

COMMODORE PERRY ESTATE - CHAPEL 100% CONSTRUCTION DOCUMENTS & GMP SET

4114 RED RIVER STREET
AUSTIN, TEXAS, 78751

PROJECT TEAM

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4100 RED RIVER STREET
AUSTIN, TEXAS 78751

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AUSTIN, TEXAS 78702

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COLLABORATIVE
3800 NORTH LAMAR BLVD., SUITE 330
AUSTIN, TEXAS 78756

CIVIL ENGINEER:
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AUSTIN, TEXAS 78702

MEP:
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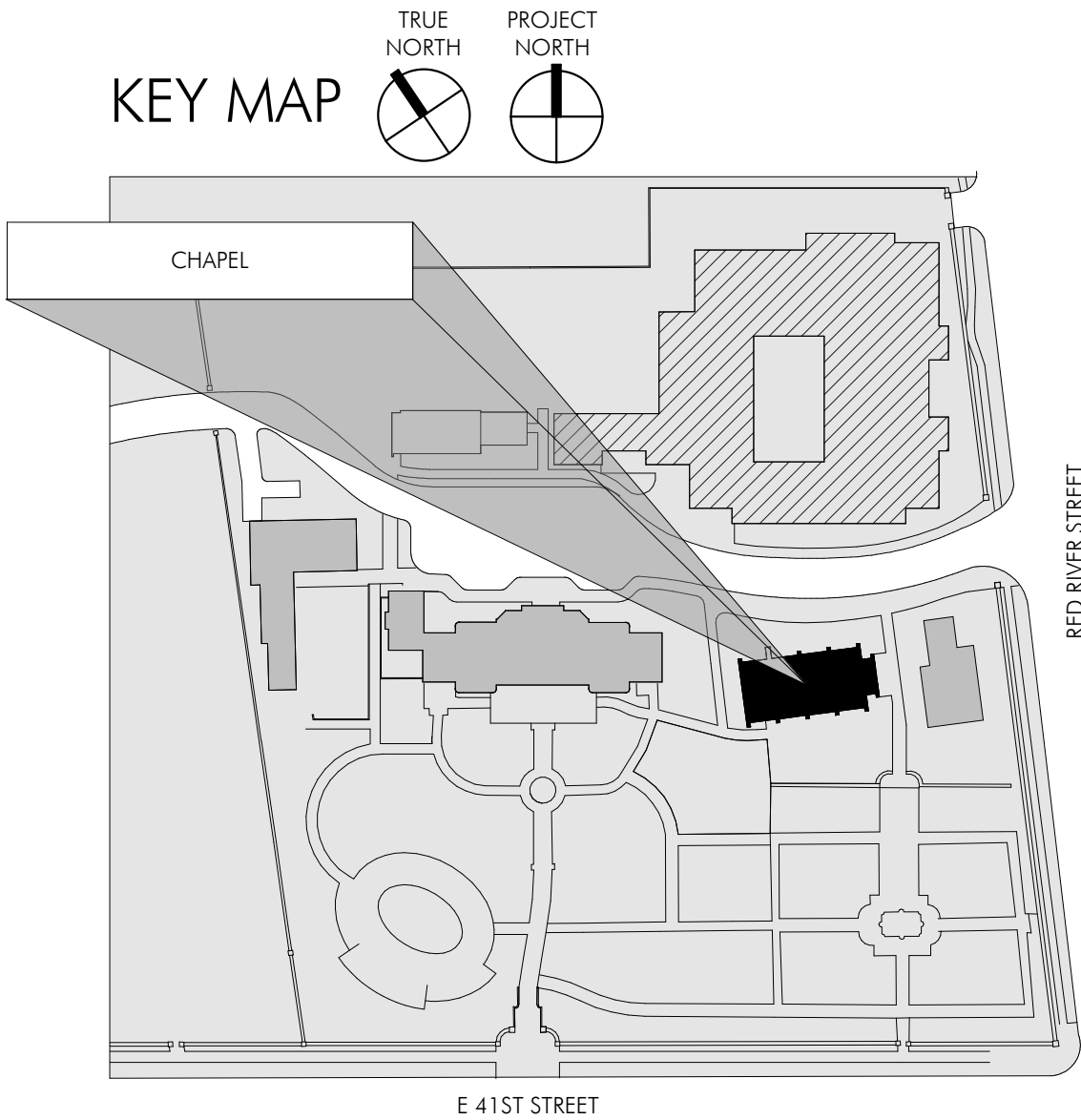
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EXTERIOR PERSPECTIVE



SYMBOL LEGEND

	ELEVATION SYMBOL
	SECTION DETAIL SYMBOL
	SECTION SYMBOL
	PARTITION TYPE SYMBOL
ROOM NAME	ROOM NAME & NUMBER SYMBOL
	DOOR NUMBER SYMBOL
	DETAIL SYMBOL
	WINDOW SYMBOL

PROJECT INFORMATION

SITE INFORMATION SITE INFORMATION TAKEN FROM SURVEY PROVIDED BY ERIC J. DANNHEIM, DATED 07/15/15
ZONING INFORMATION GR-MU-CO-H-NP

REVISION SCHEDULE

REV #	DESCRIPTION	DATE ISSUED
1	CHAPEL PLAN REVIEW RESPONSE	02/23/18
2	100% CD & GMP PRICING SET	03/23/18
3	MANSSION - BP - RESUBMITTAL	04/04/18
4	BLDG E - KITCHEN REVISIONS	04/11/18

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ISSUED DATE 03/23/18
PROJECT NUMBER 1646

50% CD & GMP
PRICING SET

COMMODORE PERRY ESTATE REDEVELOPMENT

CHAPEL

4114 RED RIVER STREET, AUSTIN, TEXAS, 78751

D-G0.0

CHAPEL - COVER
SHEET

GENERAL SCOPE OF WORK NARRATIVE

GENERAL SCOPE OF WORK NARRATIVE:
THE SCOPE OF WORK INCLUDES THE RENOVATION/ALTERATION OF AN EXISTING ONE STORY STRUCTURE WITH A NEW RESTROOM WING ADDITION.

