



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

Property Information

Project Address: 2524 HARRIS BLVD	Tax Parcel ID: 0116001304
Legal Description: lot 6+5.40' lot 5+1 N. 10' lot 7 BKG Pemberton Heights Sec 2	
Zoning District: SF-3	Lot Area (sq ft): 14039
Neighborhood Plan Area (if applicable):	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="radio"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N (If yes, EHZ review is required)	Is this property within 100 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N (Proximity to floodplain may require additional review time.)
Are there protected size trees onsite or on adjacent sites? Y <input checked="" type="radio"/> N	(If yes, click here for more information on the tree permit process.)
Was there a pre-development consultation for the Tree Review? Y <input checked="" type="radio"/> N	Proposed impacts to trees: (Circle all that apply) Root zone Canopy Removal None/Uncertain
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <input checked="" type="radio"/> N	
Does this site currently have: water availability? Y <input checked="" type="radio"/> N wastewater availability? Y <input checked="" type="radio"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="radio"/> N (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? Y <input checked="" type="radio"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input checked="" type="radio"/> N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input checked="" type="radio"/> N	(If yes, construction material recycling is required per LDC 25-11-39)
Existing Use: vacant single-family residential	duplex residential two-family residential other: _____
Proposed Use: vacant single-family residential	duplex residential two-family residential other: _____
Project Type: new construction addition	addition/remodel other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Note: Removal of all or part of a structure requires a demolition permit application.)	
# existing bedrooms: 3	# bedrooms upon completion: 3
# baths existing: 2.5	# baths upon completion: 2.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Construct carport and covered parking	
Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)	

Subchapter F**Gross Floor Area**

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1505				1505 0
2 nd Floor	1351				1351 0
3 rd Floor					0
Area w/ ceilings > 15'			Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)	130		<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	130	0 0
Basement			Must follow article 3.3.3B, see note below		0
Attic			Must follow article 3.3.3C, see note below		0
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0
	Detached	576 473	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)	450	176 0
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0
	Detached	473 473	<input type="checkbox"/> 450 sq ft (3.3.2 A 1)	0	473 0
Accessory Building(s) (detached)					0
Totals	0	0			3505 0

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 0.00 3505

(Total Gross Floor Area ÷ Lot Area) x 100 = 24.9 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y (N)

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y (N)

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

141039 #

Job Valuation		
Total Job Valuation: \$ <u>25,000</u> 0	Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N Amount for Accessory Structure: \$ <u>25000</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Total Remodeled Floor Area _____ 0 sq ft. (work within existing habitable square footage)

Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1505				1505 0	0
b) 2 nd Floor conditioned area	1351				1351 0	0
c) 3 rd Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)	576			473	576 0	473 0
f) Covered patio, deck, porch, and/or balcony area(s)	130				130 0	0
g) Other covered or roofed area	360			96	360 0	96 0
h) Uncovered wood decks					0	0
Total Building Area (total a through h)	39220	0	0	569 0	3922 0	569 0
i) Pool					0	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition / New Construction					0	0

Building Coverage Information
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)
 Total Building Coverage (sq ft): 3010 % of lot size: 21

Impervious Cover Information
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)
 Total Impervious Cover (sq ft): 5222 % of lot size: 37

Setbacks
 Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y ☒ N
 Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y ☒ N
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y ☒ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)
 Building Height: 8 ft 6 in Number of Floors: 1

Parking (LDC 25-6 Appendix A & 25-6-478)
 # of spaces required: 2 # of spaces provided: 2

Right-of-Way Information
 Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y ☒ N
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.
 Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N
 Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft
 Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☒ N
(If yes, drainage review is required)

Contact Information			
Owner	Bryan Chester	Applicant/Agent	BENNETT CONSULTING
Mailing Address	2524 Harris Blvd 78703	Mailing Address	12618 East Nest BUDA, TX 78616
Phone		Phone	627-7227
Email		Email	jb.r.bconsulting@yahoo.com
General Contractor		Design Professional	
Mailing Address		Mailing Address	Featherston Studio PO Box 170024 Austin 78717
Phone		Phone	512-746 4234
Email		Email	

Authorization
<p><input checked="" type="checkbox"/> I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.</p> <p><input type="checkbox"/> I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.</p> <p><input checked="" type="checkbox"/> I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.</p> <p><input checked="" type="checkbox"/> I agree that this application is good for twelve (12) months after the date it is filed, and will expire if not approved for compliance within that time frame. If the application expires, a new submittal will be required and compliance with current code may be required.</p> <p><input type="checkbox"/> I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.</p> <p><input checked="" type="checkbox"/> I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.</p> <p><input checked="" type="checkbox"/> As owner or authorized agent, my signature authorizes staff to visit and inspect the property for which this application is being submitted. I understand that without consent the review process may be delayed.</p> <p><input checked="" type="checkbox"/> I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov. This initiates the septic system permitting requirement needed to proceed with the development review process.</p> <p><input type="checkbox"/> Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.</p> <p><input checked="" type="checkbox"/> I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</p> <p><input type="checkbox"/> I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.</p> <p><input type="checkbox"/> I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.</p>
<p>Owner's signature: <u><i>Letter</i></u> Date: _____</p> <p>Applicant's signature: <u><i>Rodger KB</i></u> Date: <u>7-11-18</u></p> <p>Design Professional's signature: _____ Date: _____</p> <p>General Contractor's signature: _____ Date: _____</p>

Date: 7.10.18

To whom it may concern:

I hereby grant Jim Bennett Consulting permission to file for a building permit and or site plan exemption/correction for my property located at 2524 MARIS BL, 78703.

Thank you,


(Sign)

Bryan Chester
(Print)



AUSTIN ENERGY

One Texas Center | 505 Barton Springs Road

Phone: (512) 974-2632, (512) 974-9112

Email: aebspaespa@austinenergy.com

Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

For use in DAC only

Responsible Person for Service Request: Rodney Bennett

Email: JB, RB CONSULTING @ YAHOO .COM

Fax: _____

Phone: 512-627-7227

☒ Residential ☐ Commercial ☐ New Construction ☐ Remodeling

Project Address: 2524 Harris BLVD

Legal Description: LOT 5050e Perm Barton Heights Lot: 6 Block: 8 -OR-

Who is your electrical provider? ☒ AE ☐ Other: _____

☒ Overhead Service ☐ Underground Service ☐ Single-Phase (1Ø) ☐ Three-Phase (3Ø)

Location of meter: _____

Number of existing meters on gutter: _____ (show all existing meters on riser diagram)

