

HISTORIC LANDMARK COMMISSION
JUNE 26, 2017
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
 LHD-2017-0014
 4008 Avenue C
 Hyde Park Historic District

PROPOSAL

Renovate 1916 house, demolish one-story rear addition, and construct one-story rear addition. The house is a contributing structure in the Hyde Park Historic District.

PROJECT SPECIFICATIONS

The proposed project includes renovation of the existing house, demolition of the rear addition, and construction of a new rear addition. The proposed renovation includes re-roofing the roof with asphalt shingles. Existing wood siding will be retained and painted. Windows will be retained and repaired in their existing locations, with the exception of two window openings on the north elevation, one of which will be enlarged and one closed in. Removed windows will be reused in another location in the house if possible. The front door flanked by side lights will be retained.

The one-story rear addition is proposed to be demolished. Building permits show that at least part of the addition was constructed as a utility room prior to 1967.

The proposed one-story rear addition is capped by a hipped roof stepped down from the original roof and clad in wood siding to match that on the existing house. Fenestration includes paired single-hung clad-wood windows to match those on the existing house. A glazed wood door is located on the addition's south elevation. The addition has a footprint of 187 square feet.

STANDARDS FOR REVIEW

The Hyde Park Historic District Design Standards applicable to this project include:

- 3.1. Retain the historic façade of a house in terms of door and window placement and exterior wall materials.
- 3.2.1. Do not enlarge, alter, or relocate single doorways on the façade of the house.
- 3.2.2. Retain and repair an original entry door.
- 3.3.1. Repair or rehabilitate the original windows and screens.
- 3.4. Preserve the original front and street-side porches. Do not enclose open front and street-side ground-floor porches with screening, glass, or other enclosure materials.
- 3.5.1. Retain the original roof pitches and profiles on the building. Avoid changes to roofs on the front of the building. Avoid adding to the eave height of original roofs, especially at the front of the structure. Retain historic dormers.
- 3.5.2. In replacing roof materials, consider first the use of the original material, then the use of a product that resembles the original material.

- 4.1. Construct additions so as to require the removal or modification of a minimum of historic fabric. Do not construct additions which will require the removal of any portion of the front façade. Design additions to existing residential buildings to reflect the form and style of the existing house.
- 4.2. Locate new additions and alterations to the rear or the rear side of the building so that they will be less visible from the street.
- 4.3.1. Make the pitch and height of the roof of the addition compatible to that of the existing house.
- 4.3.2. Make windows visible from the street on any addition compatible with those on the existing house in terms of sash configuration, proportion, spacing, and placement.
- 4.3.3. Use exterior siding materials on the addition which match or are compatible with that of the existing materials.
- 4.4.1. Design additions to have the same floor-to-ceiling height as the existing house.
- 4.4.3. Design additions so that they do not overwhelm the original building.

COA COMMITTEE RECOMMENDATIONS

The committee recommended the following changes to the original plans:

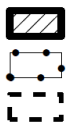
- Use shingles as a roof covering where possible

The applicant has revised the drawings to reflect the recommendations of the committee.

STAFF RECOMMENDATION

Approve revised plans. The project meets the design standards for the historic district.

LOCATION MAP



SUBJECT TRACT

PENDING CASE

ZONING BOUNDARY

NOTIFICATIONS

CASE#: LHD-2017-0014

LOCATION: 4008 Avenue C

1" = 333'

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PROPERTY INFORMATION

Photos



Primary façade of 4008 Avenue C.



Partial view of rear addition.



VIEW FROM STREET



4008

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ARCHITECT:
TB/DS
THOUGHTBARN/DELINEATE STUDIO
916 SPRINGDALE RD
BUILDING 5 / SUITE 102
AUSTIN, TX 78702
: 512 522 3511
WWW.THOUGHTBARN.COM
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STAGE
**CONSTRUCTION
DOCUMENTS**

