

RESOLUTION NO. 20160324-009

WHEREAS, the Austin Fire Department uses a standard of 8 minute response times 90% of the time, which is consistent with national standards set by the Commission of Fire Accreditation and the International Fire Protection Association; and

WHEREAS, in calendar year 2015, the City of Austin established response time goal of 8 minutes;

WHEREAS, according to the 2016 Service Delivery Analysis, the population grew over 38% over the last decade;

WHEREAS, as Austin's population continues to grow, the need for fire stations will also increase; and

WHEREAS, the Austin Fire Association collaborated to update the Fire Station Risk and Service Delivery Analysis (called the Fire Station Risk and Service Delivery Analysis), which provides information to proactively make informed decisions regarding fire station location and timing; and

WHEREAS, the 2016 Service Delivery Analysis identified an immediate need for fire stations in five areas of immediate need: the Travis Country area, the Loop 360 area, the Goodnight Ranch area, the Moore's Crossing area, and the Canyon Creek area; and

computer aided dispatch automatic vehicle location trackers in AFD and EMS vehicles; and

WHEREAS, utilizing GPS technology for controlling lights for public safety vehicles could lead to faster response times, and determining potential costs and benefits would help determine whether the City of Austin should consider upgrading the current system; and

WHEREAS, on March 7, 2016, the Public Safety Commission voted 9-0 to recommend that Council direct the City Manager to develop a comprehensive plan to address immediate needs for fire stations including recommendations for funding options and timelines, that an annual report be presented to Council during each budget year that includes an updated version of Austin Fire Department/Austin Fire Association Fire Station Risk and Service Delivery Analysis Report, and that the feasibility of utilizing a GPS emergency vehicle preemption system for traffic signal control should be explored; and

WHEREAS, Council is committed to providing reliable and equitable public safety services for Austin residents, and Council sees value in the development of a strategic plan to improve response times through building fire stations in high areas of need and potentially updating the system used to control traffic signals for emergency response vehicles; **NOW, THEREFORE**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

The City Manager is directed to develop a comprehensive plan for consideration during the FY 2016-17 budget process with proposed funding mechanisms and timelines for building fire stations in five areas of immediate need identified by the Austin Fire Association and the Austin Fire Department which

WHEREAS, when facing a similar situation, the City of Austin passed Resolution 19860522-019 to develop a plan to address high areas of need; and

funding mechanisms;

new fire stations in high areas of need;

a credit-tenant lease;

obligation, and Capital

presentation to Council;

estimated that utilizing

has the potential to improve

standards in place while

the traditional bond financing

and

of Austin installed since

mid-1990s that is superior

county Emergency Management

manage traffic signals;

ial Opticom Emergency

but line of sight requirements

veral limitations of the

technology has resulted

tion system, which is

patible with the N

of the signalized

include the Travis Country area, the Loop 360 area, the Goodnight Ranch area, the Moore's Crossing area, and the Canyon Creek area.

BE IT FURTHER RESOLVED

The City Manager's proposal shall explore all feasible methods of financing which may include utilizing third-party financing through a credit-tenant lease model, inclusion of new fire stations in future bond packages, certificates of obligation, utilizing Capital Improvement Program funding, or some combination of those or other options.

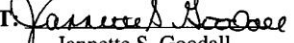
BE IT FURTHER RESOLVED

The City Manager shall provide a progress report as part of each annual budget process that includes the annually updated version of Austin Fire Department/Austin Fire Association Fire Station Risk and Service Delivery Analysis Report and a proposed plan for implementing the construction of the top five most critical fire stations as defined by Service Delivery Analysis Report.

BE IT FURTHER RESOLVED

The City Manager shall explore the feasibility of utilizing a GPS emergency vehicle preemption system, and provide a recommendation to Council within ninety days that includes information regarding best practices in other cities, potential cost and funding options, and anticipated impact on response times.

ADOPTED: March 24, 2016

ATTEST: 
Jannette S. Goodall
City Clerk



MEMORANDUM

TO: Mayor and Council Members

FROM: Rhoda Mae Kerr, Fire Chief *Rhoda Mae Kerr*
Ed Van Eenoo, Deputy Chief Financial Officer *EV*

DATE: March 30, 2018

SUBJECT: Response to Resolution No. 20160324-009: Future Fire Stations

On March 24, 2016, the City Council directed the City Manager to develop a comprehensive plan for consideration during the budget process with proposed funding mechanisms and timelines for building fire stations in five areas of immediate need identified by the Austin Fire Association (Local 975) and the Austin Fire Department. The five areas include the Travis Country area, the Del Valle/Moore's Crossing area, the Loop 360/ Davenport area, the Goodnight Ranch area, and the Canyon Creek area. The intent of the following information is to update you on the plan to build five fire stations over the next ten years.