Expired permit #: _____

Comments: cover parking

AE APPROVED

194-507

JUL 12 2018

MCP

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

BSPA Completed by (print name) Payler

Phone _____

BSPA Completed by (signature) Payler

Date 7/13/18

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

AE Representative _____

Approved ☐ Yes ☐ No

Date _____

Phone _____

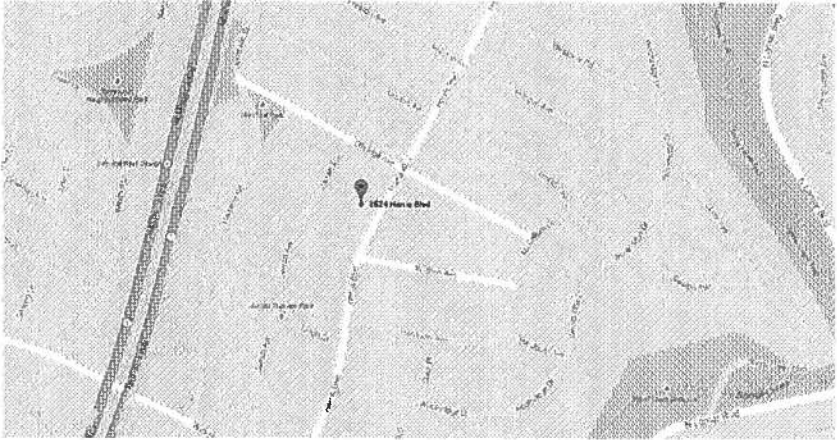
ABBREVIATIONS

@	at	FT	foot or feet	RCP	reflected ceiling plan
ACCESS	accessible	FUR	furring	RD	roof drain
ACM	asbestos containing material	GA	gauge	REC	recommend
ACOUS	acoustical	GALV	galvanized	REF	reference
ACT	acoustical ceiling tile	GC	general contractor	REINF	reinforced
ADDL	additional	GL	Glass	REQ'D	required
ADJ	adjustable	GRD	ground	RESIL	resilient
AFF	above finished floor	GWB	gypsum board	RM	room
ALT	alternate	GYP	gypsum	RO	rough opening
ALUM	aluminum	HC	handicapped	SAMF	self adhered membrane
APPROX	approximate	HDR	header		flashing
B.O.	bottom of	HM	hollow metal	SC	solid core
BD	board	HORIZ	horizontal	SCHED	schedule
BET	between	HR	hour	SD	soap dispenser
BLDG	building	HT	height	SF	square foot
BLKG	blocking	I.B.C.	Installed by contractor	SFC	side-folding curtain
BM	beam	I.B.O.	Installed by owner	SHLVS	shelving
BMJ	building movement joint	IBO	Installed by owner	SIM	similar
BN	bullnose	ID	inside diameter	SPEC	specification
C.G.	corner guard	INSUL	insulation	SS	stainless steel
CJ	control joint	INT	interior	STD	standard
CLG	ceiling	JAN	janitor	STL	steel
CLR	clear	JT	joint	STOR	storage
COL	column	LAM	lamine	STR	structural or stair
CONC	concrete	MACH	machine	STRUCT	structural
CONT	continous	MAX	maximum	SUSP	suspended
CRS	courses	ME	match existing	SYM	symmetrical
DIA	diameter	MECH	mechanical	T	tread
DIM	dimension	MEMB	membrane	T&G	tongue & groove
DN	down	MFR	manufacturer	T.O.C.	top of concrete
DR	door	MIN	minimum	T.O.S.	top of steel
DS	down spout	MISC	miscellaneous	TEMP	temporary
DWG	drawing	MO	masonry opening	TEMP'D	tempered
EA	each	MTD	mounted	TME	to match existing
EL	elevation	MTL	metal	TO	top of
ELEC	electric(a)	NIC	not in contract	TYP	typical
EQ	equal	NTS	not to scale	UNO	unless noted otherwise
EQUIP	equipment	OC	on center	V.B.	vapor barrier
ETR	existing to remain	OD	outside diameter	VCT	vinyl composition tile
EXP. JT.	expansion joint	OH	opposite hand	VERT	vertical
EXST	existing	OHD	overhead colling door	VIF	verify in field
EXT	exterior	OPCI	owner provided contractor installed	W/	with
F.O.	face of			W/O	without
F.R.T.	fire retardent treatment	OPOI	owner provided owner installed	WC	watercloset
FBO	furnished by owner	OPP	opposite	WD	wood
FD	floor drain	P.T.	pressure treated	WIN	window
FDN	furnished by owner	PL	property line	WP	waterproof
FEC	fire extinguisher cabinet	PLAM	plastic laminate	WT	weight
FFE	finish floor elevation	PLYWD	plywood	WW	waste water
FIN	finish	PT	point or paint	XC	continuous hinge
FIN. FLR.	finish floor	PTD	painted	XSH	spring hinge
FLR	floor	R	riser or radius		



DRIVEWAY VIEW

SITE VICINITY MAP



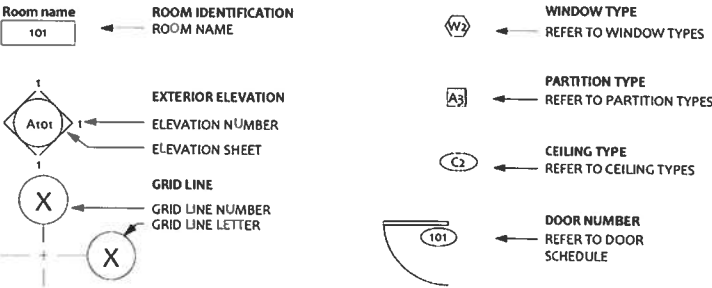
NOTE: STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE. (EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0"



VISITABILITY

THIS PROJECT QUALIFIES AS A REMODEL AND ADDITION AND THEREFORE STATED IN SECTION R320.1 "APPLICABILITY" DOES NOT HAVE TO APPLY TO THE REQUIREMENTS FOR SECTION R320 VISITABILITY.

SYMBOLS LEGEND



IMPERVIOUS COVER

LOT SIZE:	14,039 SQFT
EXISTING RESIDENCE 1ST	1,505.0 SQFT
EXISTING RESIDENCE 2ND	1,351.0 SQFT
PORCH	350.0 SQFT
STORAGE	360.0 SQFT
EXISTING DETACHED GARAGE W/	576.0 SQFT
COVERED PORCH	130.0 SQFT
COVERED SIDEWALK:	96.0 SQFT
COVERED PARKING:	473.0 SQFT
SUBTOTAL:	2,490.0 SQFT
BUILDING COVERAGE:	2,490.0 SQFT
DRIVEWAY:	1,058 SQFT
SIDEWALK:	159 SQFT
DECK:	395 SQFT
EXISTING SPORT COURT:	600 SQFT
SUBTOTAL:	2,212 SQFT
TOTAL IMPERVIOUS COVER:	40.6%

DRAWING INDEX

A0.00	GENERAL INFORMATION
A1.00	SITE PLAN
A1.01	SECTIONS & ELEVATIONS
A1.02	SECTIONS & ELEVATIONS
S1	FOUNDATION PLAN
S2	ROOF FRAMING PLAN



