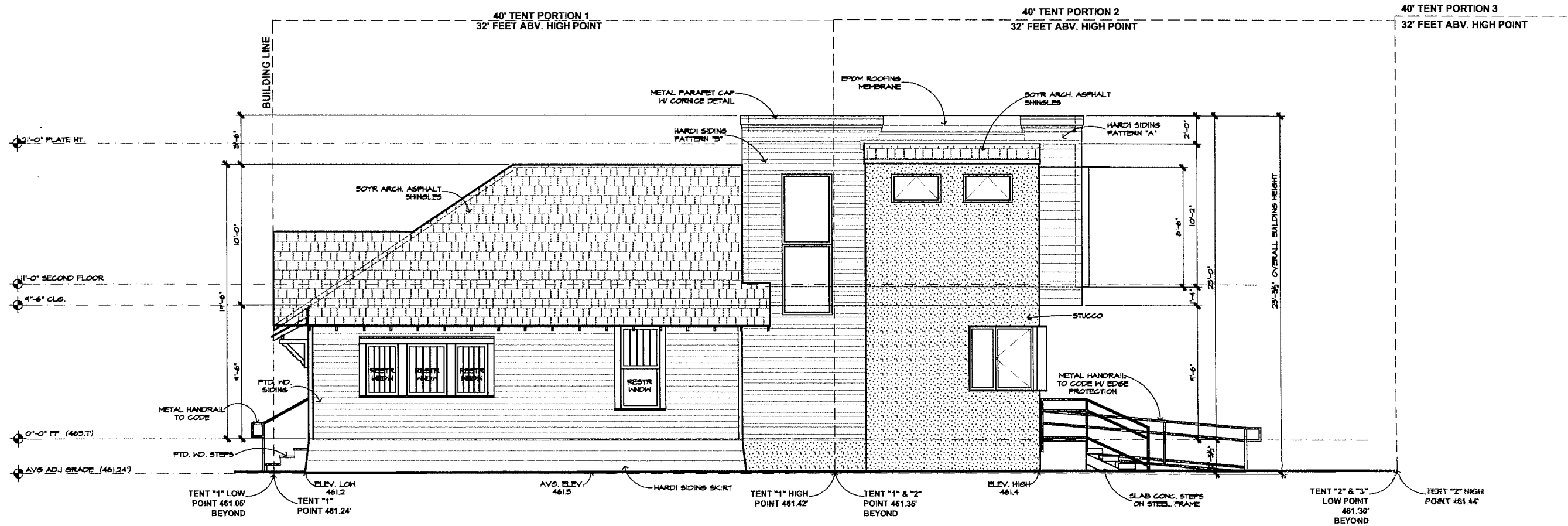
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Austin, TX 787
Travis Cour

DATE: October 10, 20
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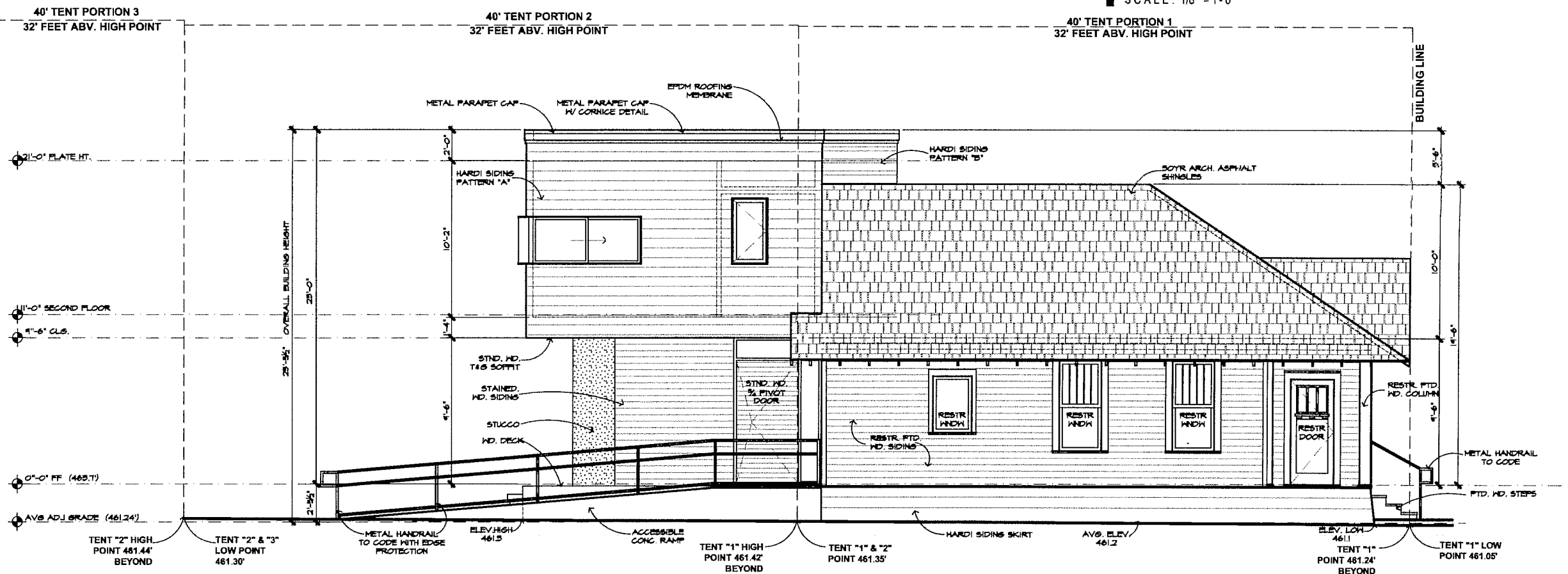
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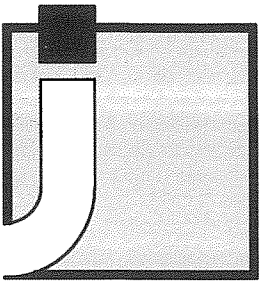