Attachment A is a map showing the recommended locations for future fire stations. The locations are based on a "Standard of Coverage" analysis that focuses on response times. The areas in purple have responses that exceed the department/national goal of arriving in eight (8) minutes or less, 90% of the time.

Attachments B.1 shows service needs in the recommended station areas including the number and type of incidents in 2017, population and density in the area, and the number of residents who do not benefit from the City's superior (Class 1) Insurance Services Office (ISO) rating.

Attachment B.2 provides answers to typical questions regarding why the area needs a fire station. The Fire Department recommends that stations be constructed in the following order based on incident volume, response times, ISO rating and growth/density: Travis Country, Del Valle/Moore's Crossing, Loop 360/ Davenport, Goodnight Ranch, and Canyon Creek.

Attachment C.1 describes the necessary station type, staffing and apparatus, co-habitation of Fire and EMS services, as well as construction costs, one-time equipment purchases and annual operating costs.

Attachment C.2 provides an estimate of the costs associated with constructing and staffing five stations, one opening every two years.

The potential funding sources for construction costs of the five stations is voter-approved bonds or certificates of obligation (COs). The Bond Election Advisory Task Force has recommended \$31 million for construction of three fire stations in the 2018 Bond. Another consideration relevant to this resolution is the ongoing work by staff from Financial Services and the Office of Real Estate Services to implement a public private partnership (P3) model for the acquisition of new City facilities. The P3 approach has already been approved by Council for a new Planning and Development Center and work continues on the

Attachment C.2 : Summary of Estimated Station Costs and Operating Budget Impact (in millions)

	1. Travis Country	2. Del Valle / Moore's Crossing	3. Loop 360 / Davenport	4. Goodnight Ranch	5. Canyon Creek	Total Station Costs
Projected Opening Date	Oct. 2020	Oct. 2022	Oct. 2024	Oct. 2026	Oct. 2028	
Construction Costs	\$14.7	\$11.4	\$20.5	\$12.5	\$18.1	\$77.2
One-time Equipment	\$1.4	\$2.6	\$2.4	\$1.4	\$1.4	\$9.2
Total	\$16.1	\$14.0	\$22.9	\$13.9	\$19.5	\$86.4
Year	Annual Operating Costs					Total Annual Operating Costs
<i>FY 2019</i>						\$0.0
<i>FY 2020</i>	\$3.0					\$3.0
<i>FY 2021</i>	\$3.1					\$3.1
<i>FY 2022</i>	\$3.2	\$5.2				\$8.4
<i>FY 2023</i>	\$3.3	\$5.3				\$8.6
<i>FY 2024</i>	\$3.4	\$5.5	\$4.3			\$13.3
<i>FY 2025</i>	\$3.5	\$5.7	\$4.5			\$13.7
<i>FY 2026</i>	\$3.6	\$5.8	\$4.6	\$3.6		\$17.7
<i>FY 2027</i>	\$3.7	\$6.0	\$4.8	\$3.7		\$18.2
<i>FY 2028</i>	\$3.8	\$6.2	\$4.9	\$3.8	\$3.8	\$22.6
Total 10-year	\$30.8	\$39.7	\$23.1	\$11.2	\$3.8	\$108.6

ISO Research - *Austin Fire Department*

November 30, 2017

Background: In 2016, Insurance Service Office (ISO) conducted a Public Projection Classification review of the City of Austin fire service. From 1997-2016, COA had been assigned a Class 2 PPC and in 2016, received a Class 1/1Y (with implied Class 10 PPC in some areas).

City of Austin ISO Rating: **1/1Y (with implied 10) PPC**

Class 1 PPC = *Best rating possible*

Class 2-7 PPC = *Ranges from 'better' to 'poor'*

Class 1Y (old 8B) = *Bad rating*

Class 10 PPC = *Worst rating possible*

To better understand how the 1Y/10 PPC ratings impacted our city, AFD conducted research on the street ranges (provided by ISO) which were assigned the lower ratings. These addresses might see a significant increase in their homeowner's insurance rates from what the rest of COA addresses are receiving (1 PPC).