JULY 1, 2018

FEATHERSTON | STUDIO Ilc
architecture interior design

p.o. box 170024
austin, texas 78717

ph: 512 740 4234

BRYAN CHESTER
COVERED
PARKING

2524 HARRIS
BOULEVARD
AUSTIN, TEXAS 78703

NO.	DESCRIPTION	DATE
-----	-------------	------

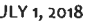
PERMIT
DRAWINGS

PROJECT NUMBER 20150422

GENERAL
INFORMATION

SHEET NUMBER

A0.00



p.o. box 170024
austin, texas 78717

ph: 512 740 4234

2524 HARRIS
BOULEVARD
AUSTIN, TEXAS 78703

PERMIT DRAWINGS

PROJECT	20150422
NUMBER	

SHEET NUMBER

A1.00

Search results: 7 articles for 19-14

1 ENLARGED SITE PLAN
1/4" = 1'-0"

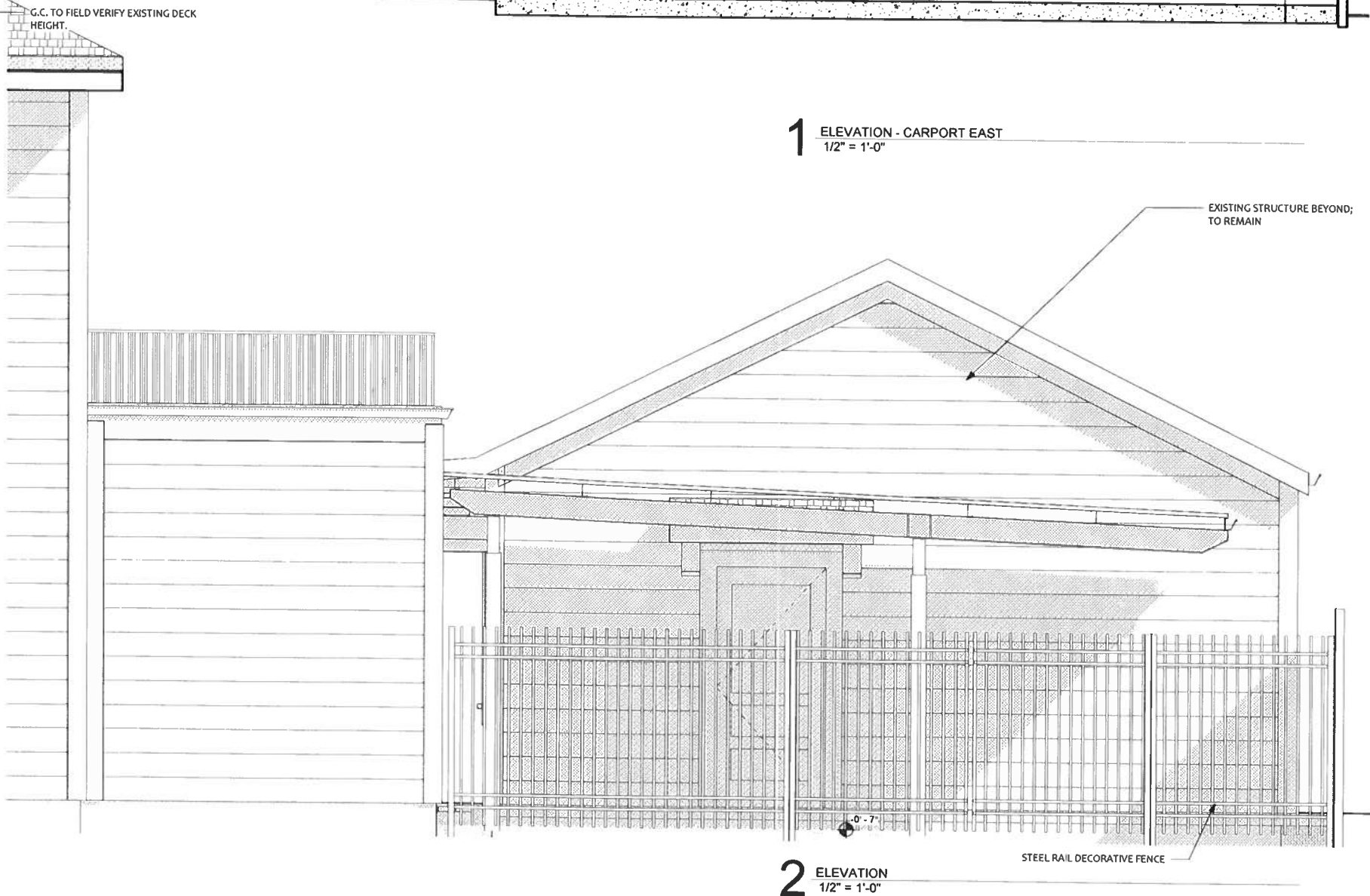
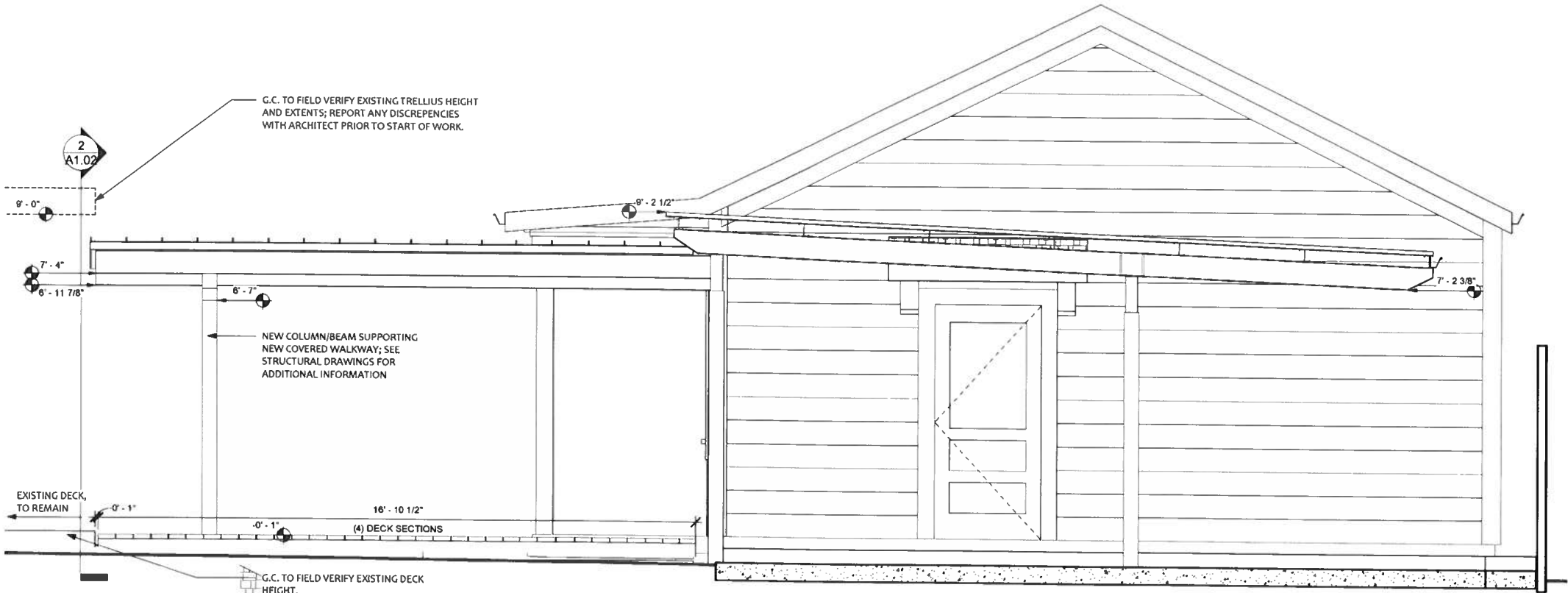
GENERAL NOTES