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1 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



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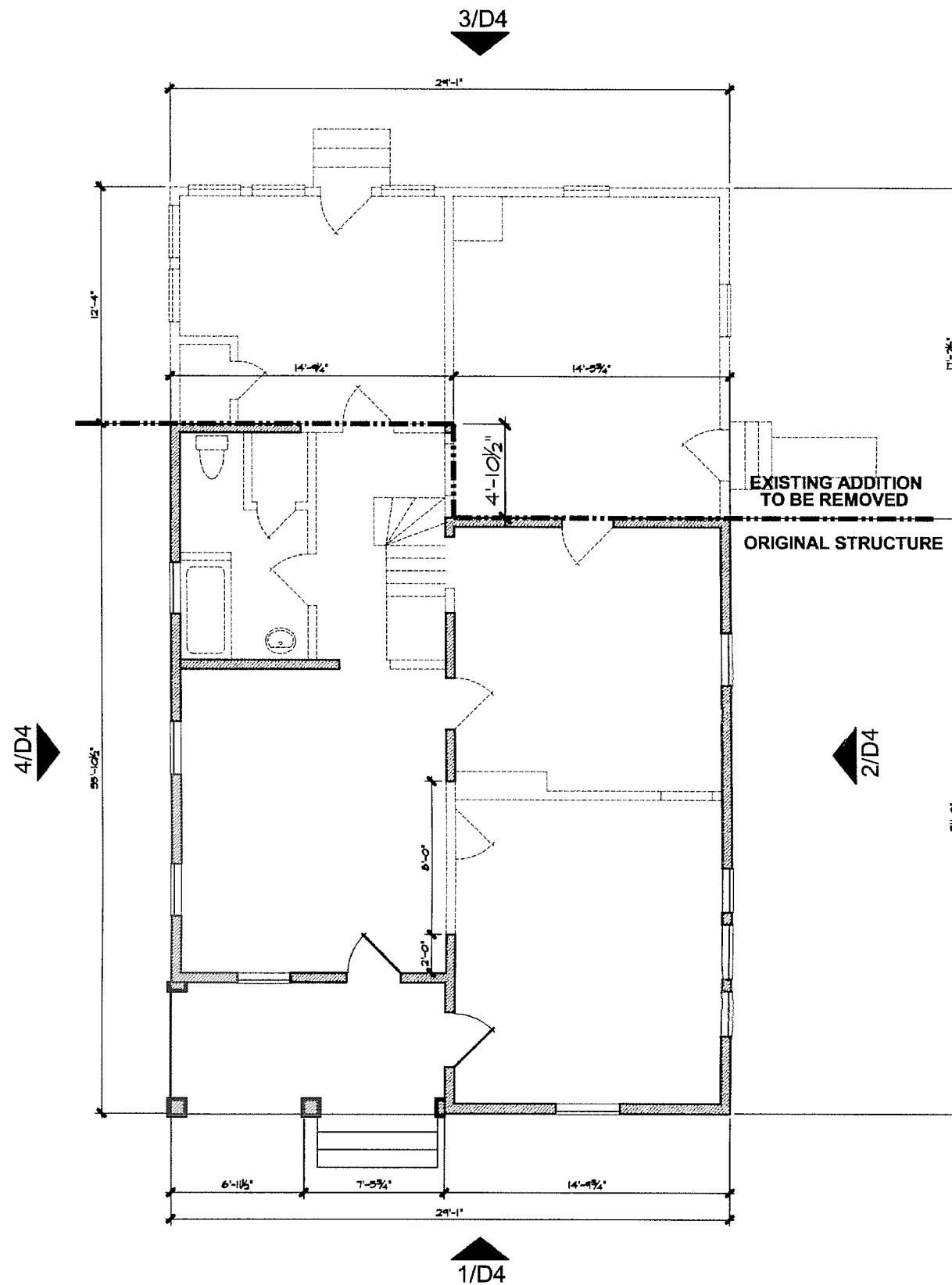
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Travis Count