The research consisted of identifying which issued addresses were impacted, where these addresses were located, and identification of a possibly solution which could improve the rating to a Class 1 PPC.

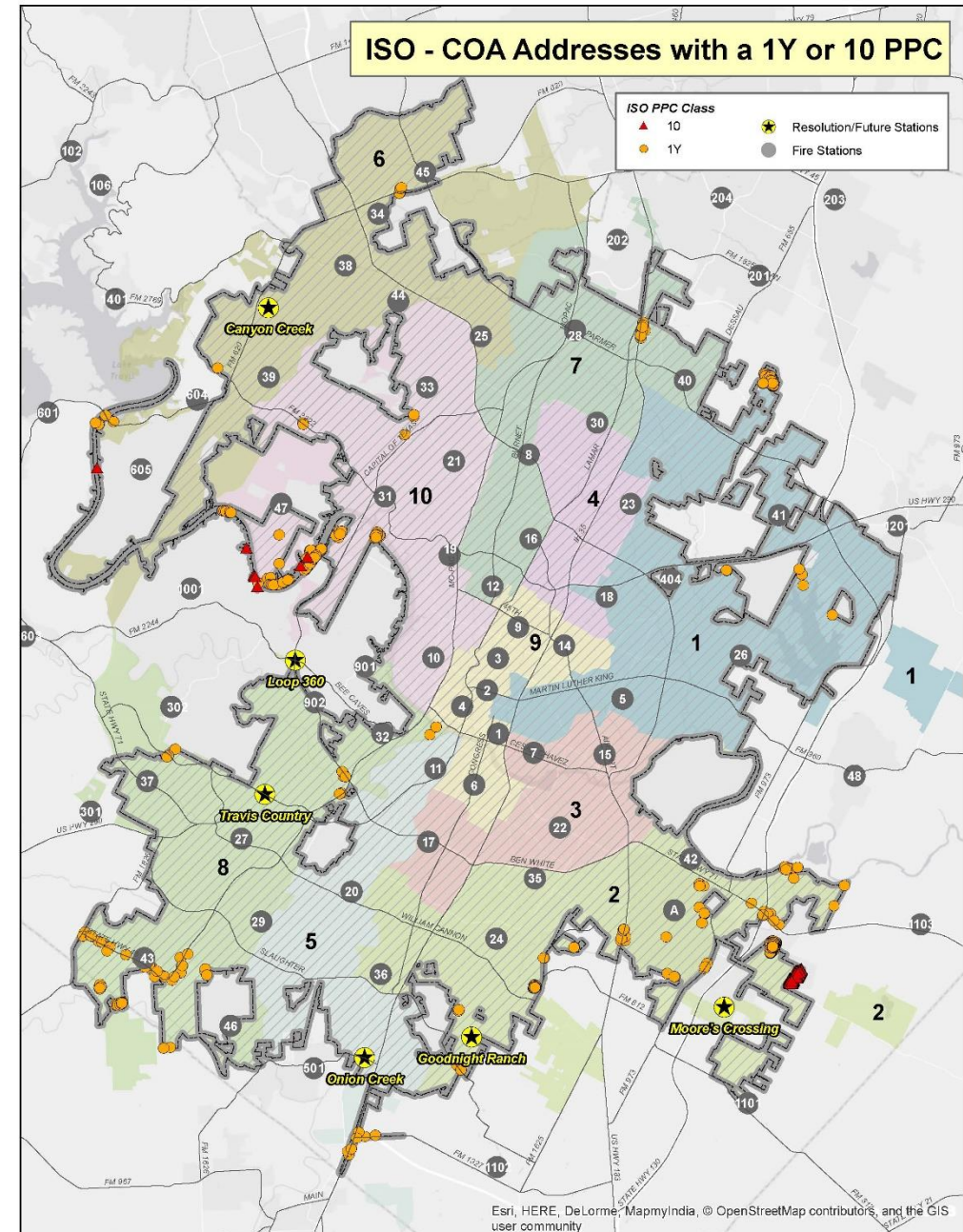
As of December 1, the findings are reflected below and should be referred to as 'initial findings'. Additional research and quality control will need to be conducted to truly understand why this has occurred and how best to address it.