1. THE DRAWINGS GENERALLY DESCRIBE THOSE PORTIONS OF THE EXISTING CONDITIONS WHICH ARE TO BE REMOVED; THESE DRAWINGS DO NOT NECESSARILY DESCRIBE ALL DEMOLITION THAT WILL BE REQUIRED IN ORDER TO CONSTRUCT THE NEW WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL PORTIONS OF THE EXISTING CONDITIONS NECESSARY TO CONSTRUCT AND COORDINATE WITH THE NEW WORK SHOWN ON THE DRAWINGS, IF UNCERTAIN WHETHER AN EXISTING ELEMENT IS TO BE REMOVED, CONTACT ARCHITECT OR OWNER BEFORE PROCEEDING.
2. UNLESS NOTED OTHERWISE, NUMERICAL DESIGNATIONS IN THE DRAWINGS ARE NOT INTENDED TO IMPLY SEQUENCE OF CONSTRUCTION OR DEMOLITION.
3. BASED ON THE CONTRACTOR'S "MEANS AND METHODS" FOR CONSTRUCTION, CONTRACTOR SHALL DETERMINE INTERMEDIATE STAGING AND SEQUENCING OF THE DEMOLITION, TEMPORARY WORK AND NEW WORK TO ENSURE CONTINUOUS AND SAFE OCCUPATION OF EXISTING RESIDENCE.
4. THE CONTRACTOR SHALL MAKE PROVISIONS FOR ALL DEMOLITION AND CONSTRUCTION PROCESSES TO TAKE PLACE IN A MANNER SO AS NOT TO AFFECT THE NORMAL OPERATION OF THE RESIDENCE.
5. MAINTAIN AND PROTECT THE GENERAL PUBLICS CIRCULATION PATHS AND EXITING FROM THE PROPERTY DURING DEMOLITION AND CONSTRUCTION.
6. NOTIFY OWNER PRIOR TO COMMENCEMENT OF ALL ELECTRICAL AND PLUMBING WORK. OBTAIN OWNER'S AUTHORIZATION 72 HOURS IN ADVANCE FOR ANY DISRUPTION OF SERVICES. IN NO CASE SHALL DISRUPTION OF SERVICES OCCUR IN OWNER OCCUPIED AREAS.
7. CONTRACTOR TO INFORM ARCHITECT IF THERE ARE ANY UNFORESEEN STRUCTURAL MEMBERS, MISCELLANEOUS OBJECTS OR UNIDENTIFIED UTILITY LINES FOUND DURING DEMOLITION WORK.
8. ALL DEMOLITION WORK AFFECTING ADJACENT SPACES/BUILDINGS, OR OTHER OCCUPIED PORTIONS OF THE BUILDING MUST BE COORDINATED WITH THE OWNER. NO WORK MAY BE DONE WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
9. CONTRACTOR SHALL MEET WITH OWNER FOR PRE-DEMOLITION CONSTRUCTION MEETING TO COORDINATE EXTENT OF DEMOLITION CONSTRUCTION DETAILS, AND TIMING WITH BUILDING OPERATIONS, PRIOR TO START OF WORK.
10. ALL SALVAGE MATERIALS SELECTED BY THE OWNER SHALL BE PROTECTED AND STORED IN OWNER SELECTED LOCATION.
11. ALL ITEMS WHICH ARE DESIGNATED FOR RE-USE/RE-INSTALLATION WILL BE CAREFULLY REMOVED AND LABELED, CLEANED, PACKAGED/WAPPED FOR PROTECTION, AND STORED IN OWNER'S DESIGNATED STORAGE AREA UNTIL NEEDED FOR RE-INSTALLATION.
12. "PROPER DISPOSAL" INCLUDES RECYCLING/RECLAMATION AS DIRECTED BY OWNERSHIP AND/OR AS AVAILABLE LOCALLY AND/OR VIA ASSOCIATED VENDORS AND MANUFACTURERS PROGRAMS.

MEP DESIGN REQUIREMENTS

1. CONTRACTOR IS RESPONSIBLE FOR ALL THE DESIGN REQUIRED TO OBTAIN APPROVALS AND PERMITS AND IS REQUIRED FOR COMPLETE INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
2. THE DESIGN AND INSTALLATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL COMPLY WITH ALL REQUIREMENTS AND STANDARDS OF ALL APPLICABLE CODES, GOVENMENTAL REGULATIONS, ORDINANCES AND STATE AND LOCAL REQUIREMENTS.
3. THERE ARE NO ENGINEERED HVAC DRAWINGS PROVIDED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE HEATING, COOLING, AND HUMIDITY CONTROL AS APPLICABLE IN ALL SPACES, INCLUDING EXISTING SPACES OUTSIDE THE SCOPE OF THIS PROJECT THAT ARE RE CONFIGURED BY THE NEW CONSTRUCTION. COORDINATE ANY CONFLICTS THAT MAY ARISE IN THE FIELD WITH ARCHITECT OR OWNER. PROVIDE HVAC AND BALANCE REPORT AT THE PROJECT COMPLETEION FOR ALL AREAS AFFECTED BY CONSTRUCTION.
4. THERE ARE NO ENGINEERED PLUMBING/SPRINKLER DRAWINGS PROVIDED FOR THIS PROJECT. CONTRACTOR TO FIELD VERIFY EXISTING SYSTEMS INCLUDING PIPING, VALVES, PICTURE LOCATIONS AND SIZES. SPRINKLER CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDEING ADEQUATE SPRINKLER LAYOUT IN ALL SPACES RECONFIGURED BY NEW CONSTRUCTION (AS REQUIRED). ALL WORKS IN TO MATCH EXISTING. COORDINATE WITH ARCHITECT AND OWNER ANY CONFLICTS THAT MAY ARISE IN THE FIELD.
5. THERE ARE NO ENGINEERED ELECTRICAL DRAWINGS PROVIDED FOR THIS PROJECT. ARCHITECTURAL DRAWINGS HAVE BEEN PROVIDED TO SHOW INTENDED USE OF THE SPACE. CONTRACTOR SHALL BE RESPONSIBLE FOR RE- WIRING EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS AND MISCELLANEOUS DEVICES AS REQUIRED, INCLUDING EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS AND MISCELLANEOUS DEVICES OUTSIDE THE SCOPE OF THIS PROJECT THAT ARE RE-CONFIGURED BY THE NEW CONSTRUCTION. ALL CIRCUITS ARE TO BE LABELED AT THE PANEL IN A CLEAR/LEGIBLE MANOR. COORDINATE WITH ARCHITECT ANY ADDITIONAL REQUIRED WORK NOT SHOWN HERE, OR ANY CONFLICTS THAT MAY ARISE IN THE FIELD.
6. ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER OTHER TRADES' DRAWINGS WHEN CONFLICTS ARISE. BRING CONFLICTS OR INCONSISTENCIES BETWEEN ARCHITECTURAL DRAWINGS OF OTHER DISCIPLINES TO THE ATTENTION OF THE ARCHITECT.