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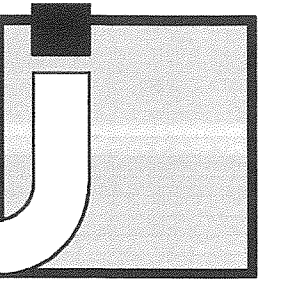
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DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



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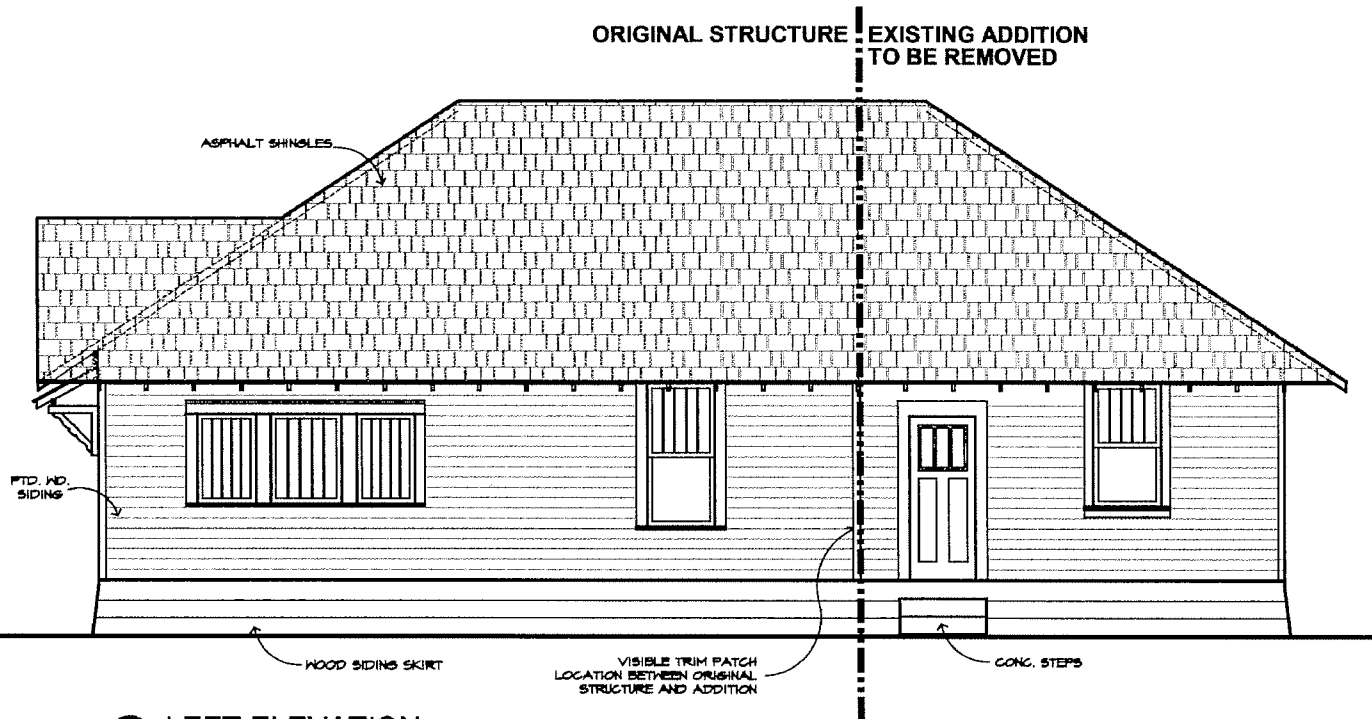