Initial Findings *(Additional research and quality control needed)*

Issued Addresses

	Total		Class 1		Class 1Y		Class 10	
	#	%	#	%	#	%	#	%
Full Purpose	238,918	100.0%	238,118	99.7%	616	0.26%	184	0.08%
District 1	29,211	12.2%	29,061	12.2%	150	24%		
District 2	25,275	10.6%	24,867	10.4%	233	38%	175	95%
District 3	17,237	7.2%	17,237	7.2%				
District 4	14,866	6.2%	14,866	6.2%				
District 5	29,179	12.2%	29,172	12.3%	7	1%		
District 6	22,189	9.3%	22,176	9.3%	12	2%	1	1%
District 7	26,153	10.9%	26,140	11.0%	13	2%		
District 8	28,028	11.7%	27,954	11.7%	74	12%		
District 9	21,114	8.8%	21,114	8.9%				
District 10	25,666	10.7%	25,531	10.7%	127	21%	8	4%

"Issued Addresses" reflect an actual address which has been assigned to a lot. This DOES NOT reflect a home, business, or structure.





National Specialty
ONE GENERAL DRIVE
SUN PRAIRIE, WI 53596

Your Agent is:

KB HOME INSURANCE AGENCY - KBHOM
6351 OWENSMOUTH, SUITE 101
WOODLAND HILLS, CA 91367
For Customer Service call: (866)318-2016

Homeowner Amended Declaration

Client Detail

WAR ADMIRAL DR
DEL VALLE, TX 78617-5868

Policy Period: 08/24/2017 to 08/24/2018

Effective Time: 12:01 A.M. *
* Standard Time at the address of the Named Insured

Change Details

POLICY CHANGE DESCRIPTION

Policy change effective 03/08/18 at 12:01 AM; Full term premium increase \$709.00;
Changed Primary Named Insured; ***LOCATION*** Changed WAR ADMIRAL
DR, DEL VALLE, TX, 78617; ***DWELLING*** Changed 2003 Siding, Wood FORM
HOB, WAR ADMIRAL DR, DEL VALLE, TX, 78617; ***ENDORSEMENT***
Added HO710A

PREMIUM INFORMATION

Additional Premium \$328.00

Named Insured(s)

Location Address(es)

Location - Name	Address	City	State	Zip Code
Location 001 WAR ADMIRAL DR, DEL VALLE, TX, 78617	WAR ADMIRAL DR	DEL VALLE	TX	78617

THIS POLICY DOES NOT PROVIDE COVERAGE FOR WATER DAMAGE CAUSED BY FLOOD. DAMAGE CAUSED BY EARTHQUAKE IS ONLY COVERED IF EARTHQUAKE APPEARS UNDER THE "ENDORSEMENTS/FORMS" SECTION WITH A PREMIUM CHARGE. POLICY INCLUDES COVERAGE FOR ORDINANCE OR LAW

Coverages (Insurance is provided only with respect to those coverages for which a specific amount of insurance is indicated.)

Cov	Description	Limit	Premium
Section I			
A	Dwelling	\$159,000	\$2,448
	Other Structures	\$15,900	INCL
B	Personal Property Unscheduled	\$95,400	INCL
	Loss of Use	\$31,800	INCL
	Policy Fee (pro-rata)		\$50
Section II			
C	Personal Liability	\$300,000 Each Occurrence	\$25
D	Medical Payments	\$2,000 Each Person	INCL
Total Item Premium:			\$2,523

These declarations, together with the coverage form(s), common policy conditions and forms, and endorsements, if any, issued to form a part thereof, complete the above numbered policy.

Deductibles

Description	Amount of Deductible
Clause 1 - Windstorm, Hail, and Hurricane	
Clause 2 - All Peril	

Discounts and Surcharges

Description	Premium
Loss Free	Included
Special Transfer Credit	Included

Property Information

Construction Year	Construction Type	Structure	Usage	Occupancy	Number of Families	Protection Class
2003	Siding, Wood	Dwelling	Primary	Owner	0	10

Scheduled Personal Property

Total Scheduled Personal Property Premium:

Endorsements/Notices

Form #	Edition	Title	Limit	Premium
Policy Endorsements				
HO142	*(07-92)	Exclusion of Residential Community Property Clause - Texas		
HO712	*(09-03)	Cancellation Conditions		
HOB	(01-02)	Homeowners Form B Policy		
ILP001	*(01-04)	OFAC Notice		
PH0002	*(06-10)	Important Notice About Your HO Policy		
PRV-NSIC	*(10-04)	National Specialty Privacy Notice		
UND1588	*(01-15)	Consumer Bill of Rights		
UND1591	*(04-13)	Important Notice		
UND1974	*(02-14)	Renewal Letter		