DETAILED SCOPE NARRATIVE FOR ITEMS NOT INCLUDED IN CONSTRUCTION DOCUMENTS:
1. REFER TO LANDSCAPE AND CIVIL DRAWINGS INCLUDED IN ANOTHER PACKAGE FOR CONNECTIONS.

MOCK-UPS:
1. REFERENCE SPECIFICATIONS FOR REQUIRED MOCK-UPS

ALTERNATES

TO BE DETERMINED

CODE ANALYSIS

BUILDING CODES:	
Architectural & Structural:	2015 International Existing Building Code, City of Austin Amendments,
Plumbing:	2015 Uniform Plumbing Code, w/ City of Austin Amendments
Mechanical:	2015 Uniform Mechanical Code, w/ City of Austin Amendments
Electrical:	2017 National Electric Code, w/ City of Austin Amendments
Fire:	2015 International Fire Code, w/ City of Austin Amendments & 2016 NFPA 13, 2016 NFPA 72
TAS:	2012 Texas Accessibility Standards
ENERGY:	2015 International Energy Code, w/ City of Austin Amendments
BUILDING DESCRIPTION:	RENOVATION/ALTERATION OF AN EXISTING ONE STORY STRUCTURE WITH A NEW RESTROOM ADDITION.
OCCUPANCY TYPE:	ASSEMBLY, A-2
CONSTRUCTION TYPE:	TYPE 5B
FIRE SPRINKLER:	NEW SPRINKLER SYSTEM, NFPA 13
LEGAL JURISDICTION:	CITY OF AUSTIN, TRAVIS COUNTY
LEGAL DESCRIPTION:	ACR 9.8624 OLT 14 DIVISION C
RENOVATION LEVEL:	IEBC LEVEL 2 ALTERATIONS W/ 450 S.F. OF NEW TYPE IV CONSTRUCTION

HISTORICAL NOTES

1. THIS IS A HISTORICALLY SIGNIFICANT BUILDING WHERE PRESERVATION IS EXTREMELY IMPORTANT. EXTREME CARE SHALL BE TAKEN TO PROTECT AND PRESERVE THIS STRUCTURE DURING SELECTIVE DEMOLITION AND CONSTRUCTION. IF ANY UNFORESEEN CONDITIONS ARISE, STOP WORK AND CONTACT THE ARCHITECT IMMEDIATELY.
2. DOCUMENT ALL AREAS TO BE SELECTIVELY DEMOLISHED PRIOR TO PERFORMING ANY WORK. DOCUMENTATION TO INCLUDE PHOTOGRAPHS AND MEASURED DRAWINGS. DOCUMENTATION TO BE CLEARLY LABELED AND DELIVERED TO ARCHITECT AND OWNER.
3. DEMOLITION PHASE. THIS STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN, ESPECIALLY IN AREAS OF QUESTION TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND CM/GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.
4. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
6. DAMAGES TO PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GENERAL CONTRACTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.
8. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.
9. THE CONTRACTOR SHALL TAKE GREAT CARE TO MINIMIZE DAMAGE TO EXISTING PLANTS TO REMAIN. SUSPENDED PLATFORMS AND EQUIPMENT THAT ARE LOWERED TO THE GROUND SHALL BE PLACED ON BLOCKS TO MINIMIZE THE DISTURBED FOOTPRINT AREA.