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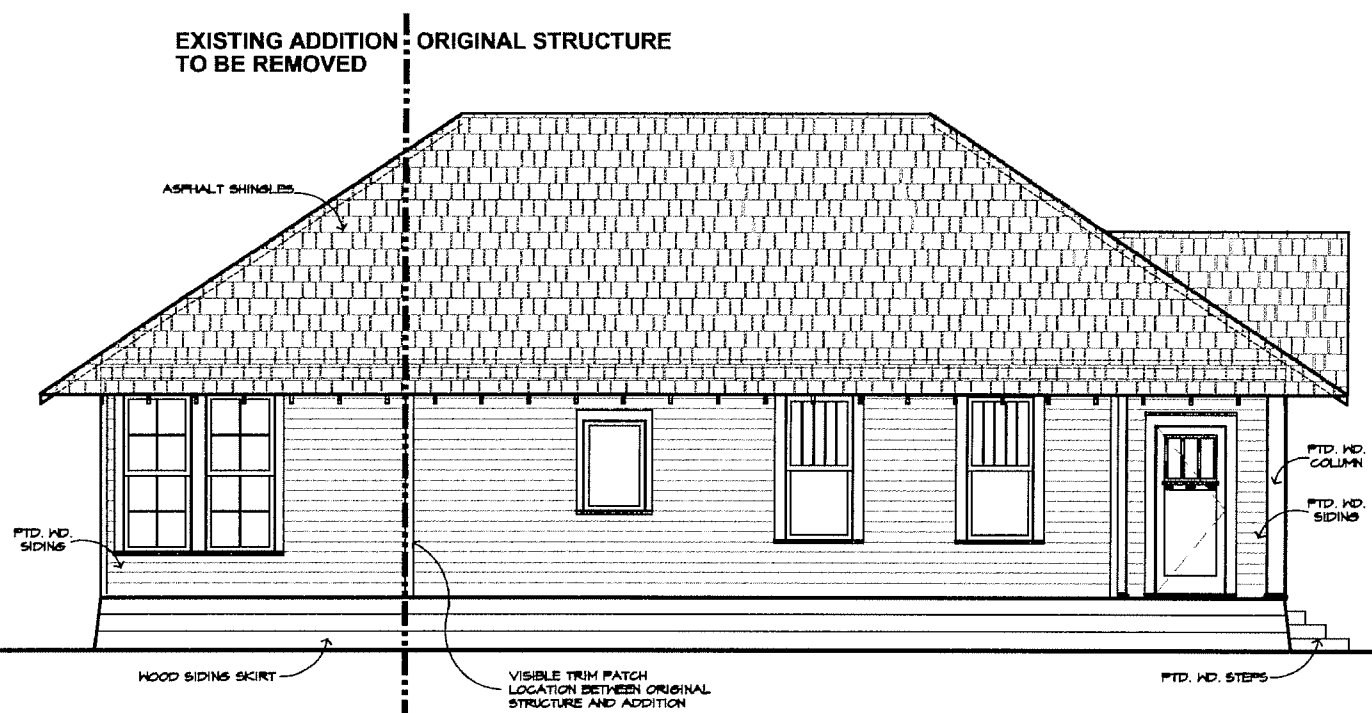
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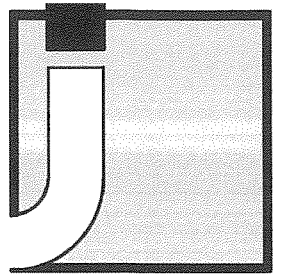


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4 RIGHT ELEVATION
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