Location 001 WAR ADMIRAL DR, DEL VALLE, TX, 78617

Dwelling: Item 001 - 2003 Siding, Wood FORM HOB

HO101	(10-93)	Replacement of Personal Property	
HO710A	*(11-08)	Specified Additional Amount of Insurance For Coverage A	

Total Endorsement Premium:

Total Amounts

Item Premium	
Endorsement Premium	
Total Amount	

A \$4.00 installment fee may apply if your account is not paid in full.

Statement of Account

THIS IS NOT A BILL. BILLING INFORMATION WILL BE MAILED SEPARATELY.

These declarations, together with the coverage form(s), common policy conditions and forms, and endorsements, if any, issued to form a part thereof, complete the above numbered policy.

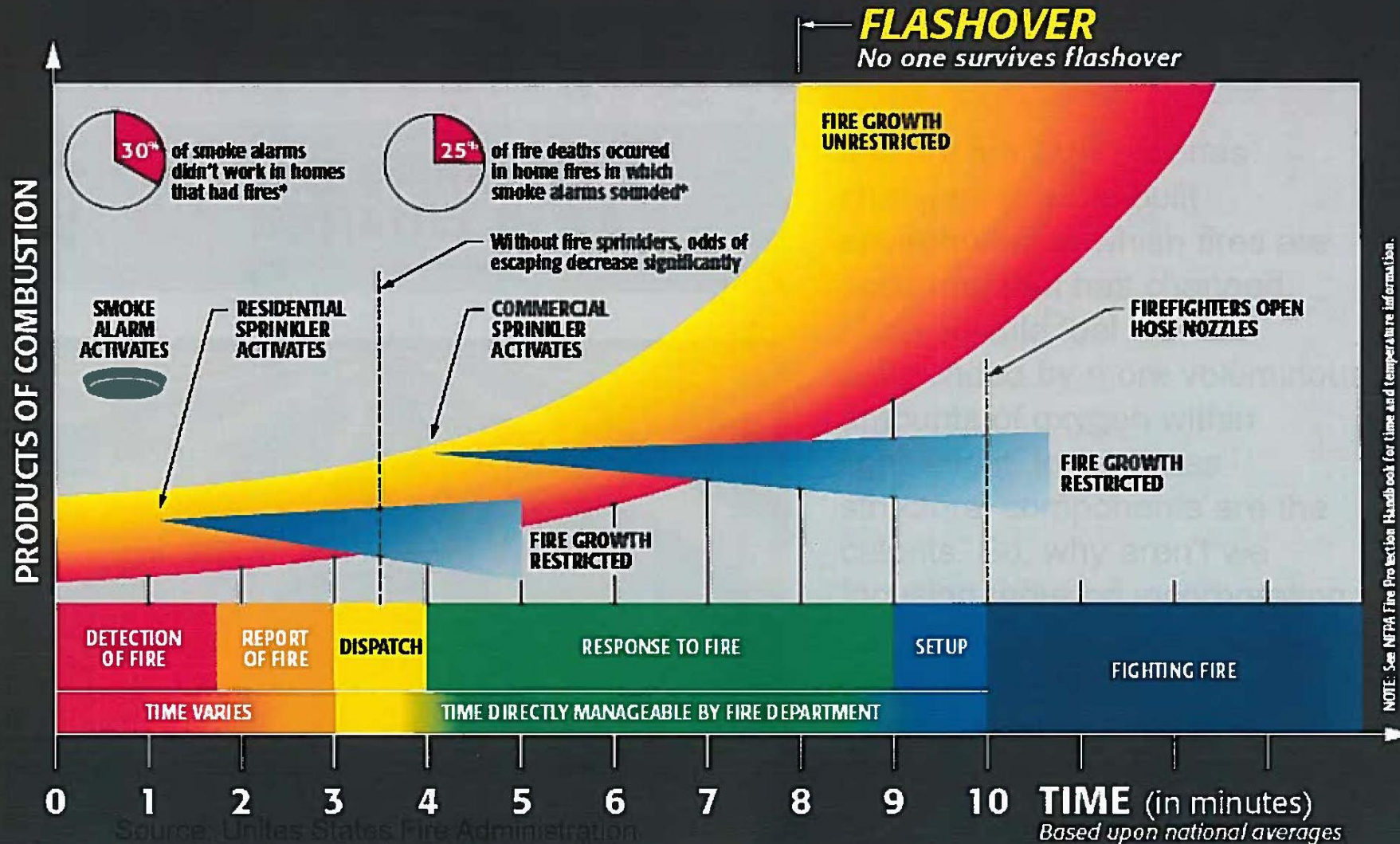
AFD Response In Top 3 Areas of Greatest Need