GENERAL NOTES

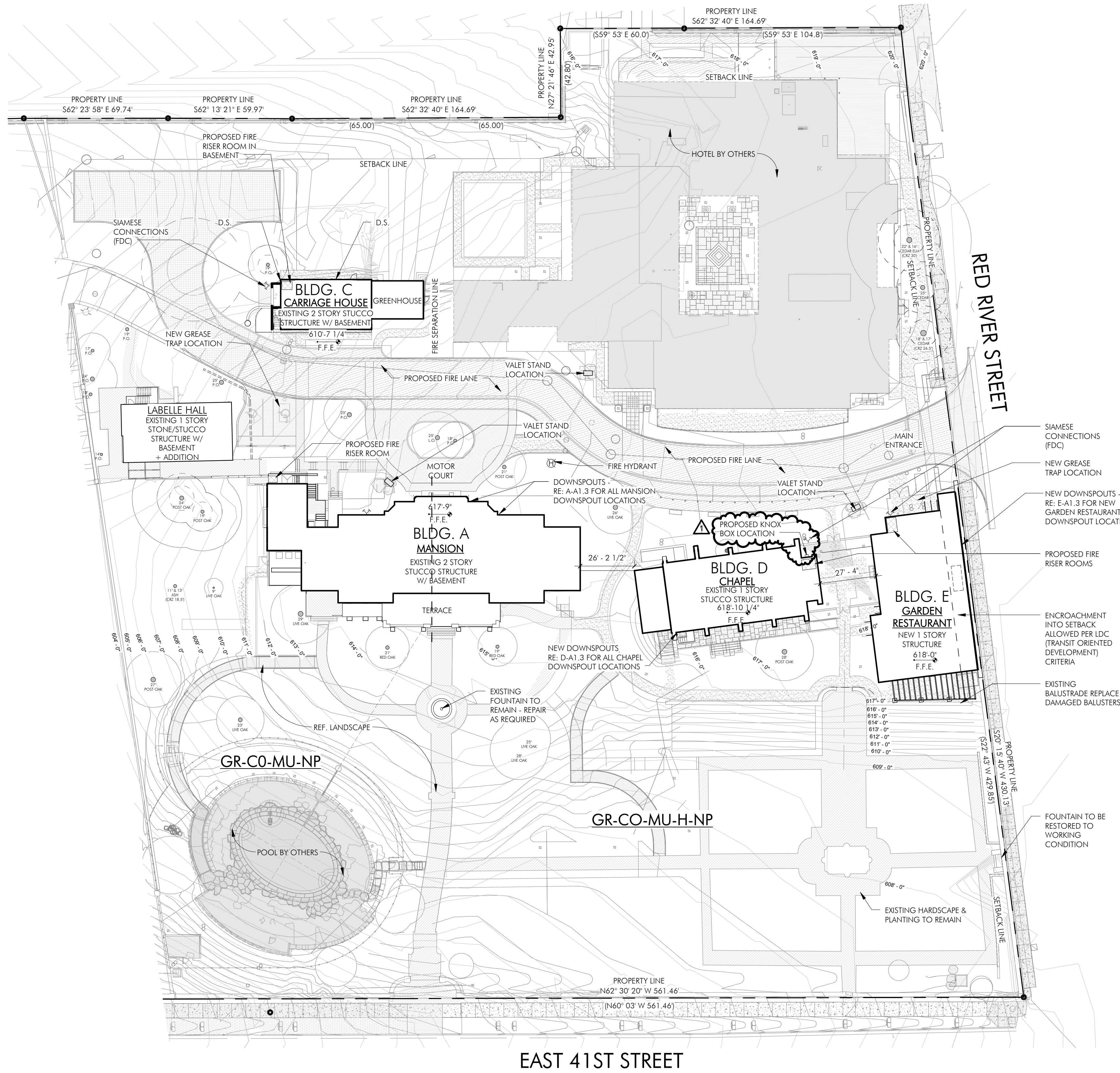
1. THE CONTRACTOR, IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THESE CONTRACT DOCUMENTS, SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR AND SUPERVISION REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN AND WHICH CAN BE REASONABLY INFERRED TO BE REQUIRED, IN A GOOD WORKMANLIKE MANNER.
2. SUBMISSION OF A BID BY THE CONTRACTOR WILL SIGNIFY THAT THE SITE WAS INSPECTED BY THE APPROPRIATE PERSONNEL AND WORK ASSOCIATED WITH DEALING WITH THE EXISTING CONDITIONS HAS BEEN INCORPORATED INTO THE BID. FAILURE TO OBSERVE THE EXISTING CONDITIONS WILL NOT BE A BASIS FOR ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL VISIT THE JOB SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND VERIFY ANY DISCREPANCIES.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES. PROCEEDING WITH WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT ALL CONDITIONS ARE CORRECT AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY.
4. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
6. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ACTS, COVENANTS, ETC. HAVING JURISDICTION.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTION FEES, AND DEPOSITS REQUIRED FOR THE INSTALLATION OF ALL WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL FOR LOCAL INSPECTIONS AND OBTAIN APPROVAL FROM CITY INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSURANCE AND NECESSARY INCIDENTALS.
8. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING PROPERTY UTILITIES PRIOR TO PERFORMING ANY WORK, AND GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WITH EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION PHASES.
9. A HAZARDOUS MATERIALS REPORT HAS BEEN PROVIDED BY OWNER, WHO WILL CONTRACT DIRECTLY WITH GC FOR REMOVAL. THE WORK INDICATED HEREIN AND IN RELATED SPECIFICATIONS (INCLUDING REQUIRED DEMOLITION WORK) DOES NOT ADDRESS THE PRESENCE OF HAZARDOUS MATERIALS. THE ARCHITECT IS NOT INVOLVED IN THE REMOVAL, TREATMENT, OR IDENTIFICATION OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IN ANY WAY.
10. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEMOLISHED MATERIALS. THE CONTRACTOR SHALL VERIFY ANY REGULATIONS, LAWS AND/OR ORDINANCES AFFECTING THE METHODS OF DEMOLITION AND THE DISPOSAL OF WASTE MATERIALS. THE OWNER ASSUMES NO LIABILITY FOR EXTRA WORK OR ADDITIONAL COMPENSATION DUE TO FAILURE OF THE CONTRACTOR OR SUBCONTRACTORS TO COMPLY WITH APPLICABLE REGULATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY ARCHITECT, OWNER, OWNERS REP. OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.
12. IT IS THE INTENT OF THE OWNER AND ARCHITECT THAT THIS PROJECT COMPLY WITH THE ADA AND TEXAS ACCESSIBILITY STANDARDS.
13. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL AGREE TO WARRANTY THE WORK, INCLUDING BOTH MATERIALS AND WORKMANSHIP, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL REMEDY, AT NO EXPENSE TO THE OWNER, ANY DEFECTS IN THE WORK WHICH BECOME APPARENT DURING THE WARRANTY PERIOD.
14. SEAL ALL CRACKS AROUND STRUCTURAL MEMBERS, BRACING, PIPES, CONDUITS, DUCTS AND BETWEEN WALLS AND ROOF DECK WHERE AIR INFILTRATION BETWEEN CONDITIONED AND NON-CONDITIONED (EXTERIOR) SPACES MAY OCCUR (I.E. SEAL THE BUILDING ENVELOPE).
15. CONCEAL ALL PIPING IN FINISHED WALLS. WHERE PIPING IS TOO LARGE, WALLS ARE TO BE FURRED-OUT THE MINIMUM DIMENSION REQUIRED TO CONCEAL PIPING. INFORM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
16. FIRE EXTINGUISHERS SHALL BE PURCHASED AND INSTALLED BY THE CONTRACTOR PER LOCAL FIRE DEPARTMENT AND BUILDING CODE REQUIREMENTS.
17. ANY WOOD BLOCKING USED SHALL BE FIRE TREATED TO MEET BUILDING CODE.