NOTE; STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WIL BE AT HALF SCALE. (EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0"



JULY 1, 2018

FEATHERSTON | STUDIO llc
architecture interior design

p.o. box 170024
austin, texas 78717

ph: 512 740 4234

BRYAN CHESTER
COVERED
PARKING

2524 HARRIS
BOULEVARD
AUSTIN, TEXAS 78703

NO.	DESCRIPTION	DATE
-----	-------------	------

PERMIT
DRAWINGS

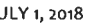
PROJECT NUMBER 20150422

SECTIONS &
ELEVATIONS

SHEET NUMBER

A1.01

© 2018 Featherston | Studio LLC



p.o. box 170024
ustin, texas 78717

ph: 512 740 4234



1 SECTION - THRU COVERED WALK
1/2" = 1'-0"

2524 HARRIS
BOULEVARD
AUSTIN, TEXAS 78703

NO.	DESCRIPTION	DATE
-----	-------------	------

PERMIT DRAWINGS

PROJECT	20150422
NUMBER	

SECTIONS & ELEVATIONS

SHEET NUMBER

A1.02

fe.athensnews | www.athensnews.gr

7/6/2018 10:58:47 AM • C:\Users\jenn\Featherston Studio\Project Information\Harris Blvd Garage - Bryan Chester\Revit\20180131 Harris Ave - Carport.rvt

NOTE; STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE. (EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0")

GENERAL FOUNDATION NOTES:

- 1) THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND CIVIL DRAWINGS.
- 2) CODES AND STANDARDS : THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.
- (a) INTERNATIONAL BUILDING CODE 2012 : INTERNATIONAL CODE COUNCIL
- (b) INTERNATIONAL RESIDENTIAL CODE 2012 : INTERNATIONAL CODE COUNCIL
- (c) MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7). AMERICAN SOCIETY OF CIVIL ENGINEERS.
- (d) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14) : AMERICAN CONCRETE INSTITUTE.
- (e) RESIDENTIAL CODE REQUIREMENTS FOR CONCRETE (ACI 332-14) AND COMMENTARY : AMERICAN CONCRETE INSTITUTE.
- (f) STEEL CONSTRUCTION MANUAL (14th. EDITION) : AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- 3) DESIGN DATA

(a) GRAVITY - SUPERIMPOSED DEAD LOADS

ROOF TILES	25 PSF
ROOF COMPOSITION	15 PSF
ROOF METAL	15 PSF
FLOOR LOAD	25 PSF
CONCRETE TILES	24 PSF (2" CONCRETE)

(b) GRAVITY - LIVE LOADS

FLOOR	40 PSF
BALCONY	100 PSF (MORE THAN 100 SQ.FT.)
ROOF	20 PSF
ATTICS	10 PSF (WITHOUT STORAGE)
ATTICS	20 PSF (WITH STORAGE)

4) MATERIALS

- (a) CONCRETE STRENGTH 3,000 PSI. CONCRETE SHALL CONFORM TO ACI 301 & ASTM C39/C39M. ALSO ASTM C150/C150M, C595/C595M, OR C1157/C1157M.
- (b) DEFORMED STEEL REINFORCEMENT BARS SHALL CONFORM TO ASTM A615/A615M, A706/A706M, OR A996/A996M. THE YIELD STRENGTH OF REINFORCEMENT SHALL BE 60,000 PSI.
- (c) FORMWORK SHALL CONFORM ACI-347 AND ACI SP-4 FOR GUIDANCE ON DESIGN AND CONSTRUCTION OF FORMWORK.
- 5) CONCRETE COVER SHALL HAVE A TOLERANCE OF (+/-)3/8".
- (a) CONCRETE CAST AGAINST EARTH 3"
- (b) NOT EXPOSED TO EARTH OR WEATHER 3/4"
- (c) BARS NOT LARGER THAN NO.5 & EXPOSED TO EARTH OR WEATHER 1 1/2"
- (d) NOT SMALLER THAN NO.6 & EXPOSED TO EARTH OR WEATHER 2"

6) DEFORMED REINFORCEMENT BARS DEVELOPMENT LENGTH SHALL BE:

BAR DIA	LENGTH
#3	24"
#4	30"
#5	38"
#6	45"
#7	53"
#8	60"

7) ALL EXTERIOR WALLS AND LOAD BEARING WALLS SHALL HAVE 1/2" DIA X8" LONG ANCHOR BOLTS AT 36" O.C. OR EQUAL.

8) PROVIDE #5 CORNER BARS AT EACH HORIZONTAL REINFORCEMENT ON WALL AND GRADE BEAMS.

9) BUILDING SUBGRADE PREPARATION AND EARTHWORK OPERATIONS:

(a) SELECTION OF FILL MATERIAL SHALL BE GUIDED BY THE FOLLOWING CRITERIA:

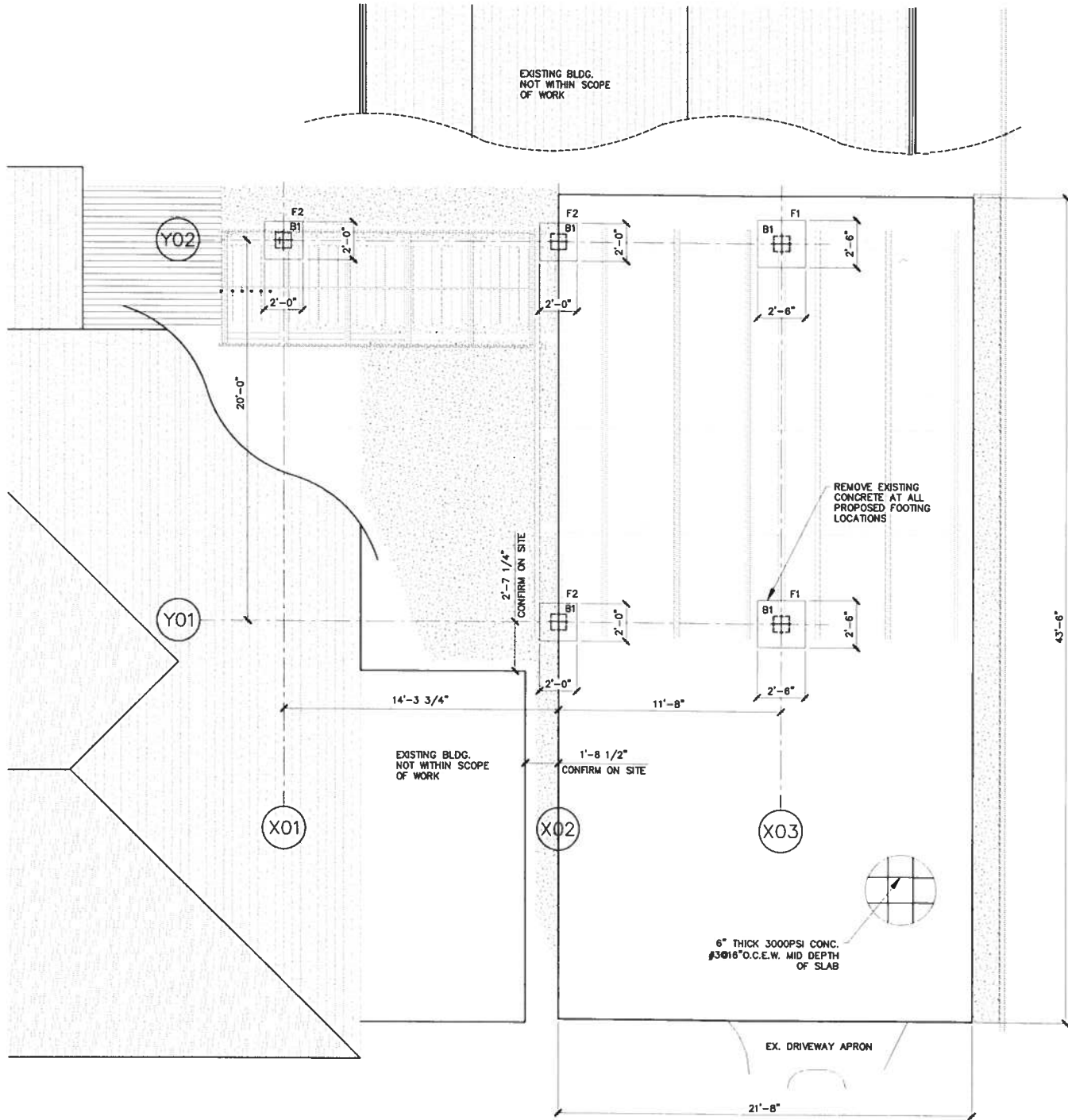
MAXIMUM PLASTICITY INDEX: 15
MINIMUM PLASTICITY INDEX: 3
MINIMUM AND MAXIMUM PASSING #200 SIEVE : 10% TO 70%
NO STONES LARGER THAN 2"