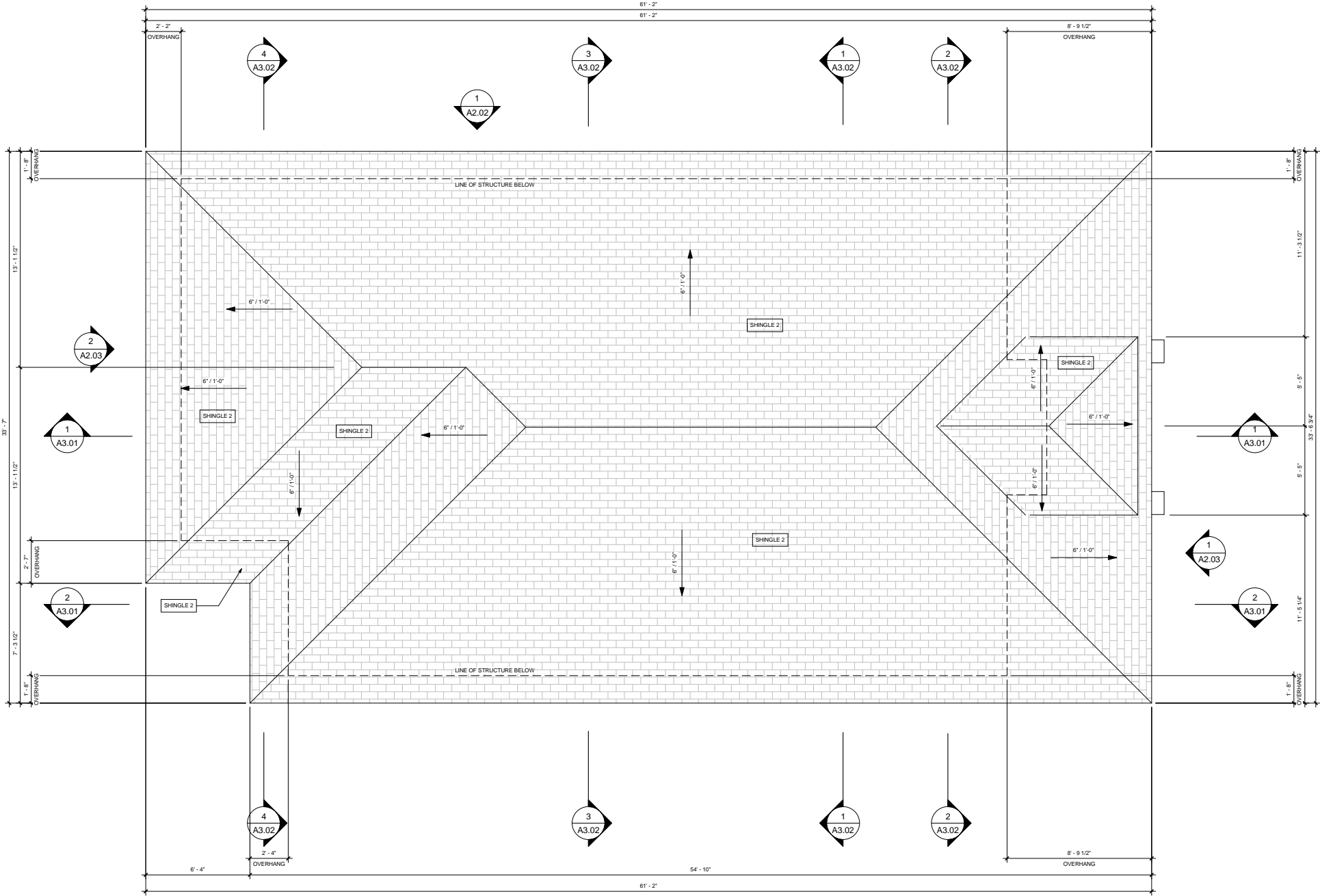
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ROOF PLAN