When looking at raw numbers, the majority of the incidents that were greater than 8 mins are along I35, which mirrors our major call-volume. But this doesn't tell the whole story, just a part of it. Below is a chart that tells a different side about the top 3 stations requested by AFD:

FY17 Emergency Incidents		
	% <=8 min	% >8min
Travis Country Area (00-2703)	48%	52%
Del Valle Area (00-4209, 00-4210)	12%	88%
Loop 360 Area (00-3105, 00-3106)	48%	52%

*Only emergency incidents are utilized for response times. These totals DO NOT REFLECT the total demand in the area, just incident counts of those requests which were responded to Code 3.

TIME vs. PRODUCTS of COMBUSTION



Financial Forecast Fiscal Years 2019-2023



FY 2017 General Fund Year End Review



- Sales tax collections ended 2.9% above the prior year
 - Shortfall of \$750k compared to 3.3% estimate
- Development Services revenue ended the year \$2.9 million above estimated level
- General Fund departments closed the year with expenditures at 98.8% of budgeted amounts; slightly more savings than estimated
- A total of \$15.1 million was transferred to reserves
 - \$6.1 million higher than estimated
 - Reserves ended FY 2017 at 13.6% of total General Fund

Financial Forecast Fiscal Years 2019-2023



FY 2018 General Fund Status



- Sales tax collections estimated at 3%
 - Shortfall of \$800,000 compared to FY 2018 budget expectations
- Development activity levelling out; revenue estimated at \$1.5 million below budget
- Franchise fees and traffic fines currently trending below budget
- Projected savings of \$4.4 million projected from lower than anticipated labor contract costs
- \$1.1 million unanticipated increases for KnoxBox replacements and design work for urgent fire station improvements
- Year end surplus projected at \$750,000

2006 Bond Election Funding

November 7, 2006 Bond Election

PROPOSITION NO. 7 - Ordinance #20060608-084

Yes	% Yes	No	% No
110514	71.00%	45148	29.00%
SHALL THE CITY COUNCIL OF THE CITY OF AUSTIN, TEXAS BE AUTHORIZED TO ISSUE AND SELL GENERAL OBLIGATION BONDS OF THE CITY IN THE AGGREGATE PRINCIPAL AMOUNT OF \$58,100,000 FOR THE PUBLIC PURPOSES OF CONSTRUCTING, RENOVATING, IMPROVING, AND EQUIPPING PUBLIC SAFETY FACILITIES, INCLUDING, WITHOUT LIMITATION, A PUBLIC SAFETY TRAINING FACILITY, POLICE STATIONS, EMERGENCY MEDICAL SERVICE BUILDINGS AND FACILITIES, A MUNICIPAL COURTHOUSE, AN ANIMAL SHELTER, AND OTHER RELATED FACILITIES AND ACQUIRING LAND AND INTERESTS IN LAND AND PROPERTY NECESSARY TO DO SO; WITH THE BONDS AND NOTES TO BE ISSUED IN ONE OR MORE SERIES OR ISSUES, TO MATURE SERIALY OR OTHERWISE AND BEAR INTEREST AT A RATE OR RATES NOT TO EXCEED THE RESPECTIVE LIMITS PRESCRIBED BY LAW AT THE TIME OF ISSUANCE, AND TO BE SOLD AT THE PRICE OR PRICES AS THE CITY COUNCIL DETERMINES AND SHALL THERE BE LEVIED AND PLEDGED, ASSESSED, AND COLLECTED ANNUALLY AD VALOREM TAXES ON ALL TAXABLE PROPERTY IN THE CITY IN AN AMOUNT SUFFICIENT TO PAY THE ANNUAL INTEREST ON THE BONDS AND NOTES AND TO PROVIDE A SINKING FUND TO PAY THE BONDS AND NOTES AT MATURITY?			