AREA CALCULATIONS:

	LEVEL 1 - EXISTING	LEVEL 1 - NEW	TOTAL
CHAPEL	2,393 S.F.	431 S.F.	2,824 S.F.

OCCUPANCY:

	OCCUPANCY	FIRE PROTECTION	OCCUPANT LOAD
CHAPEL	GROUP A-2	NEW NFPA 13 SPRINKLER SYSTEM	119



DRAWING LEGEND	
	SCOPE OF WORK
	BY OTHERS
	TRACT DIVISIONS

BUILDING FLOOR LEVELS	
MANSSION	
BASEMENT:	606' - 10"
LEVEL 1:	617' - 9"
LEVEL 2:	632' - 0"
RESTAURANT	
BASEMENT:	603' - 7 5/16"
LEVEL 1:	612' - 7 3/32"
CARRIAGE HOUSE	
BASEMENT:	602' - 4"
LEVEL 1:	610' - 7 1/4"
LEVEL 2:	621' - 0"
CHAPEL	
LEVEL 1:	618' - 10 1/4"
KITCHEN PAVILION	
LEVEL 1:	618' - 0"

SITE INFORMATION:
SITE INFORMATION TAKEN FROM SURVEY PERFORMED ON 03/03/11 AND UPDATED ON 07/13/15 BY LICENSED SURVEYOR ERIC J. DANNHEIM WORKING FOR CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.

SITE PERMIT NOTES:
1. PERMITTING FOR CONSTRUCTION OF BUILDING TO RUN CONCURRENT WITH SITE DEVELOPMENT PLAN: SP-2017-0161CT dated 3/23/18
2. SITE PLAN EXEMPTION APPROVED: DA-2017087347

ZONING INFORMATION
GR-MU-CO-H-NP
LEGAL JURISDICTION: CITY OF AUSTIN, TRAVIS COUNTY

LEGAL DESCRIPTION
ACR 9.8624 OLT 14 DIVISION C

SITE PLAN NOTES:
1. COORDINATE LAYOUT AND SERVICES WITH CIVIL AND LANDSCAPE DRAWINGS. VERIFY EXISTING BUILDING LOCATIONS IN FIELD.
2. MINIMIZE IMPACT/DISTURBANCE OF NEIGHBORS, FOLLOW CITY OF AUSTIN CONSTRUCTION WORK HOUR REQUIREMENTS.
3. MINIMIZING IMPACTS TO EXISTING TREES IS CRITICAL TO THE SUCCESS OF THIS PROJECT. COORDINATE ALL DISTURBANCES IN CRITICAL ROOT ZONES OR TREE CANOPY PRUNING WITH OWNER'S ARBORIST.
4. VERIFY KNOX BOX LOCATIONS ON SITE WITH FIRE MARSHAL PRIOR TO INSTALLATION.

TREE PROTECTION NOTES:
1. PROVIDE TREE PROTECTION FENCING PER CODE AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
2. WRAP 2x4 BOARDS (PER COA DETAILS) AROUND TREE TRUNKS DURING CONSTRUCTION.