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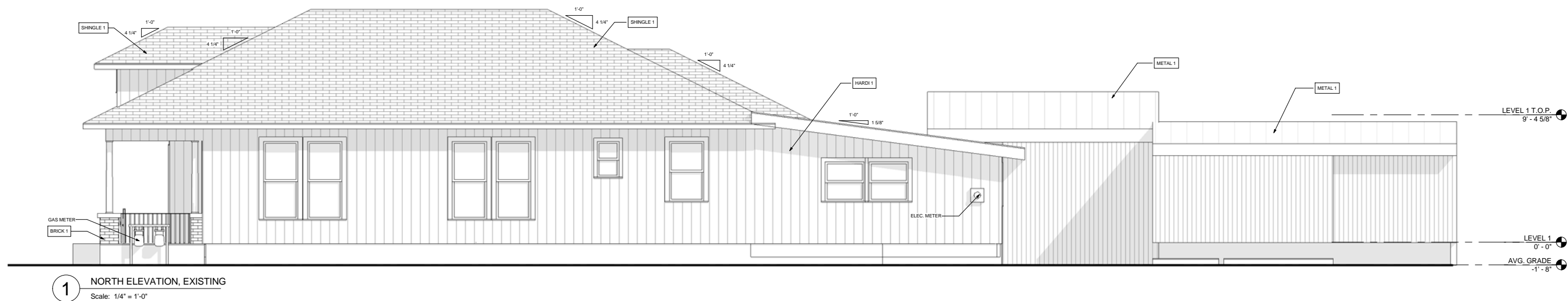
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EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
BRICK 1	EXISTING COMMON BRICK, PAINTED, COLOR TBD
CONC 1	EXISTING CONCRETE WALKWAY
CONC 2	NEW CONCRETE WALKWAY: BROOM FINISH
CONC 3	EXISTING CONCRETE DRIVEWAY
CONC 4	NEW CONCRETE DRIVEWAY, BROOM FINISH
CONC 5	EXISTING CONCRETE STAIR, PAINTED, COLOR TBD
GRASS	GRASS SOD
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	EXISTING VERTICAL FIBER CEMENT BOARD SIDING, TO BE REMOVED
METAL 1	EXISTING STANDING SEAM METAL ROOF
METAL 2	STEEL STAIR STRUCTURE
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
SHINGLE 1	EXISTING ASPHALT SHINGLE, TO BE REMOVED
SHINGLE 2	NEW ASPHALT SHINGLE, TBD
STUCCO 1	STUCCO SKIRTING, COLOR TBD
TILE 3	TILE BACKSPLASH; CT-3
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 2	NEW WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 3	EXISTING WOOD DECK, PAINTED, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING, 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD
WOOD 7	WOOD SOFFIT

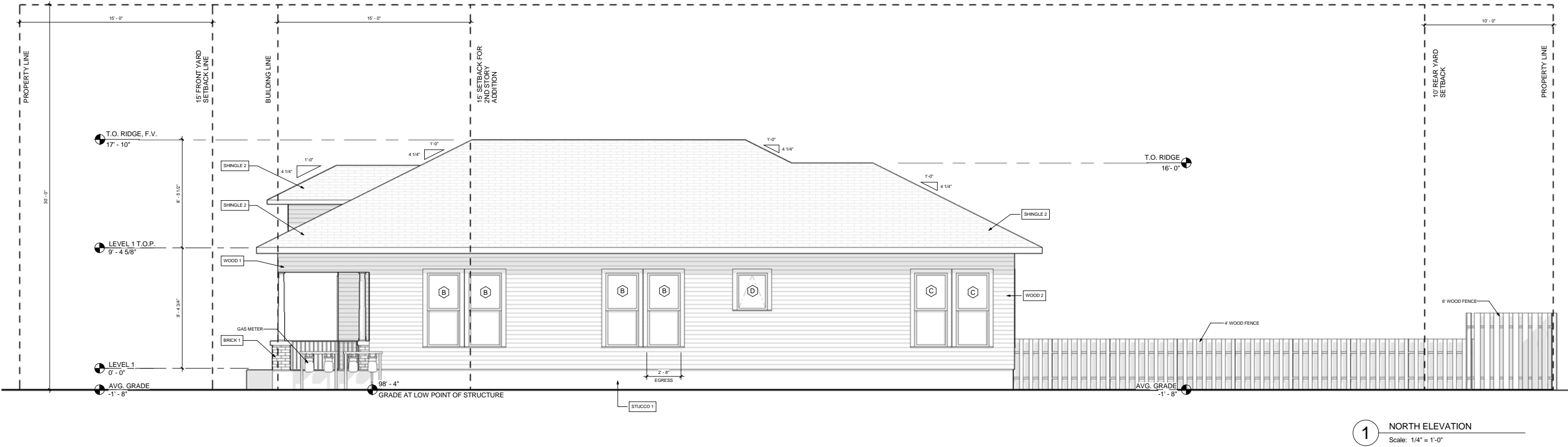
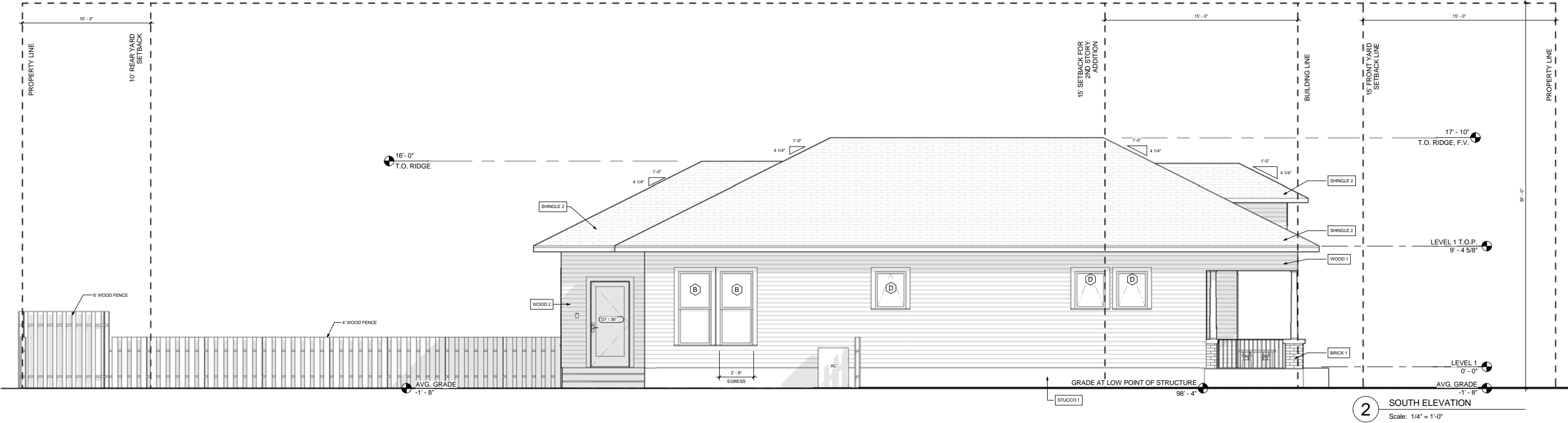