(b) ANY EXISTING VEGETATION, TOPSOIL, TREES, AND DEBRIS SHALL BE STRIPPED AND REMOVED FROM THE PROPOSED BUILDING FOOTPRINT(S). EXISTING TREE ROOTS AND STUMPS SHALL BE GRUBBED AND REMOVED FROM THE SITE.

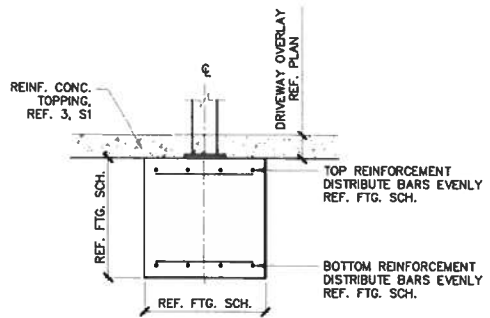
(c) THE SELECT FILL MATERIAL SHALL BE PLACED UP TO THE REQUIRED FINAL BUILDING PAD ELEVATIONS. ALL FILL SHALL BE PLACED IN EIGHT (8) INCH MAXIMUM THICK LOOSE LIFTS. SELECT FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698. COMPACTION TESTS SHALL BE PERFORMED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

(d) IMPORTED SELECT FILL SHALL BE AN APPROVED INORGANIC MATERIAL, FREE OF DEBRIS.

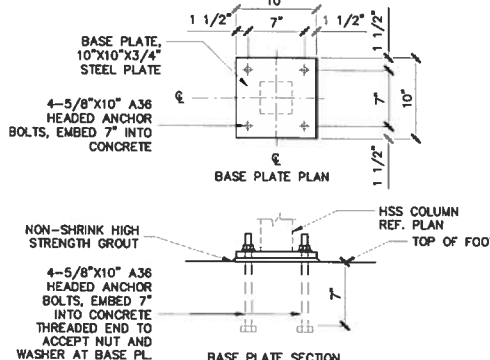
10) SITE SLOPE SHALL CAUSE WATER TO FLOW AWAY FROM THE STRUCTURE FOUNDATION FOR A MINIMUM DISTANCE OF TEN (10) FEET. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE DRAINAGE SYSTEM, AND DIVERT RUN-OFF AWAY FROM THE FOUNDATION STRUCTURE.



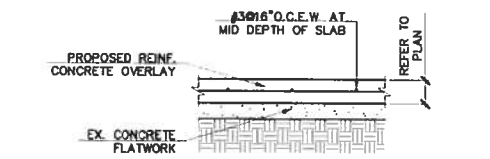
A
S1
FOUNDATION PLAN
SCALE: 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")



1
S1
TYPICAL FOOTING SECTION
SCALE: 1/2"=1'-0" (HALF SIZE 1/4"=1'-0")



2
S1
COLUMN BASE PLATE PLAN/SECTION
SCALE: 1"=1'-0" (HALF SIZE 1/2"=1'-0")



3
S1
TYPICAL CONCRETE OVERLAY SECTION
SCALE: 1/2"=1'-0" (HALF SIZE 1/4"=1'-0")

- NOTES:
- 1) F1 - REINFORCED CONCRETE FOOTING, REFER TABLE 1.0, COLUMN FOOTING SCHEDULE, S1
- 2) B1 - STL. COLUMN BASE PLATE, REFER 2, S1

TABLE 1.0 COLUMN FOOTING SCHEDULE				
FOOTING ID	PLAN DIMENSIONS	DEPTH INTO UNDISTURBED SOIL	BOTTOM REINFORCEMENT	TOP REINFORCEMENT
F1	2'-6"X2'-8"	2'-6"	4-#4 EACH WAY	4-#4 EACH WAY
F2	2'-0"X2'-0"	2'-6"	3-#4 EACH WAY	3-#4 EACH WAY

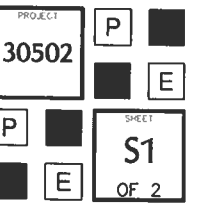
NOTES: 1) REF. 1, S2 FOR TYPICAL SECTION



Project	30502
Sheet	S1
Of	2

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 380, AUSTIN, TX 78759 | TEL: 512.238.6422 | FAX: 512.238.6095

Project: BRYAN CHESTER CARPORT ADDITION
2524 HARRIS BLVD.
AUSTIN, TEXAS 78703
Title: FOUNDATION PLAN



STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A992 OR A572, GRADE 50 EXCEPT WHERE A36 IS NOTED ON PLAN, EXCEPT THAT MISCELLANEOUS PLATES, ANGLES, AND CHANNELS MAY BE A572, GRADE 50 OR A36. STEEL PIPE SHALL CONFORM TO ASTM SPECIFICATION A53, TYPE E OR S, GRADE B. RECTANGULAR HOLLOW STRUCTURAL STEEL SECTIONS SHALL CONFORM TO ASTM SPECIFICATION A 500, GRADE B, F_y=46 KSI. ROUND HOLLOW STRUCTURAL STEEL SECTIONS SHALL CONFORM TO ASTM SPECIFICATION A 500, GRADE B, F_y=42 KSI.
- COLUMN BASE PLATES SHALL BE GROUTED WITH A NON-SHRINK, HIGH STRENGTH NONMETALLIC GROUT.
- SPlicing OF STRUCTURAL STEEL MEMBERS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER AS TO LOCATION AND TYPE OF SPlice TO BE MADE. ANY MEMBER HAVING SPlice NOT SHOWN AND DETAILED ON SHOP DRAWINGS WILL BE REJECTED.
- ALL WELDS DENOTED AS MOMENT CONNECTION OR FULL PENETRATION WELD SHALL BE ULTRASONICALLY OR X-RAY CERTIFIED BY AN INDEPENDENT TESTING AGENCY.
- CONTRACTOR SHALL COORDINATE STRUCTURAL STEEL FIREPROOFING REQUIREMENTS. ALL INTERIOR STRUCTURAL STEEL, INCLUDING STEEL JOISTS, SCHEDULED OR INDICATED TO RECEIVE SPRAY APPLIED FIREPROOFING SHALL BE DELIVERED TO THE PROJECT SITE UNPRIMED. STEEL EXPOSED TO CORROSIVE CONDITIONS AFTER INSTALLATION SHALL BE PRIMED WITH A PROTECTIVE COATING WHICH DOES NOT DIMINISH THE BOND BETWEEN THE SPRAY APPLIED FIREPROOFING, AND THE STEEL SUBSTRATE. ANY PRIMER, AND/OR COATING APPLIED TO STRUCTURAL STEEL SHALL BE APPROVED FOR USE IN THE APPLICABLE U.L. FIRE RESISTANCE ASSEMBLY USED ON THE PROJECT. CONTRACTOR SHALL PROTECT ANY UNPRIMED STRUCTURAL STEEL FROM DETRIMENTAL EFFECTS OF CORROSION, AS REQUIRED, UNTIL THE STEEL IS ENCLOSED AND PROTECTED BY THE NEW CONSTRUCTION.
- SHOP PAINTING: PAINT STRUCTURAL STEEL WITH ONE COAT OF MANUFACTURER'S STANDARD RED OXIDE PRIMER APPLIED AT A RATE TO PROVIDE A UNIFORM DRY FILM THICKNESS OF 2.5 MILS.
- SUBMITTAL: PROVIDE DRAWINGS SHOWING DETAILS FOR FABRICATION AND SHOP ASSEMBLY OF MEMBERS, ERECTION PLANS AND DETAILS. INCLUDE DETAILS OF CONNECTIONS, CAMBER, WELD PROFILES AND SIZES AND SPACING. SHOP AND ERECTION DRAWINGS SHALL NOT BE MADE USING REPRODUCTIONS OF THE CONTRACT DRAWINGS.

STRUCTURAL STEEL CONNECTIONS

- WELDING SHALL CONFORM TO AWS/AISC D1.1, LATEST EDITION.
- BOLTS CONFORM TO ASTM A325. BOLTS SHALL BE DESIGNED USING VALUES FOR BEARING TYPE BOLTS WITH THREAD ALLOWED IN THE SHEAR PLANE.
- STRUCTURAL STEEL CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF A REGISTERED ENGINEER LICENSED IN THE STATE OF TEXAS. SEALED CALCULATIONS FOR ALL CONNECTIONS DESIGNED BY THE CONTRACTOR SHALL BE SUBMITTED FOR THE ARCHITECT'S FILES.
- FOR CONNECTIONS NOT SPECIFICALLY ADDRESSED BY THESE NOTES OR THE DRAWINGS, PROVIDE FILLET WELDS AT ALL CONTACT SURFACES SUFFICIENT TO DEVELOP THE TENSILE STRENGTH OF THE SMALLER MEMBER AT THE JOINT.
- MOMENT CONNECTIONS INDICATED ON DRAWINGS AS "MC" SHALL BE WELDED TO DEVELOP THE FULL CAPACITY OF THE MEMBER ON BOTH SIDES OF SUPPORTING MEMBER.
- ROOF EDGES ANGLES SHALL BE CONTINUOUS AND SHALL BE SPliced ONLY AT SUPPORTS. SPICES SHALL BE BUTT-WELDED TO DEVELOP FULL CAPACITY OF THE MEMBER.
- FILLET WELDS WITH NO SIZE SPECIFIED SHALL BE 3/16", OR MINIMUM SIZE REQUIRED BY AISC, WHICHEVER IS LARGER.