COMMODORE PERRY ESTATE REDEVELOPMENT
CHAPEL

4114 RED RIVER STREET, AUSTIN, TEXAS, 78751

COMMODORE PERRY ESTATE REDEVELOPMENT CHAPEL

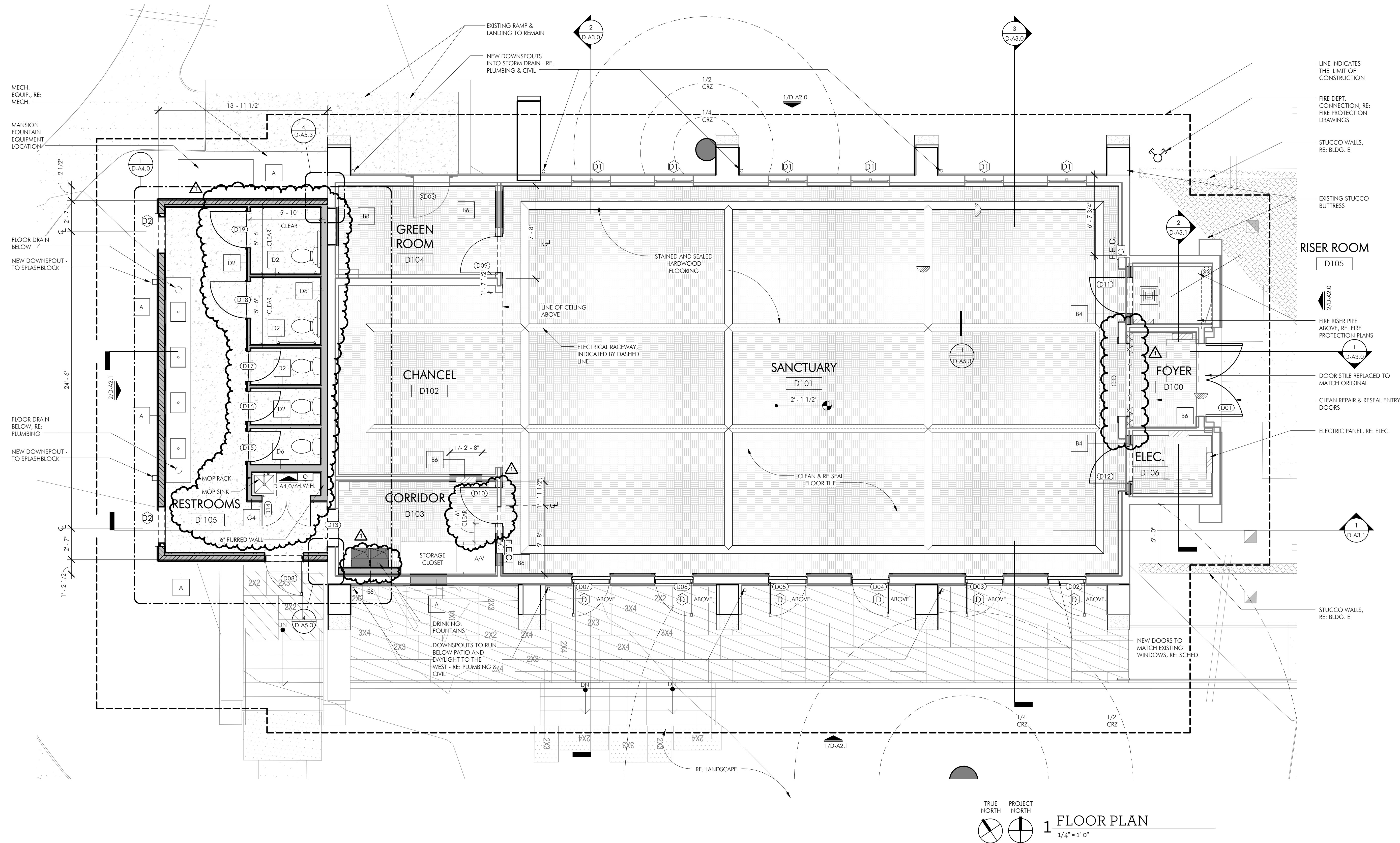
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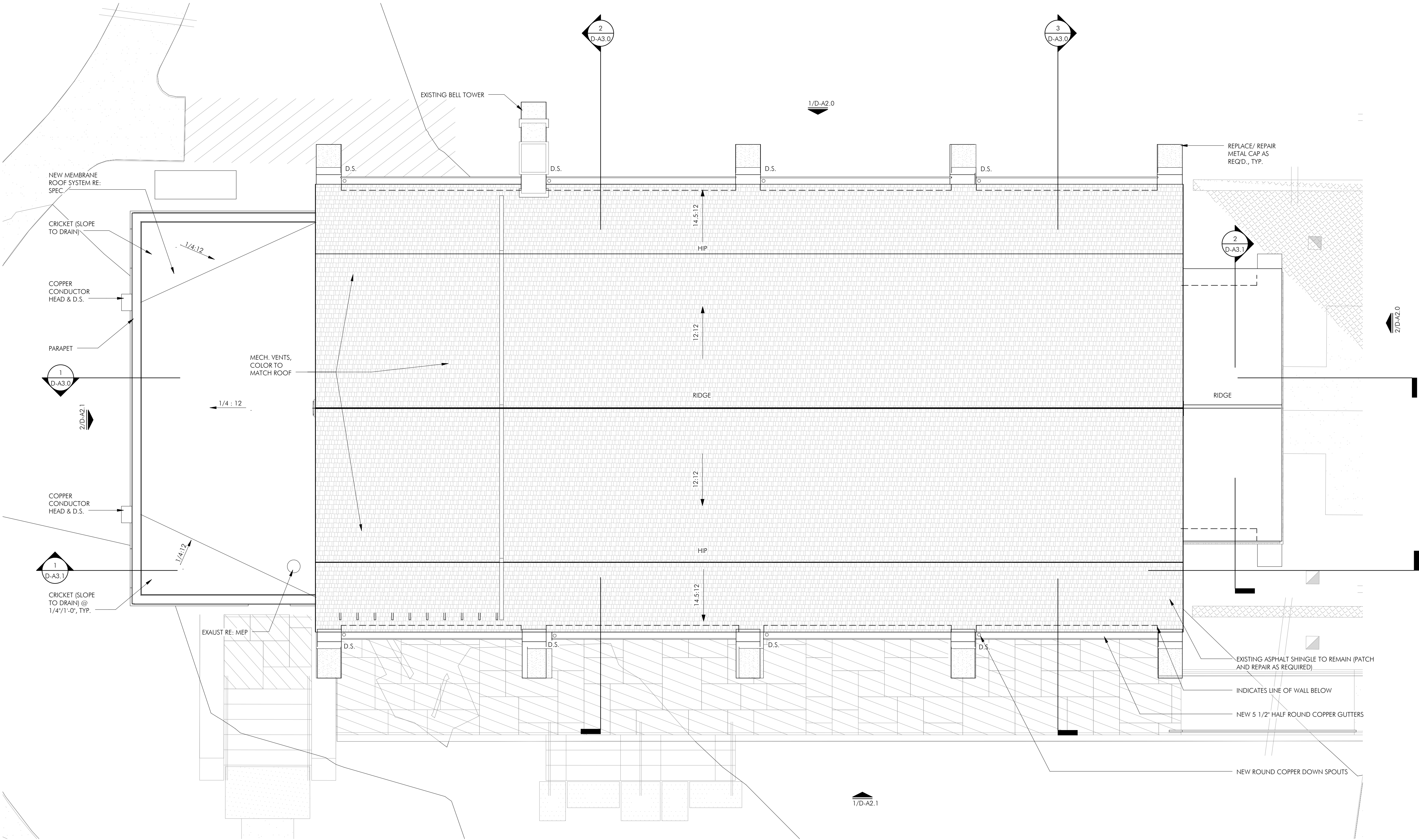
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FLOOR PLAN