1 ROOF PLAN
Scale: 1/4" = 1'-0"

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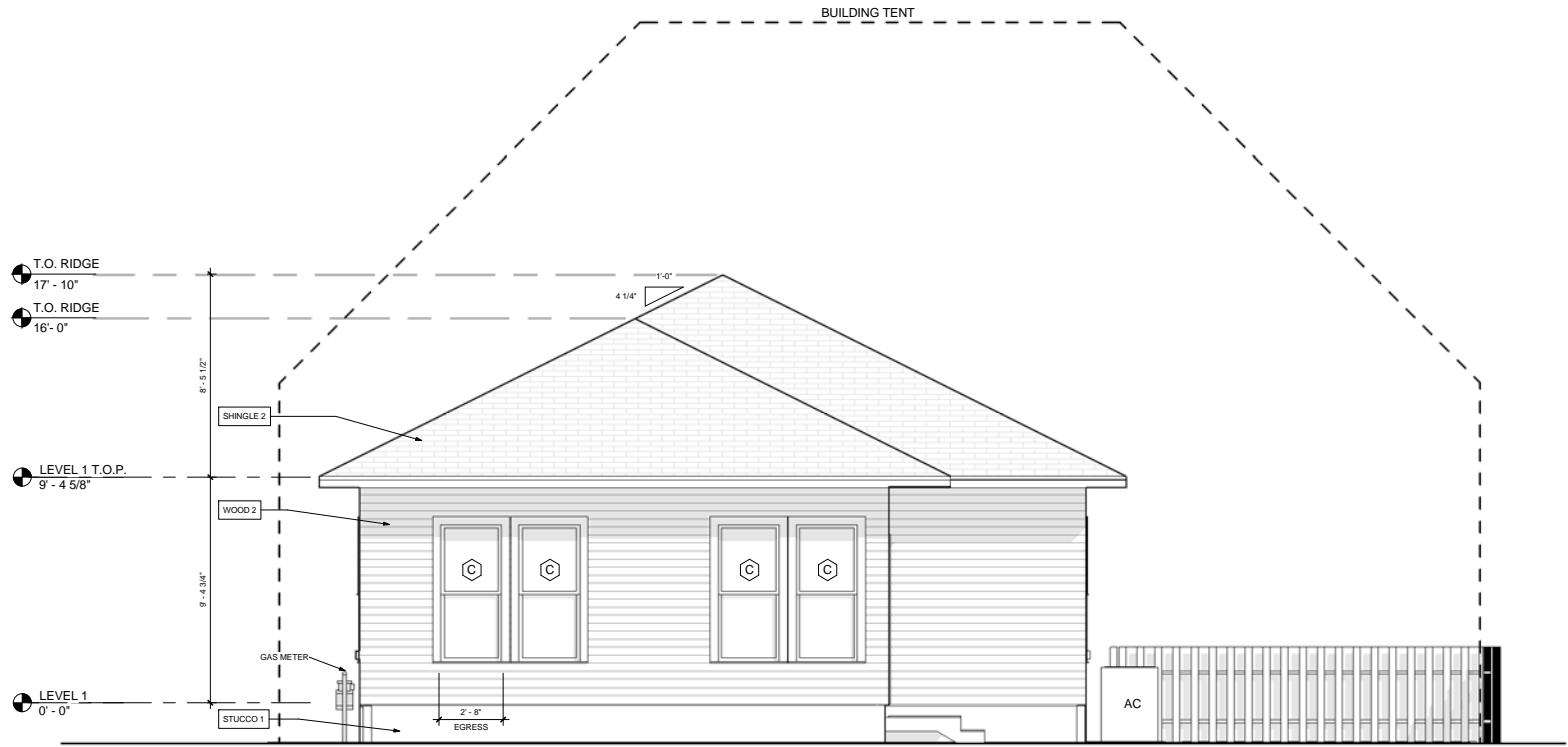
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DRAWING
EXTERIOR
ELEVATIONS