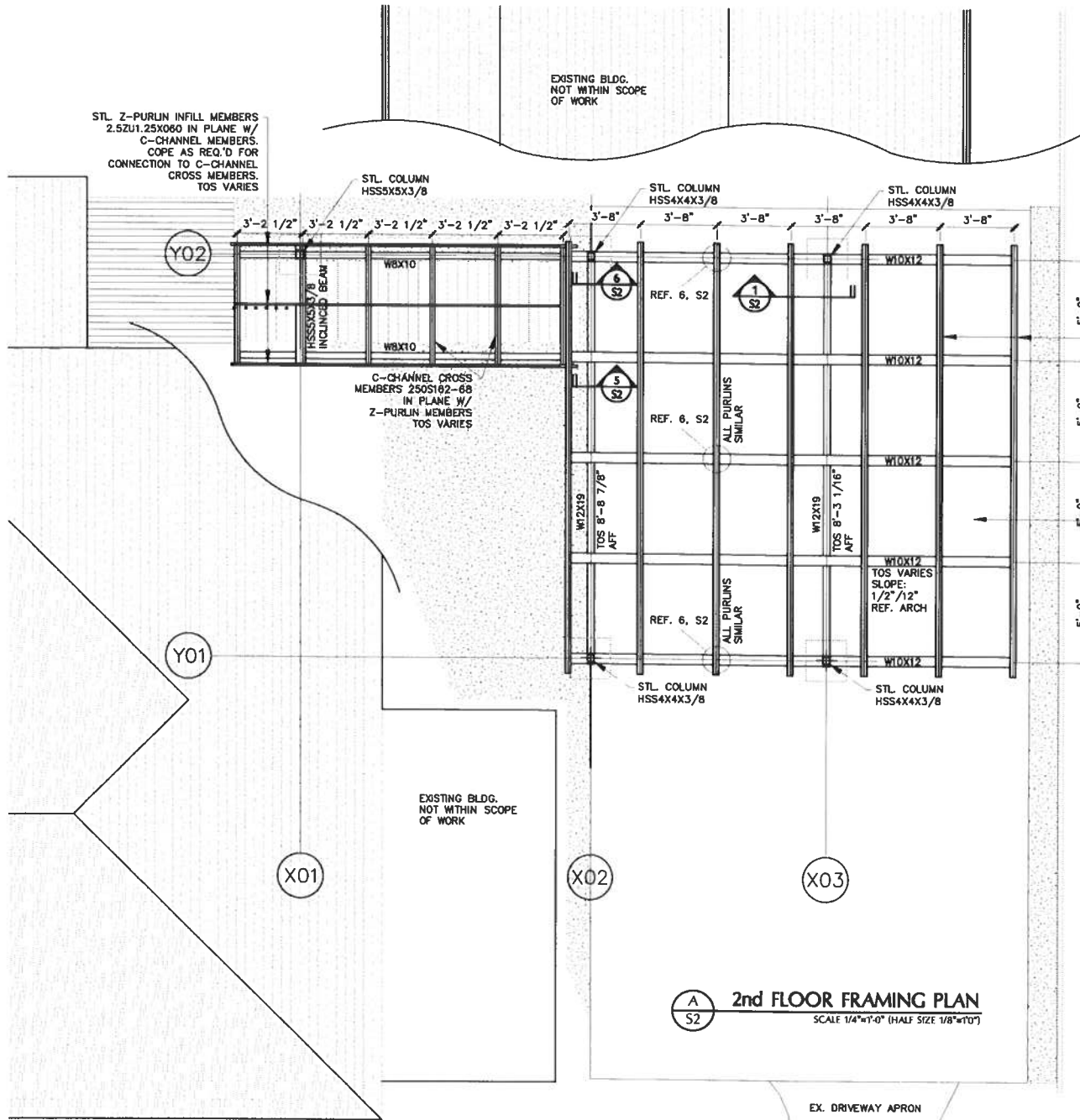
COLD FORMED STEEL

- WELDS SHALL MEET THE SPECIFICATIONS PRESCRIBED IN THE "AMERICAN WELDING SOCIETY (AWS) D1.3 STRUCTURAL WELDING CODE - SHEET STEEL"
- WELDING SHALL BE CONDUCTED BY A QUALIFIED WELDER, MEETING THE WELDING CERTIFICATION REQUIREMENTS OF AWS D1.1 AND AWS D1.3.
- WELDS SHALL BE COATED WITH A ZINC-RICH PAINT OR OTHER PROTECTIVE COATING TO RESIST CORROSION.

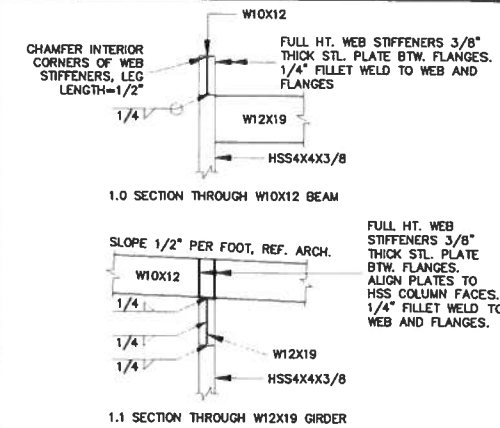
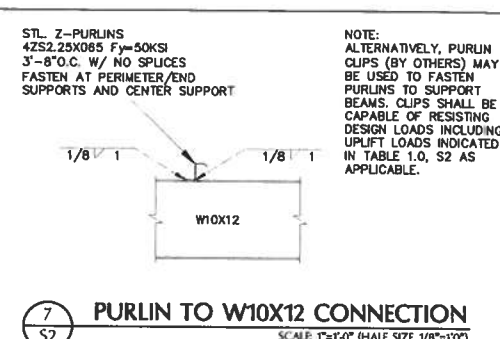
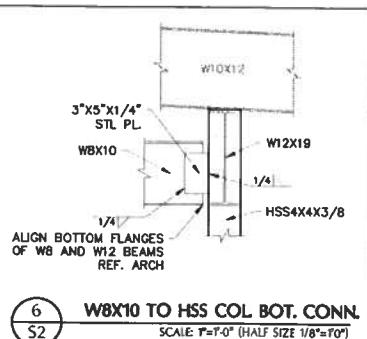
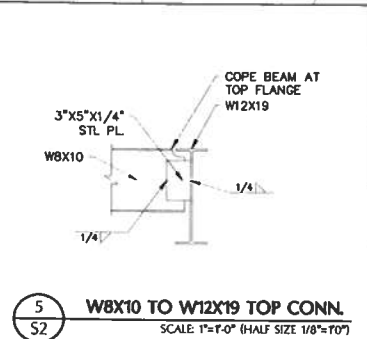
ROOF LOADS
DEAD LOAD=10 PSF
LIVE LOAD=20 PSF
TOTAL LOAD=30 PSF TOTAL ULTIMATE LOAD=50 PSF

TABLE 1.0 ASCE 7-10 COMPONENTS AND CLADDING WIND LOADS (PSF)			
EFFECTIVE WIND AREA	ZONE 1	ZONE 2	ZONE 3
A<9FT ²	22.73 -23.27	34.09 -35.18	45.45 -69.81
9FT ² <A<36FT ²	22.73 -23.27	34.09 -35.18	34.09 -35.18
A>36FT ²	22.73 -23.27	22.73 -23.27	22.73 -23.27

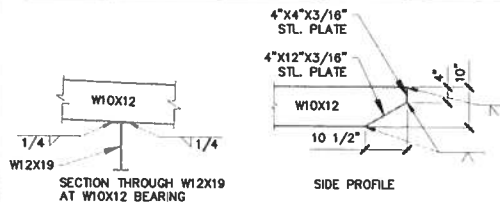
NOTES:
1) G=3FT
2) ROOF CLADDING ZONES AS DEFINED BY ASCE 7-10 CH. 30 FOR MONOSLOPE FREE ROOFS



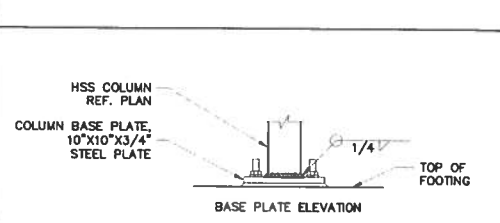
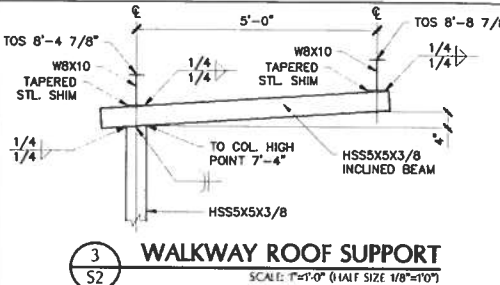
2nd FLOOR FRAMING PLAN
SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")



1 CONNECTION CARPORT AT COLUMN
SCALE 1/2"=1'-0" (HALF SIZE 1/4"=1'-0")



2 W10X12 BEARING AND CHAMFERED END DETAIL
SCALE 1"=1'-0" (HALF SIZE 1/8"=1'-0")



4 COLUMN TO BASE PLATE CONNECTION
SCALE 1"=1'-0" (HALF SIZE 1/2"=1'-0")

PROJECT
30502

SHEET
S2
OF 2

PROFESSIONAL CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 | TEL. 512.228.6422 | FAX 512.228.6095

BRYAN CHESTER CARPORT ADDITION
2524 HARRIS BLVD.
AUSTIN, TEXAS 78703

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MRZA TAHER BANG, P.E., #02577 ON 06/29/18 FROM REGISTRATION F-4951

PROJECT
30502

SHEET
S2
OF 2