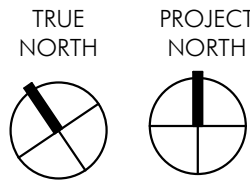
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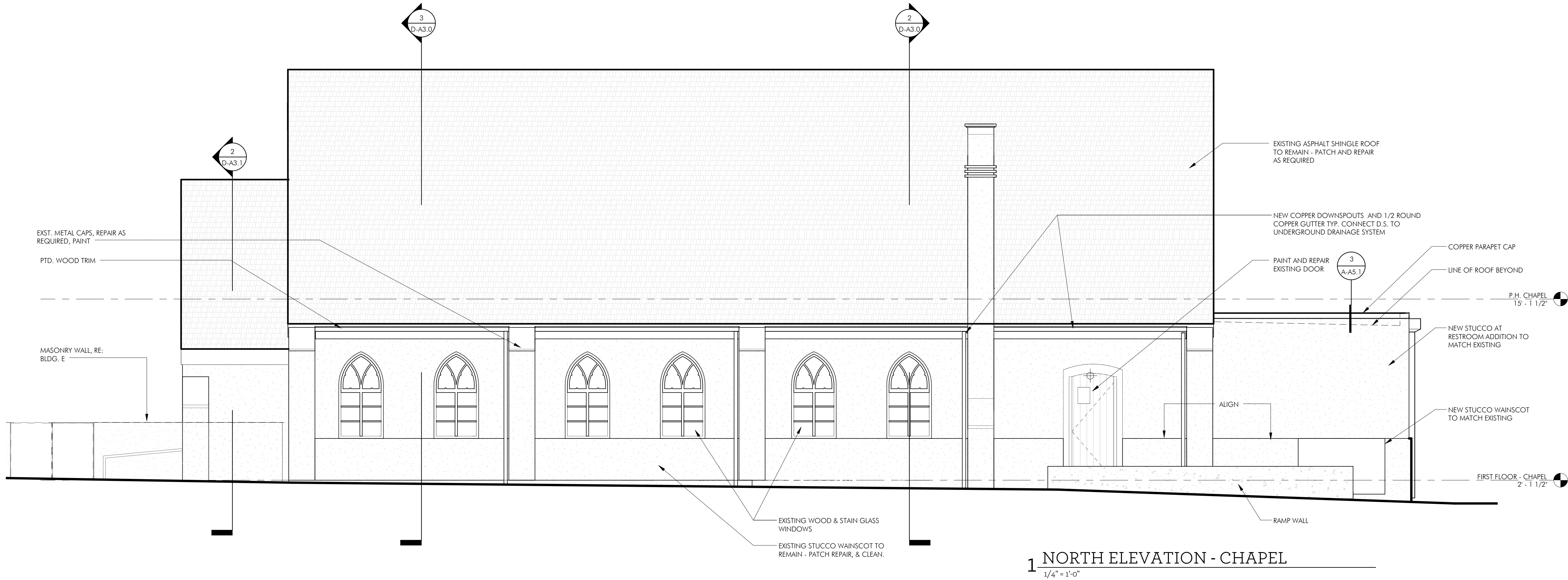