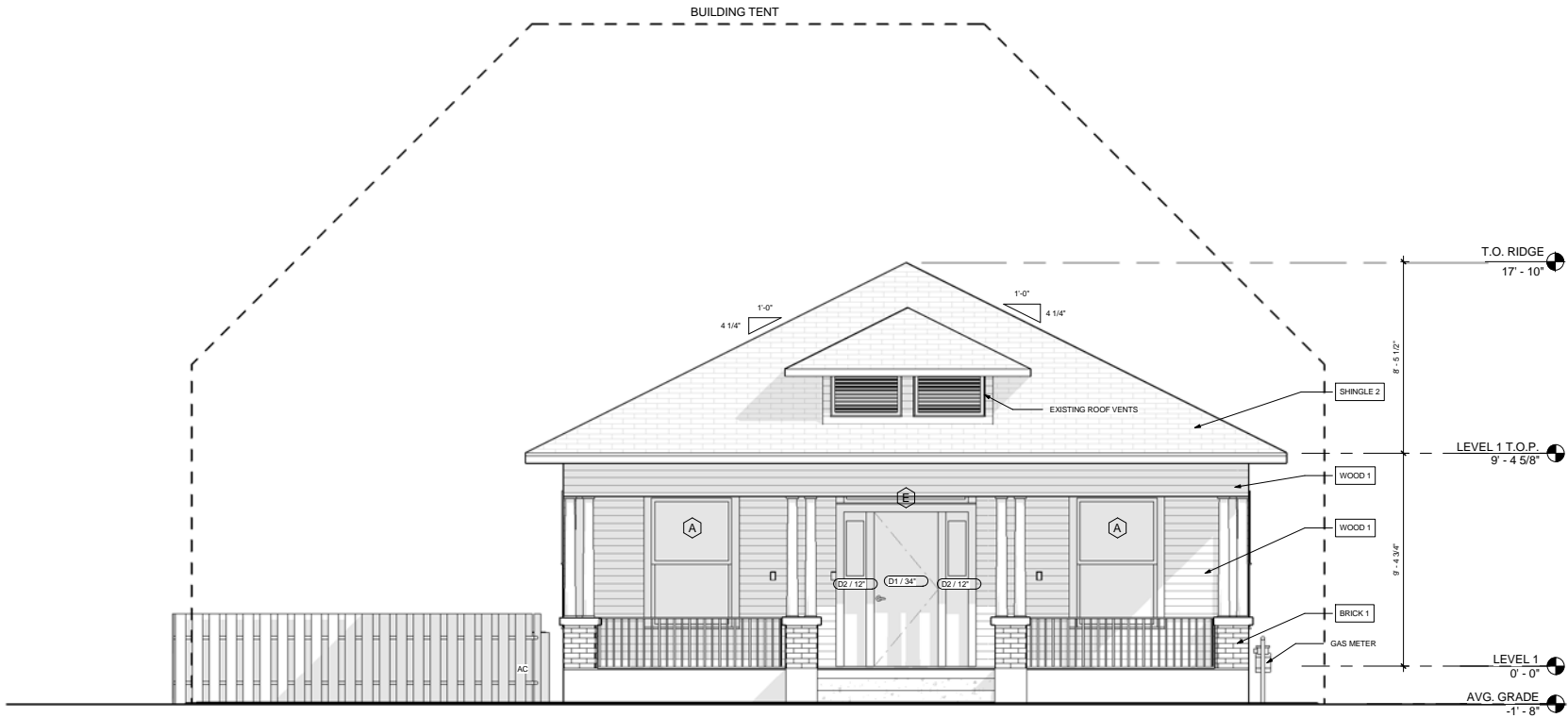
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2 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
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