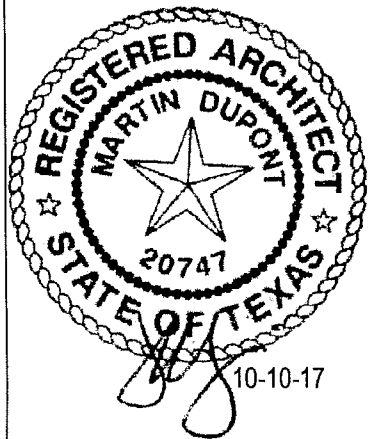
EXISTING ELEVATIONS
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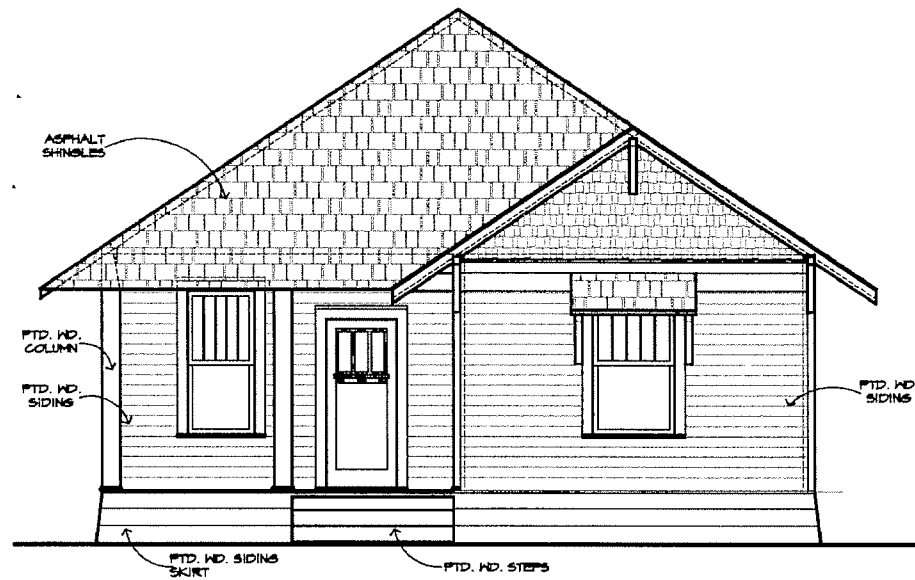
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SCALE: AS NOTED

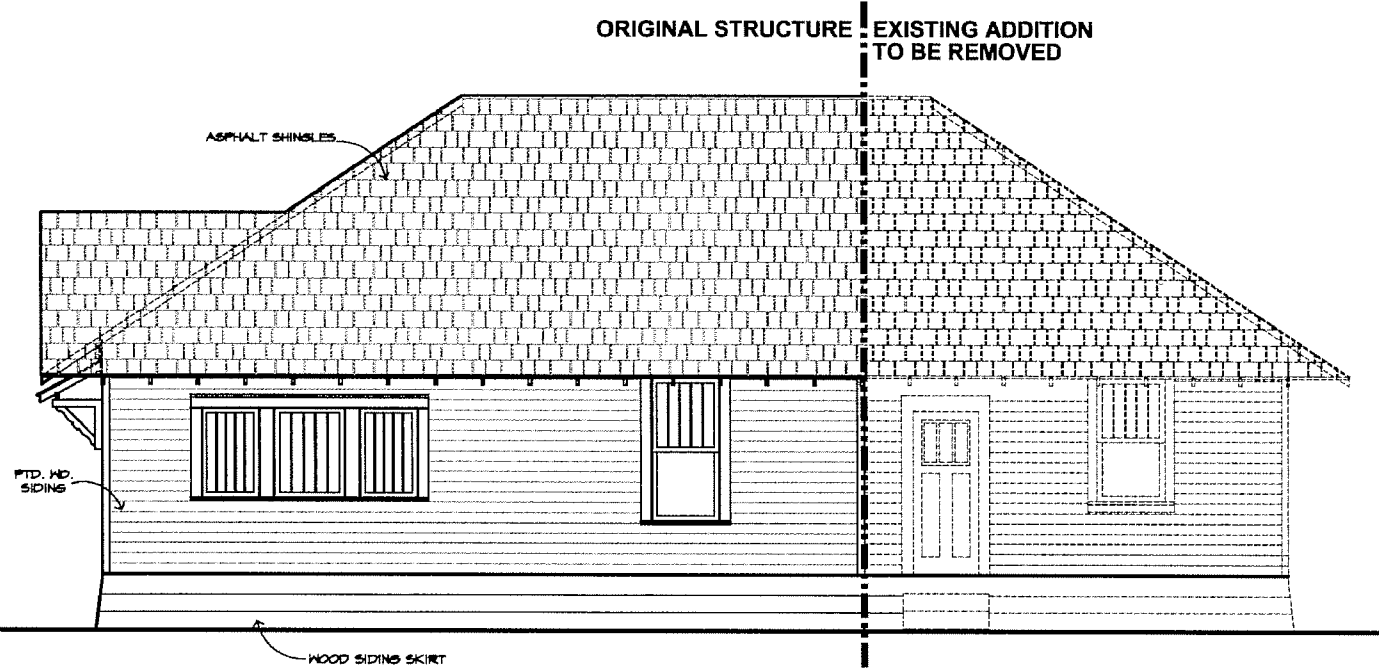
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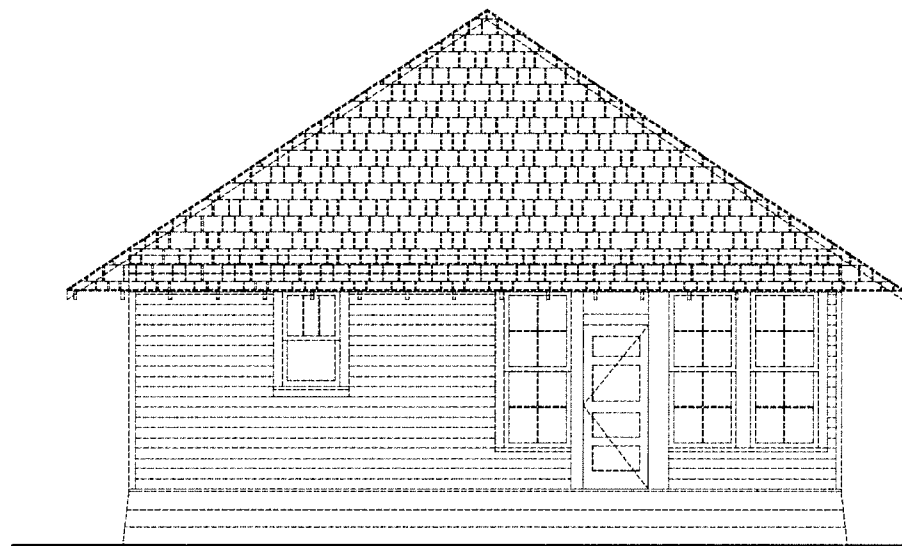
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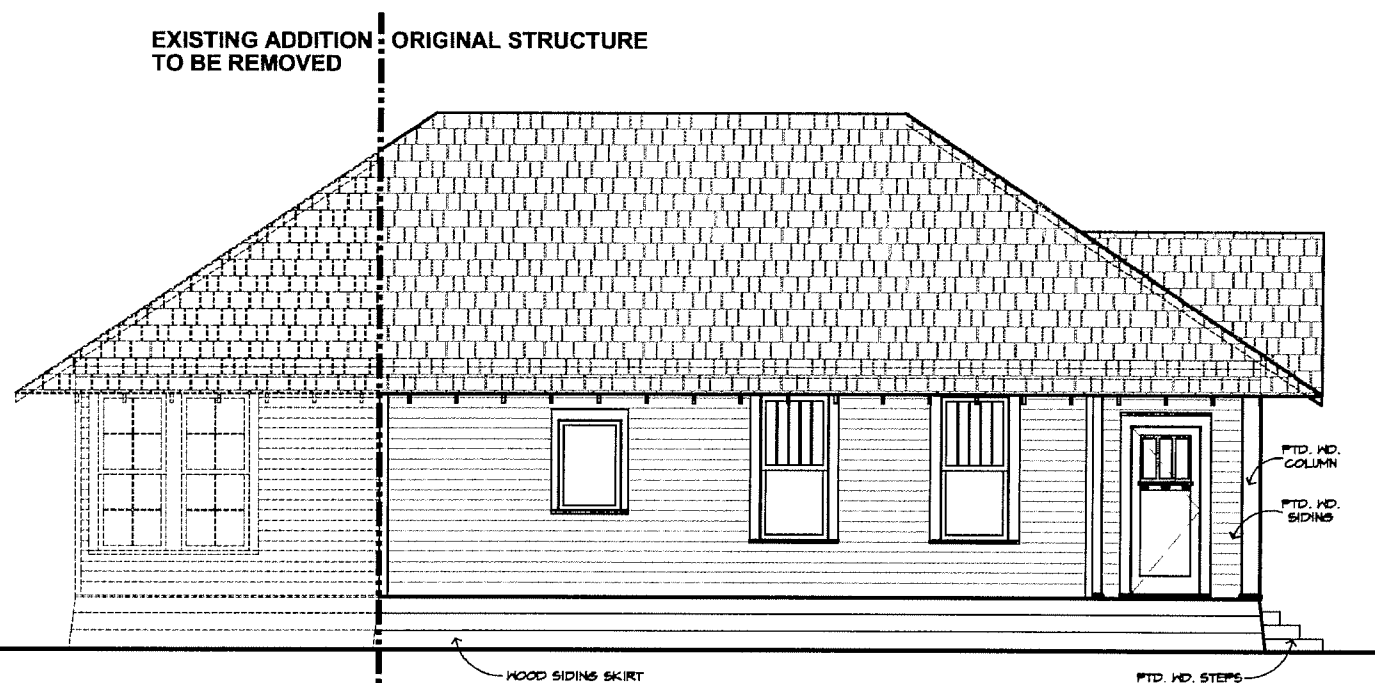
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2 LEFT ELEVATION
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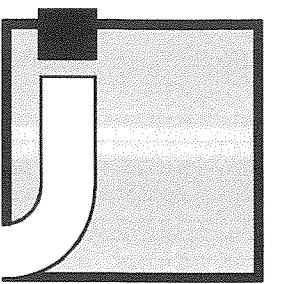


3 REAR ELEVATION
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4 RIGHT ELEVATION
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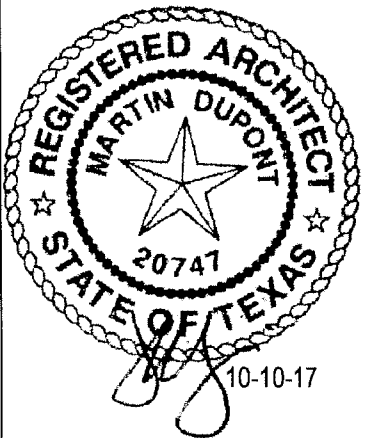
DEMOLITION ELEVATIONS
SCALE: 1/8" = 1'-0"



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