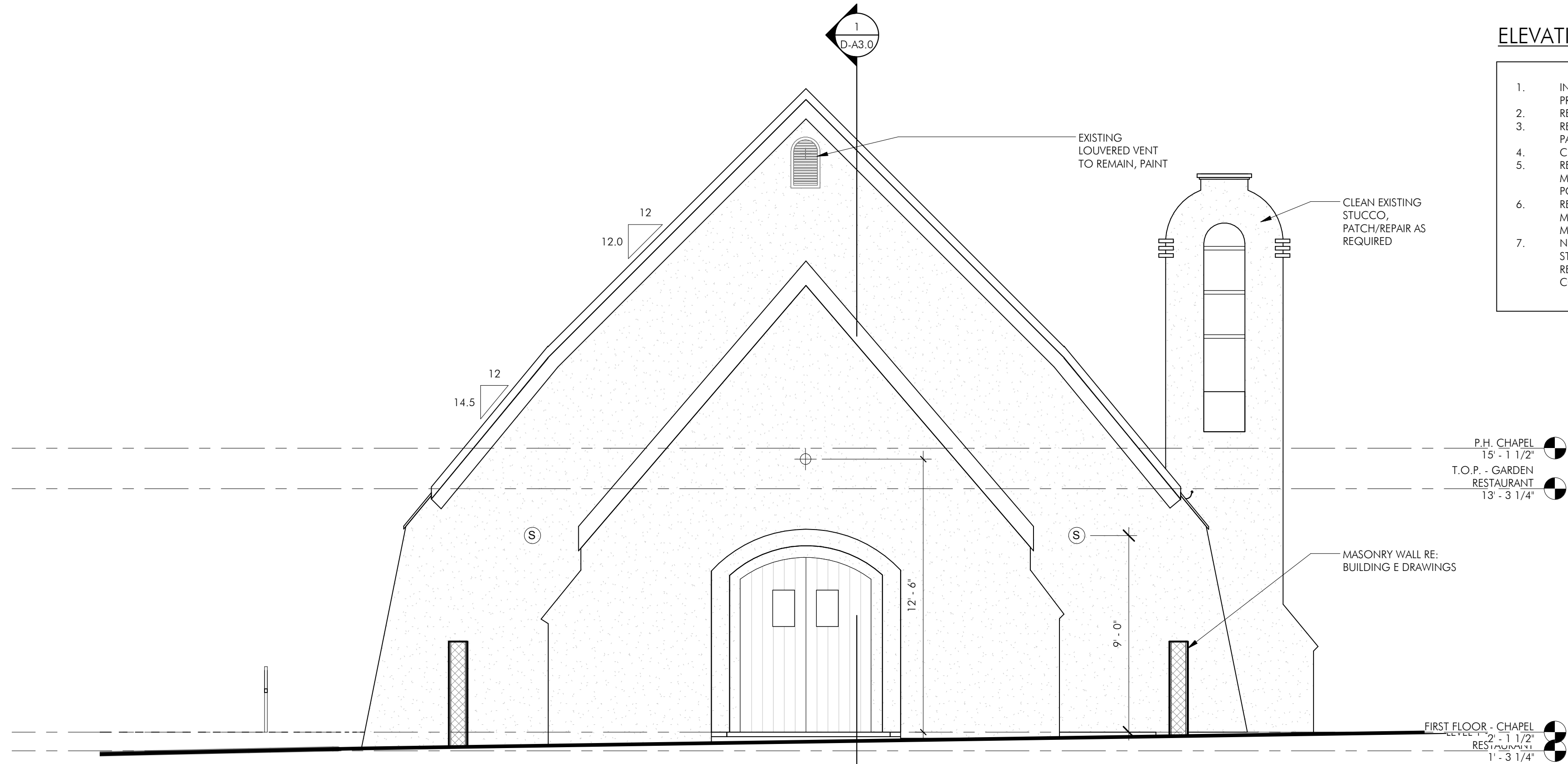
- ROOF NOTES**
1. VERIFY DOWNSPOUT LOCATIONS W/ ARCHITECT.
 2. CONTRACTOR TO PATCH ROOF AT NEW PENETRATIONS AND MATCH EXISTING



1 ROOF PLAN
1/4" = 1'-0"



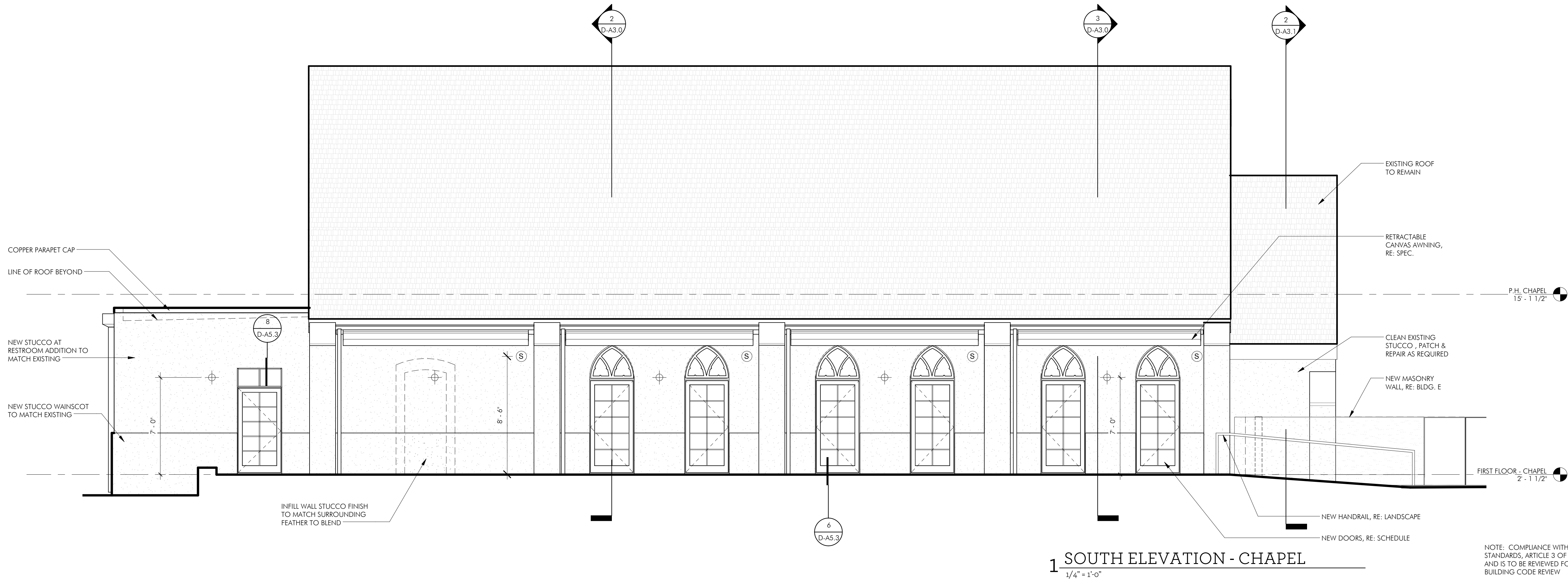
1 NORTH ELEVATION - CHAPEL
1/4" = 1'-0"



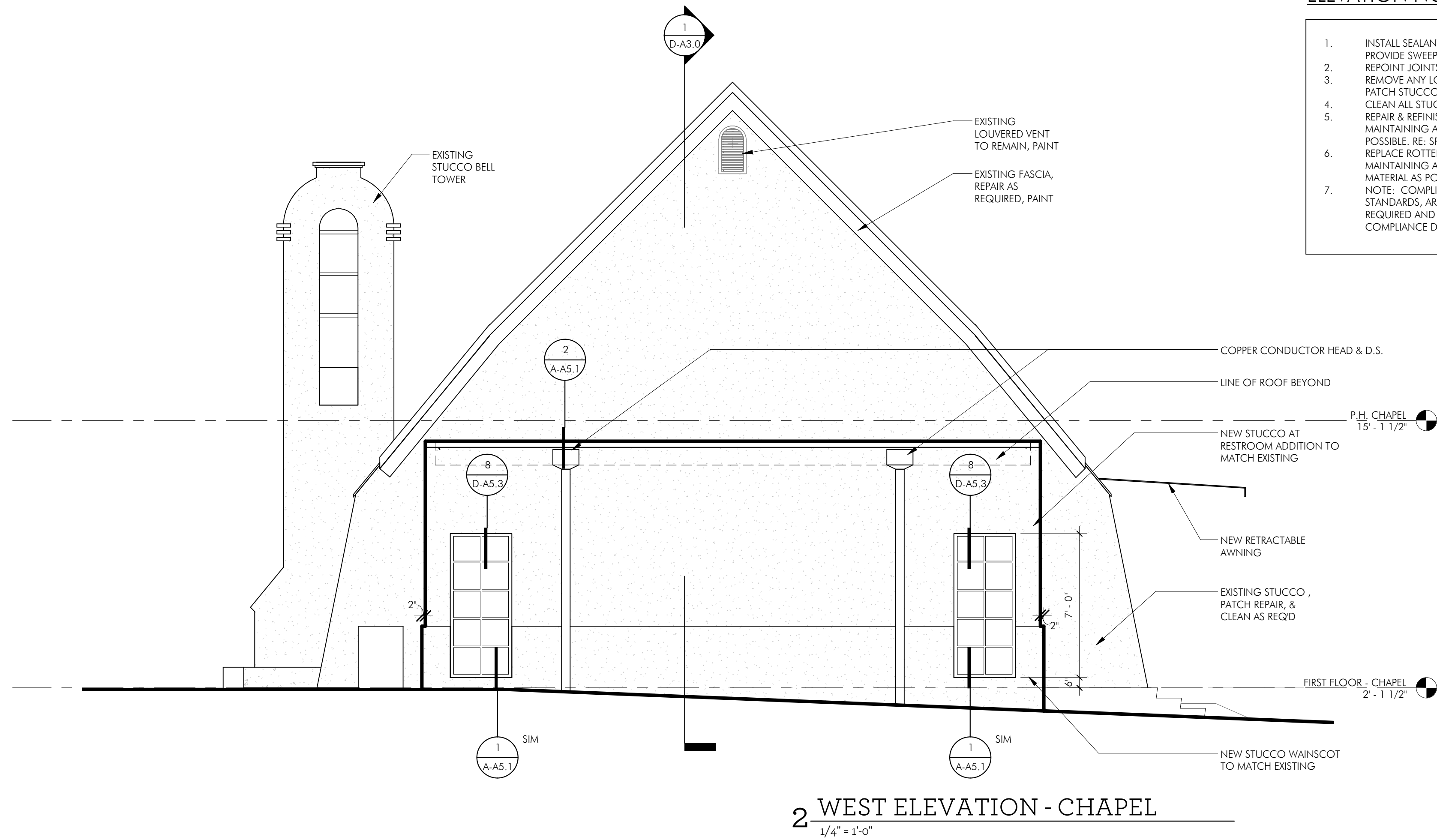
2 EAST ELEVATION - CHAPEL
1/4" = 1'-0"

ELEVATION NOTES

1. INSTALL SEALANT BELOW ALL DOOR THRESHOLDS
PROVIDE SWEEPS AT ALL DOORS, RE: SPECS.
2. REPOINT JOINTS AT ALL CAST STONE.
3. REMOVE ANY LOOSE STUCCO AND BAD PATCHES,
PATCH STUCCO TO MATCH EXISTING.
4. CLEAN ALL STUCCO.
5. REPAIR & REFINISH ALL WINDOWS & DOORS,
MAINTAINING AS MUCH HISTORIC MATERIAL AS
POSSIBLE. RE: SPECS.
6. REPLACE ROTTEN WOOD TRIM, IN KIND,
MAINTAINING AS MUCH EXISTING HISTORIC
MATERIAL AS POSSIBLE, TYP.
7. NOTE: COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E IS
REQUIRED AND IS TO BE REVIEWED FOR
COMPLIANCE DURING BUILDING CODE REVIEW



1 SOUTH ELEVATION - CHAPEL
1/4" = 1'-0"



2 WEST ELEVATION - CHAPEL
1/4" = 1'-0"

ELEVATION NOTES

1. INSTALL SEALANT BELOW ALL DOOR THRESHOLDS PROVIDE SWEEPS AT ALL DOORS, RE: SPECS.
2. REPOINT JOINTS AT ALL CAST STONE.
3. REMOVE ANY LOOSE STUCCO AND BAD PATCHES, PATCH STUCCO TO MATCH EXISTING.
4. CLEAN ALL STUCCO.
5. REPAIR & REFINISH ALL WINDOWS & DOORS, MAINTAINING AS MUCH HISTORIC MATERIAL AS POSSIBLE, RE: SPECS.
6. REPLACE ROTTEN WOOD TRIM, IN KIND, MAINTAINING AS MUCH EXISTING HISTORIC MATERIAL AS POSSIBLE, TYP.
7. NOTE: COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER E IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW

NOTE: COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER E IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW