

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: Sept 10, 2018

CASE NUMBER: C16-2018-0003

_____ Brooke Bailey OUT
 _____ William Burkhardt
 _____ Christopher Covo
 _____ Eric Goff
 _____ Melissa Hawthorne
 _____ Bryan King
 _____ Don Leighton-Burwell
 _____ Rahm McDaniel
 _____ Martha Gonzalez (Alternate)
 _____ Veronica Rivera
 _____ James Valdez
 _____ Michael Von Ohlen
 _____ Kelly Blume (Alternate) (for BB)
 _____ Pim Mayo (Alternate)

APPLICANT: Phil Moncada

OWNER: Greg Cervenka

ADDRESS: 1044 NORWOOD PARK BLVD Unit C-6

VARIANCE REQUESTED: The applicant has requested a variance(s) to Section 25-10-123(B)(3)(Expressway Corridor Sign District Regulations) to increase the maximum allowable sign height from 35 feet (required/permitted) to 50 feet (requested, existing) in order to erect a sign at this site in the Expressway Corridor Sign District within a "CH-NP", Commercial Highway Services – Neighborhood Plan zoning district. (Heritage Hills)

BOARD'S DECISION: BOA meeting June 11, 2018 The public hearing was closed on Board Member Brooke Bailey motion to Postpone to July 9, 2018, Board Member Eric Goff second on a 10-0 vote; POSTPONED TO July 9, 2018 (RE-NOTICE); July 9, 2018 POSTPONED TO AUGUST 13, 2018 BY APPLICANT

RENOTICE AUG 13, 2018 The applicant has requested a variance(s) to:


- A. 25-10-123(B)(3)(Expressway Corridor Sign District Regulations) to increase the maximum allowable sign height from 35 feet (required/permitted) to 50 feet (requested, existing); and to
- B. 25-10-103 (Signs Prohibited in all Sign Districts) (1) to permit an off-premise sign; and/or to in order to erect a sign at this site in the Expressway Corridor Sign District within a "CH-NP", Commercial Highway Services – Neighborhood Plan zoning district. (Heritage Hills)

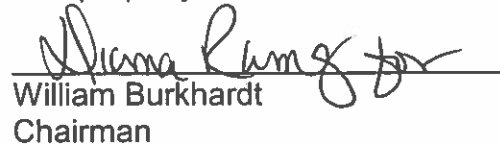
BOARD'S DECISION: August 13, 2018 The public hearing was closed on Board Member Eric Goff motion to Postpone to September 10, 2018, Board Member Rahm McDaniel second on a 11-0 vote; **POSTPONED TO SEPTEMBER 10, 2018. (RE-NOTICE MAY BE REQUIRED); SEPT 10, 2018 POSTPONED TO OCTOBER 8, 2018 BY APPLICANT (RE-NOTICE REQUIRED)**

EXPIRATION DATE:

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


William Burkhardt
Chairman

From: [Heldenfels, Leane](#)
To: [Ramirez, Diana](#)
Subject: c16-2018-0003/1044 Norwood Park Blvd 10/8 advance packet after last/most recent decision sheet and note request to withdraw on 10/8 agenda
Date: Friday, September 21, 2018 1:20:04 PM

----- Forwarded message -----

From: [REDACTED]
Date: Thu, Sep 13, 2018 at 10:06 AM
Subject: Re: 13 of 16 possible items on the 10/8 Board of Adjustment Agenda, with 5 New Business Items for Board discussion
To: [REDACTED]
Cc: [REDACTED]

Good Morning Greg,

We will notify Leane to withdraw our application to the Board of Adjustment associated with sign height.

Thank you and we look forward to assisting you with any future development opportunities,

Phil Moncada
Moncada Enterprises, LLC
1301 S IH 35 Ste. 204
Austin, TX 78741
512.627.8815 (c)
512.474.7377(o)

On Thu, Sep 13, 2018 at 8:28 AM Greg Cervenka <[REDACTED]> wrote:

We no longer want to pursue the variance. We are just going to put up the 35 foot sign.

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: August 13, 2018

CASE NUMBER: C16-2018-0003

<input type="checkbox"/> Y	Brooke Bailey
<input type="checkbox"/> Y	William Burkhardt
<input type="checkbox"/> Y	Christopher Covo
<input type="checkbox"/> Y	Eric Goff
<input type="checkbox"/> Y	Melissa Hawthorne
<input type="checkbox"/> Y	Bryan King
<input type="checkbox"/> Y	Don Leighton-Burwell
<input type="checkbox"/> Y	Rahm McDaniel
<input type="checkbox"/> -	Martha Gonzalez (Alternate)
<input type="checkbox"/> Y	Veronica Rivera
<input type="checkbox"/> Y	James Valdez
<input type="checkbox"/> Y	Michael Von Ohlen
<input type="checkbox"/> -	Kelly Blume (Alternate)
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APPLICANT: Phil Moncada

OWNER: Greg Cervenka

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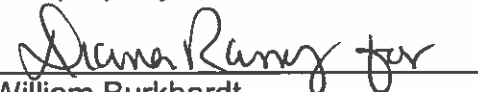
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(RE-NOTICE MAY BE REQUIRED)

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Leane Heldenfels
Executive Liaison


William Burkhardt
Chairman

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: JULY 9, 2018

CASE NUMBER: C16-2018-0003

_____ Brooke Bailey
 _____ William Burkhardt
 _____ Christopher Covo
 _____ Eric Goff
 _____ Melissa Hawthorne
 _____ Bryan King
 _____ Don Leighton-Burwell
 _____ Rahm McDaniel OUT
 _____ Martha Gonzalez (Alternate)
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OWNER: Greg Cervenka

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**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: June 11, 2018

CASE NUMBER: C16-2018-0003

<input checked="" type="checkbox"/>	Brooke Bailey
<input checked="" type="checkbox"/>	William Burkhardt
<input checked="" type="checkbox"/>	Christopher Covo
<input checked="" type="checkbox"/>	Eric Goff
<input type="checkbox"/>	Melissa Hawthorne OUT
<input checked="" type="checkbox"/>	Bryan King
<input checked="" type="checkbox"/>	Don Leighton-Burwell
<input type="checkbox"/>	Rahm McDaniel OUT
<input type="checkbox"/>	Martha Gonzalez (Alternate) OUT
<input checked="" type="checkbox"/>	Veronica Rivera
<input checked="" type="checkbox"/>	James Valdez
<input checked="" type="checkbox"/>	Michael Von Ohlen
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From: [REDACTED]
To: [Heldenfels, Leane](#)
Subject: Re: Can request postpone NORwood/Wal Mart today to the 8/13 hearing and I can re-send corrected notice for the 8/13 hearing instead - if you'd like
Date: Monday, June 25, 2018 1:58:18 PM
Attachments: [image001.png](#)

Leane,

Can we postpone this so we can get more time.

Thank you,

Phil Moncada

Phil Moncada
Moncada Enterprises, LLC
1301 S IH 35 Ste. 204
Austin, TX 78741
512.627.8815 (c)
512.474.7377(o)

On Mon, Jun 25, 2018 at 12:10 PM, Heldenfels, Leane <Leane.Heldenfels@austintexas.gov> wrote:

FYi –

Leane Heldenfels

Planner Senior – Board of Adjustment Liaison

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, [1st Floor](#), Development Assistance Center

Walk-in hours 9a-12p M-F

Office: 512.974.2202 Cell: 512.567.0106 (*personal, for meeting day & after hours emergency use only*)

From: [Heldenfels, Leane](#)
To: [Ramirez, Diana](#)
Subject: c16-2018-0003, 1044 Norwood Park july late back up request for postponement
Date: Monday, July 09, 2018 11:36:27 AM

From: [REDACTED]
Sent: Monday, July 09, 2018 7:40 AM
To: Heldenfels, Leane
Cc: [REDACTED]
Subject: 1044 Norwood Park

Good Morning Leane,

We are requesting a postponement for the above referenced address because the owner's representative is out of town and wanted to attend the meeting. In addition, he is in discussions with the property owner of that parcel regarding the location of the sign.

Thank you,

Phil Moncada
Moncada Enterprises, LLC
1301 S IH 35 Ste. 204
Austin, TX 78741
512.627.8815 (c)
512.474.7377(o)

C01/10

CLOCK TOWER

NORWOOD PARK

ANDERSON
ANDERSON

ANDERSON LN

ANDERSON LN
E ANDERSON WB TO NORWOOD

PROVIDENCE

MEADOR




BLESSING

WHEATLEY

NOTIFICATIONS

CASE#: C16-2018-0003
LOCATION: 1044 Norwood Park Boulevard



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

1" = 225'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

Board of Adjustment Sign Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. All information is required (if applicable).

For Office Use Only

Case # <u>C16-2018-0003</u>	ROW # <u>11946473</u>	Tax # <u>0231180607</u>
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Section 1: Applicant Statement

Street Address: 1044 Norwood Park Blvd.

Subdivision Legal Description:

LOT 5 LESS 2464 AC WAL-MART AT NORWOOD PARK SUBD RESUB OF LOTS 1A, 1B & 1C & LOT 2 REPLAT OF NORWOOD PARK

Lot(s): _____ Block(s): _____

Outlot: _____ Division: _____

Zoning District: CH-NP (Heritage Hills)

Sign District: _____

I/We Phil Moncada on behalf of myself/ourselves as

authorized agent for Norwood Park Association, Inc affirm that on

Month April, Day 25, Year 2018, hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☒ Other: relocate/height increase

Type of Sign: pylon

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-10

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. In order to grant your request for a variance, the Board must first make one or more of the findings described under 1, 2, and 3 below; the Board must then make the finding described in item 4 below. If the Board cannot make the required findings, it cannot approve a sign variance.

Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

I contend that my entitlement to the requested variance is based on the following findings:

1. The variance is necessary because strict enforcement of the Article prohibits any reasonable opportunity to provide adequate signs on the site, considering the unique features of the site such as dimensions, landscaping, or topography, because:

TXDOT ROW Condemnation process has already removed signage for additional ROW. In addition, existing trees and speed limit an access road, hinder view of pylon sign unless additional height is granted.

—OR—

2. The granting of this variance will not have a substantially adverse impact upon neighboring properties, because:

Sign is on access and surrounded by commercial properties.

—OR—

3. The granting of this variance will not substantially conflict with the stated purposes of this sign ordinance, because:

Sign was existing at this location and height increase is warranted due to line and sight associated with access road.

AND,

4. Granting a variance would not provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated, because:

This board has previously granted height increase on signs associated with trees impacting visibility for the motoring public.

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Phil Moncada Digitally signed by Phil Moncada
Date: 2018.04.10:35:15 -05'00' Date: 04/19/20 18

Applicant Name (typed or printed): Phil Moncada

Applicant Mailing Address: 1301 S IH 35 Ste 204

City: Austin State: TX Zip: 78741

Phone (will be public information): (512) 627-8815

Email (optional – will be public information): [REDACTED]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Greg Cervenka, Boardmember Date: 4/24/18

Owner Name (typed or printed): Norwood Park Association, Inc.

Owner Mailing Address: PO Box 161150

City: Austin State: TX Zip: 78716

Phone (will be public information): (512) 485-4334

Email (optional – will be public information):

Section 5: Agent Information

Agent Name: Greg Cervenka

Agent Mailing Address: PO BOX 161150

City: Austin State: TX Zip: 78716

Phone (will be public information): (512) 485-4335

Email (optional – will be public information):

SAVE

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: _____ Date: _____

Applicant Name (typed or printed): _____

Applicant Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: William S. Hart Date: _____

Owner Name (typed or printed): Strategic Housing Finance Corporation of Travis County,

Owner Mailing Address: 502 East Highland Mall Blvd. Ste 106-B Austin, TX 78752

City: Austin State: TX Zip: 78752

Phone (will be public information): 502-931-5795

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

SAVE



5.5' TYP PER	TGS SYSTEM MAP
--------------	----------------

10' CITY OF AUSTIN
WATER LINE ESMT.
VOL. 5338, PG. 902
BK. 87, PGS. 99B--99D

15' P.U.E.
VOL. 9773, PG. 355
BK. 87, PGS. 99B-99D-

CITY OF AUSTIN
ELEC. UTIL. ESMT.
VOL. 12341, PG. 47

NOTE:
HATCHED AREA
DENOTES LIMITS
OF LICENSE
AGREEMENT. TYPE

PARKING PROVIDED

UNIT	NUMBER	PARKING REQUIREMENT	TOTAL SPACES REQUIRED
1 BEDROOM	38	1.5 SPACES PER UNIT	54
2 BEDROOM	108	2.0 SPACES PER UNIT	216
3 BEDROOM	84	2.5 SPACES PER UNIT	210
TOTAL			480

FULL SIZED	329
COMPACT	137
HANDICAPPED	14
TOTAL	480

ETAIL 'A'

SCALE: 1"=20'



April 19, 2018

Structural Calculations

Prepared For:

Facility Solutions Group
10212 Metric Blvd.
Austin, TX. 78758

Project:

JTS_74218
Norwood Assn – Pylon A
1030 Norwood Park Blvd.
Austin, TX


Prepared By:

YJ Inc.
P.O. Box 802050
Santa Clarita, CA 91380



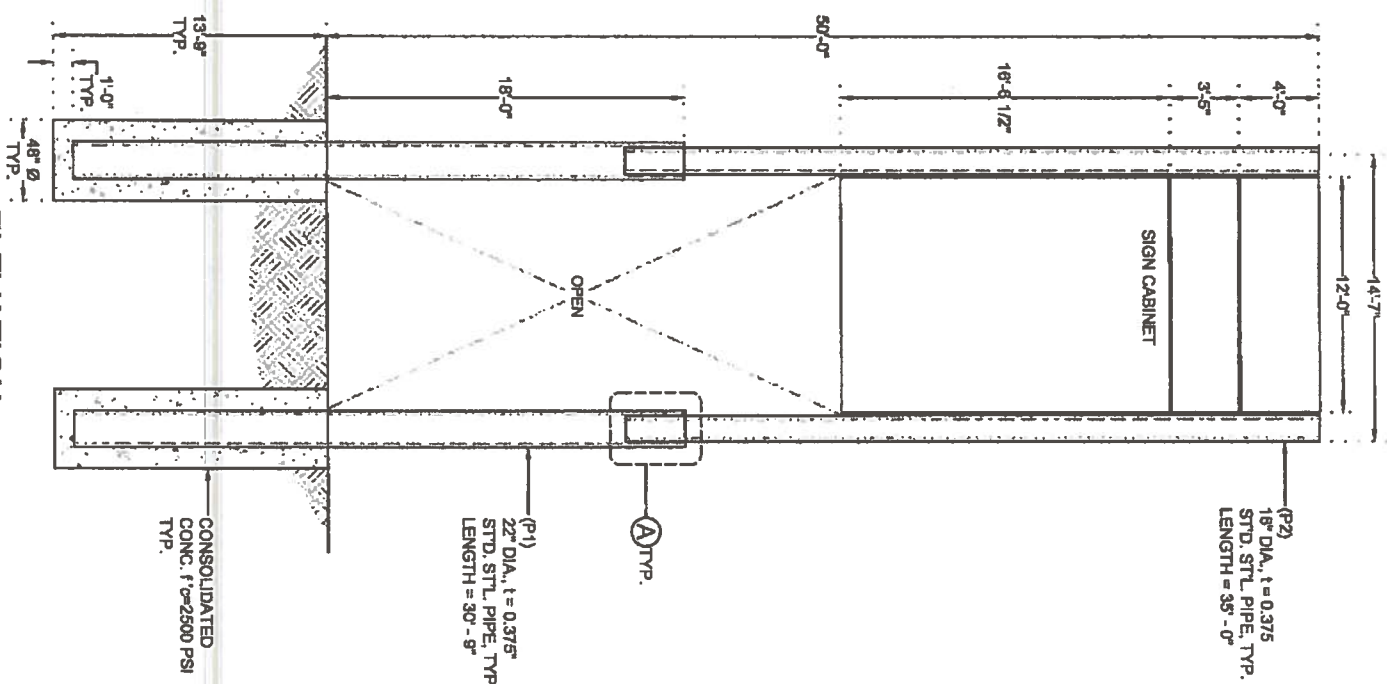
YJ Inc.
F-19272

APR 19 2018


www.iapec.com
P.O. BOX 802650
SANTA CLARITA, CA. 91380
TEL. (661)259-0700 FAX (661)259-0900

SHEET TITLE:

**NORWOOD ASSN
PYTHON A**



ELEVATION

N.T.S.

NOTES:

GENERAL:

- SIGN DESIGN IS BASED ON ADEQUATE EXISTING SUPPORT ELEMENTS.
 - PROVIDE ISOLATION OF DISSIMILAR MATERIALS.
 - COAT ALUMINUM IN CONTACT WITH CONCRETE WITH ZINC RICH PAINT.
 - THERE IS NO PROTECTION ZONE AS DEFINED IN AISC 341-10.
 - PROVIDE FULLY WELDED END CAPS AT EXPOSED OPEN ENDS OF STEEL /ALUM. TUBES. MATCH THICKNESS LIKE FOR LIKE.
 - CABINETS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS
 - SLOPE TOP OF EXPOSED FOOTING AWAY FROM DIRECT BURIAL POSTS
- ANCHORS:**

ANCHORS:

- BRAND NAME APPROVED POST INSTALLED ANCHORS SPECIFIED ON PLANS MAY BE SUBSTITUTED BY APPROVED EQUAL.

STEEL:

- DESIGN AND FABRICATION ACCORDING TO 2015 IBC
- PLATE, ANGLE, CHANNEL, TEE, AND WIDE FLANGE: ASTM A36
- ROUND PIPE: ASTM A53 GRADE B OR EQUIVALENT.
- HSS ROUND, SQUARE, AND RECTANGULAR TUBE: ASTM A500 GRADE B OR EQUIVALENT
- ALL ANCHORS BOLTS SHOULD BE: ASTM F1554
- ALL STEEL MACHINED BOLTS SHOULD BE: ASTM A307
- ALL STAINLESS STEEL MACHINED BOLTS SHOULD BE: ASTM F593
- ZINC COATED (HOT DIPPED) PER: ASTM A153 OR F2329
- BEARING TYPE CONNECTION REINFORCING REBAR: ASTM A615 GRADE 60 DEFORMED BARS

ALUMINUM:

- DESIGN AND FABRICATION ACCORDING TO 2015 ALUM. DESIGN MANUAL
PLATES, ANGLES, CHANNELS, TEE, AND SQUARE TUBING: ALUMINUM
ALLOY 6061 - T6 WITH 0.008 LBS PER CUBIC INCH.

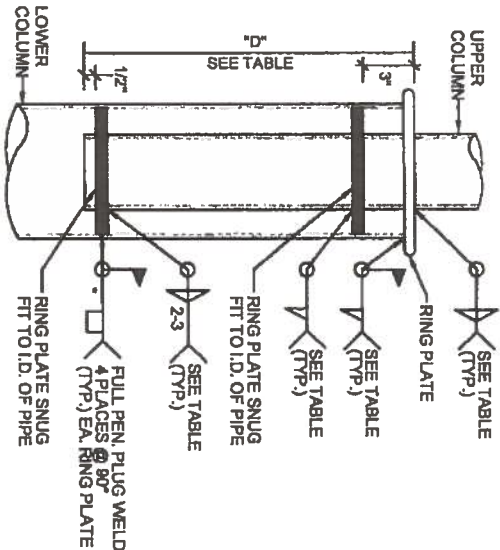
WELDING:

STEEL

- DESIGN AND FABRICATION ACCORDING TO AWS D1.1.
- AWS CERTIFICATION REQUIRED FOR ALL STRUCTURAL WELDERS.
- WELDING PER AWS C341-10
- E70 XX ELECTRODE FOR SMAW PROCESS.
- E70S XX ELECTRODE FOR GMAW PROCESS.
- E70T XX ELECTRODE FOR GTAW PROCESS.
- E70T XX ELECTRODE FOR FCAM PROCESS.
- ALL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20FT-LB AT ZERO °F AS DETERMINED BY THE APPROPRIATE AWS AS CLASSIFICATION TEST METHOD OR MFG'S CERTIFICATION.

At 11:30

- ALL WELDING IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS A.5.10, FILLER ALLOYS PER TABLES M.9.1 & M.9.2 OF 2015 ALUMINUM DESIGN MANUAL.



UPPER COL. DIA.	"D"	WELD SIZE	RING PL.
16" Ø	36"	1/4"	1/2"

- LENGTH OF PLUG WELDS TO BE 1/8 OF LOWER COLUMN D/A, MINIMUM 1/2"
- SPECIAL INSPECTION REQUIRED FOR FIELD WELD

STEP DOWN

1. T's

Sign Design Based on 2015 IBC									
Job #	JTS_74218								
Project	Normwood Assn - Ryan A								
Job Location	1030 Normwood Park Blvd.								
	Austin, TX								
INPUT DATA									
Exposure category (B, C or D)								C	
Risk Category								II	
Basic wind speed (3 sec. gust wind)								V = 115 mph	
Topographic factor								K _t = 1 Flat	
Height of the sign								h = 50 ft	
Vertical dimension (for wall, s = h)								s = 29.86 ft	
Horizontal dimension								B = 14.25 ft	
Dimension of return corner								L = 1 ft	
ANALYSIS									
Velocity pressure									
q _n = 0.00286 K _t K _z K _e V ²								31.37 psf	
where:									
q _n = velocity pressure at height h (Eq. 29.3-1, page 307)									
K _t = velocity pressure exposure coefficient									1.09
evaluated at height above ground level h (Tab. 29.3-1, pg. 310)									
K _e = wind directionality factor (Tab. 29.6-1, page 250)									0.85
Wind Force Case A: resultant force through the geometric center (Sec. 29.4.1 & Fig. 29.4-1)									
Max horizontal wind pressure = p = q _n G C _p =								-46.11 psf	
where: G = gust effect factor (Sec. 26.9, page 254)									0.85
C _p = net force coefficient (Fig. 29.4-1, page 308)									1.73
A _r = B s = the gross area									426.5 ft ²
								Estimated sign weight =	4265 lbs
Footing Design (See attached Enercalc calcs.)									
Unfactored Windforce, F =								18.62 kips	
Unfactored Moment = F x moment arm =								644.7 kip-ft	
DESIGN SUMMARY									
Allowable Stress Design Wind Factor =								0.6	
Design Wind Pressure =								27.67 psf	
Design Windforce, F =								11.77 kips	
Moment Arm =								32.86 ft	
Design Moment = F x moment arm =								386.5 kip-ft	
Pole (P1) Design									
Sec. Mod. Req'd								USE	A53 Grade B
S =	110.52							22" Dia., t=0.375	S=126.40
Pole (P2) Design									
Sec. Mod. Req'd								USE	A53 Grade B
S =	64.67							18" Dia., t=0.375	S=65.67

CONCLUSIONS

- DESIGN AND CONSTRUCTION ACCORDING TO ACI 318-14
- COMPRESSIVE STRENGTH AT 28 DAYS, $f'_{c28} \geq 2500$ PSI MINIMUM.
- CEMENT TYPE II OR IV, W/C RATIO 0.45 BY WEIGHT FOR PIER AND CAISSON FOOTINGS
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH.
- MAINTAIN A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.

SOIL

- LATERAL SOIL BEARING PER IBC CLASS 5 TABLE 1806.2
(100 PSF/FT).

2523

1 of 1

Pole Footing Embedded in Soil

Printed: 18 APR 2018, 8:23AM
File = Z:\V\J\SIGN-302018\JT-1174218_-1\JTS_74-1 E06
ENERCALC, INC 1983-2017, Build:10.17.8.29, Ver:10.17.8.29
License: JYJ INC.

Description : Pylon A Concrete Footing

Code References

Calculations per IBC 2015 1807.3, CBC 2016, ASCE 7-10
Load Combinations Used : IBC 2015

General Information

Pole Footing Shape Circular
Pole Footing Diameter 48.0 in
Calculate Min. Depth for Allowable Pressures
No Lateral Restraint at Ground Surface
Allow Passive 200.0 pcf
Max Passive 1,500.0 psf

Controlling Values

Governing Load Combination : +D+0.60W

Lateral Load 5.886 k

Moment 193.414 k-ft

NO Ground Surface Restraint

Pressures at 1/3 Depth

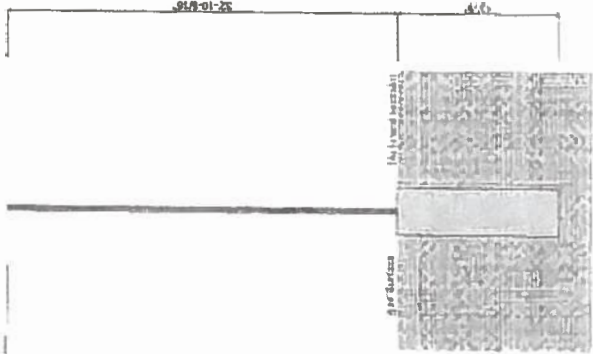
Actual 910.90 psf

Allowable 911.90 psf

Minimum Required Depth 13.750 ft

Footing Base Area 12.566 ft²

Maximum Soil Pressure 0.1016 ksf



Applied Loads

Lateral Concentrated Load (k)		Lateral Distributed Loads (klf)		Vertical Load (k)	
D : Dead Load	k		k/ft		1.277 k
Lr : Roof Live	k		k/ft		k
L : Live	k		k/ft		k
S : Snow	k		k/ft		k
W : Wind	9.810 k		k/ft		k
E : Earthquake	k		k/ft		k
H : Lateral Earth	k		k/ft		k
Load distance above ground surface	32.860 ft		ft		
			ft		

Load Combination Results

Load Combination	Forces @ Ground Surface		Required Depth - (ft)	Pressure at 1/3 Depth		Soil Increase Factor
	Loads (k)	Moments (ft-k)		Actual - (psf)	Allow - (psf)	
D Only	0.000	0.000	0.13	0.0	0.0	1.000
+D+0.60W	5.886	193.414	13.75	910.9	911.9	1.000
+D-0.60W	5.886	193.414	13.75	910.9	911.9	1.000
+D+0.450W	4.415	145.060	12.38	820.4	820.6	1.000
+D-0.450W	4.415	145.060	12.38	820.4	820.6	1.000
+0.60D+0.60W	5.886	193.414	13.75	910.9	911.9	1.000
+0.60D-0.60W	5.886	193.414	13.75	910.9	911.9	1.000
+0.60D	0.000	0.000	0.13	0.0	0.0	1.000

Pole Footing Embedded in Soil

File # : JKW5060094.82

Description : Pylon B Concrete Footing

File = Z:\VISIGN-92018\JTS_74-1 ECR
ENERCALC, INC. 1983-2017 Build:10.17.8.29
Ver:10.17.8.29
JTS_74-1 ECR
JTS_74-1 ECR
JTS_74-1 ECR

Printed: 18 APR 2018, 8:24AM

Code References

Calculations per IBC 2015 1807.3, CBC 2016, ASCE 7-10
Load Combinations Used : IBC 2015

General Information

Pole Footing Shape Circular
Pole Footing Diameter 30.0 in
Calculate Min. Depth for Allowable Pressures
No Lateral Restraint at Ground Surface
Allow Passive 200.0 psf
Max Passive 1,500.0 psf

Controlling Values

Governing Load Combination : +D+0.60W

Lateral Load 4.806 k
Moment 103.954 k-ft

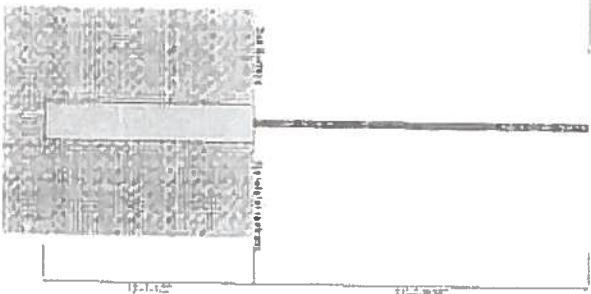
NO Ground Surface Restraint

Pressures at 1/3 Depth

Actual 905.66 psf
Allowable 905.76 psf

Minimum Required Depth 13.625 ft

Footing Base Area 4.809 ft²
Maximum Soil Pressure 0.2375 ksf



Applied Loads

Lateral Concentrated Load (k)		Lateral Distributed Loads (klf)		Vertical Load (k)	
D : Dead Load	k			1.166 k	
L : Roof Live	k			k	
L : Live	k			k	
S : Snow	k			k	
W : Wind	8.010 k			k	
E : Earthquake	k			k	
H : Lateral Earth	k			k	
Load distance above ground surface	21.630 ft	TOP of Load above ground surface	ft		
		BOTTOM of Load above ground surface	ft		

Load Combination Results

Load Combination	Forces @ Ground Surface		Required Depth - (ft)	Pressure at 1/3 Depth		Soil Increase Factor
	Loads - (k)	Moments - (ft-k)		Actual - (psf)	Allow - (psf)	
D Only	0.000	0.000	0.13	0.0	0.0	1.000
+D+0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+D-0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+D+0.450W	3.605	77.965	12.25	812.2	812.6	1.000
+D-0.450W	3.605	77.965	12.25	812.2	812.6	1.000
+0.60D+0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+0.60D-0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+0.60D	0.000	0.000	0.13	0.0	0.0	1.000

Entry Monument (Removable) Proposed Signage

C16-2018-0006

Albert Morales
For Capital Architectural Sign, Inc.
INTEGRAL CARE
1165 Airport Boulevard

The applicant has requested a variance(s) to Section 25-10-191 (Setback and Structural Requirements):

- A. (E) to decrease the distance a sign support more than 36 inches must be set back from the street right-of-way from at least 12 feet (required) to 0 feet (requested); and to
- B. (F) (1) to increase the height of a sign that is within 12 feet of a street right-of-way from not more than 30 inches (required, permitted) to 36 inches (requested); and to
- C. (F) (2) to decrease clearance of a sign that is within 12 feet of a street right-of-way from at least 9 feet (required) to 0 feet (requested) in order to erect a monument sign in a "CS-MU-NP", General Commercial Services – Mixed Use - Neighborhood Plan zoning district. (MLK)

REVISED
27 AUGUST 18

UPDATE 27 AUGUST 2018

CAS found a solution that satisfies all utility access requirements by utilizing a removable or temporary sign closest to the property line with at least 10'-0" clearance from utilities in lieu of a permanent monument sign.

-Albert Morales 27 Aug 18

Content Developed By

Entry Monument (Removable)
Structure and Design

1. Double-sided aluminum cabinet; all copy is machine routed from face.
2. Internally illuminated white acrylic push through logo with 1/2" projection.
- B. Illumination: bright white LEDs mounted inside cabinet faces and returns; connected to power supplies others to run main electrical via conduct. Must coordinate prior to pouring of concrete form .

3. Internally illuminated address; backed with white acrylic; inset 1/8" or thickness of cabinet.
- C. Finish/Color: Cabinet painted to match Weathered corten stainless steel. Logo and address numerals are white acrylic as noted in descriptions 2 and 3.

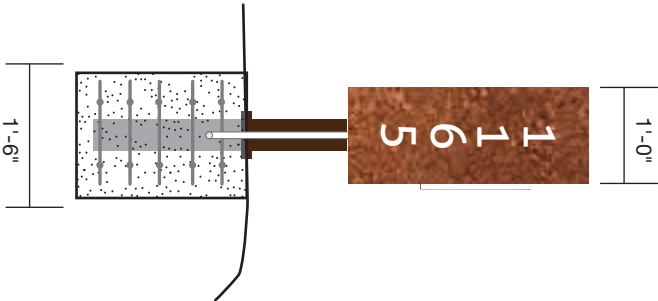
Notes:

A. Concrete Foundation: 1'-6" planked concrete above grade; ~1'-0" direct embed with #4 rebar @ 12" O.C.; ~2'-0" footing with #4 rebar @ 18" O.C; T & B, each way.

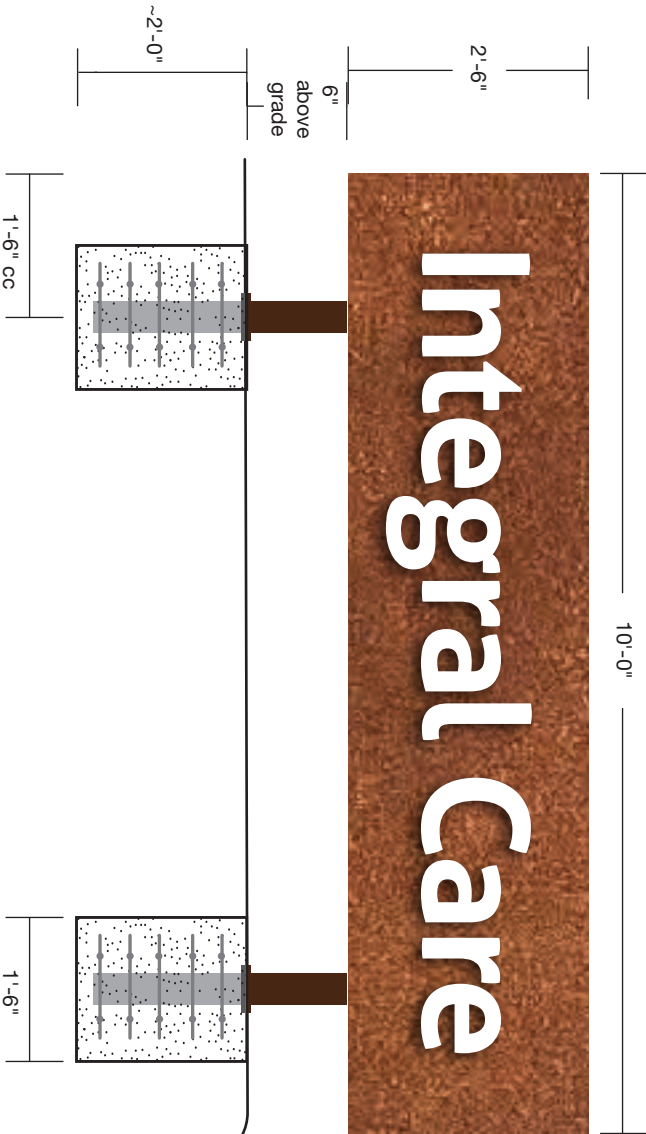
*Corten Steel is the rust-like appearance after several years exposure to weather. A simulated finish cannot be guaranteed to exactly match this natural process.



1 Reference Image
Address Cut Outs



2 Profile Section
Scale: 1/2"=1'-0"



3 Elevation
Scale: 1/2"=1'-0"



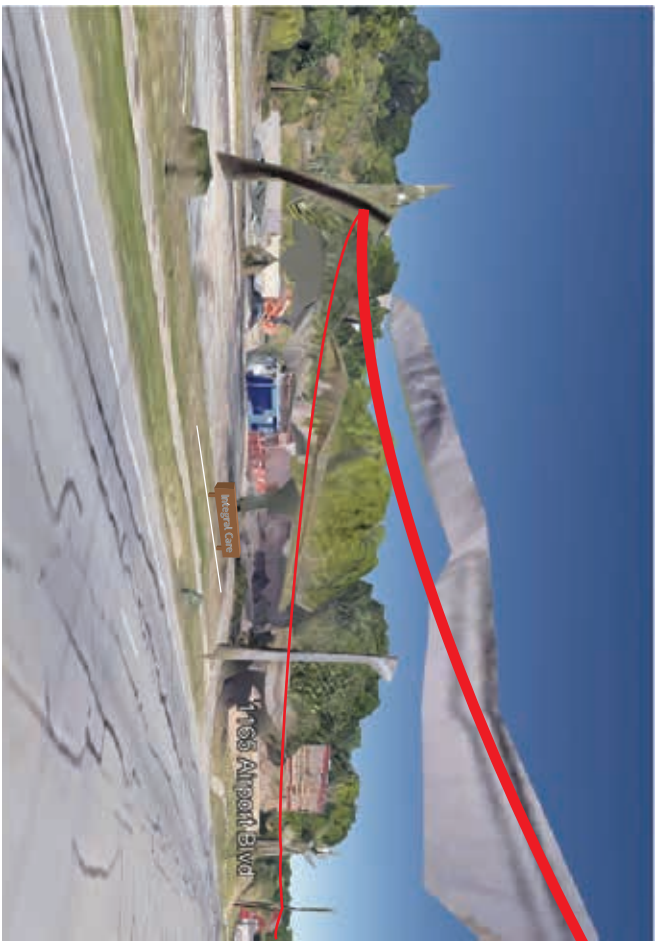
4 Reference Image
Push Through Letters

REVISED
27 AUGUST 18

CLIENT	PROJECT	DRAWING TITLE	ADDITIONAL NOTES	DRAWN BY	FILEPATH	DATE	VERSION	SHEET
Integral Care Main Office	Exterior Graphics Package	Entry Monument		Albert Morales		11 March 2018 REV 6 June 2018 REV 23 August 2018	3	12




Entry Monument (Removable)
Intended Location (UTILITY LINES DESIGNATED IN RED)



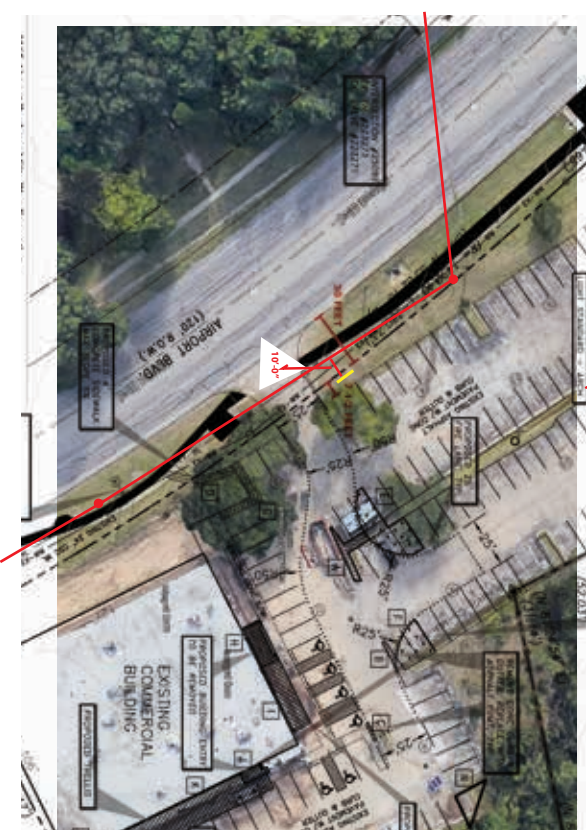
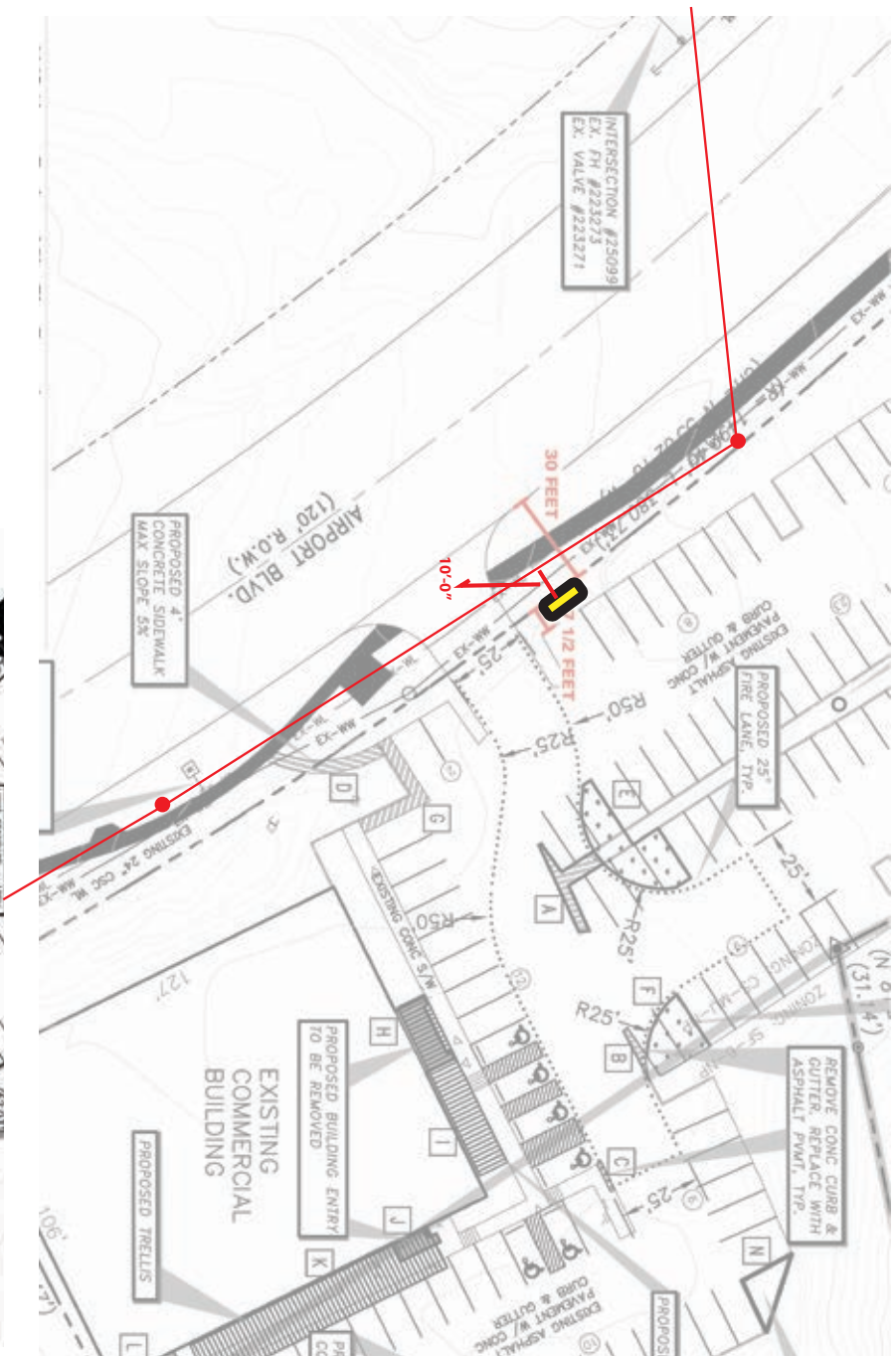
REVISED
27 AUGUST 18

1 Photo Renderings
Actual Scaling May Vary

	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 13
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C01/23

Entry Monument (Removable)



REVISED
27 AUGUST 18



	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 13
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Monument Signage Permit Request for Richard T. Hopkins Behavioral Health Building

October 8, 2018

Anne Nagelkirk

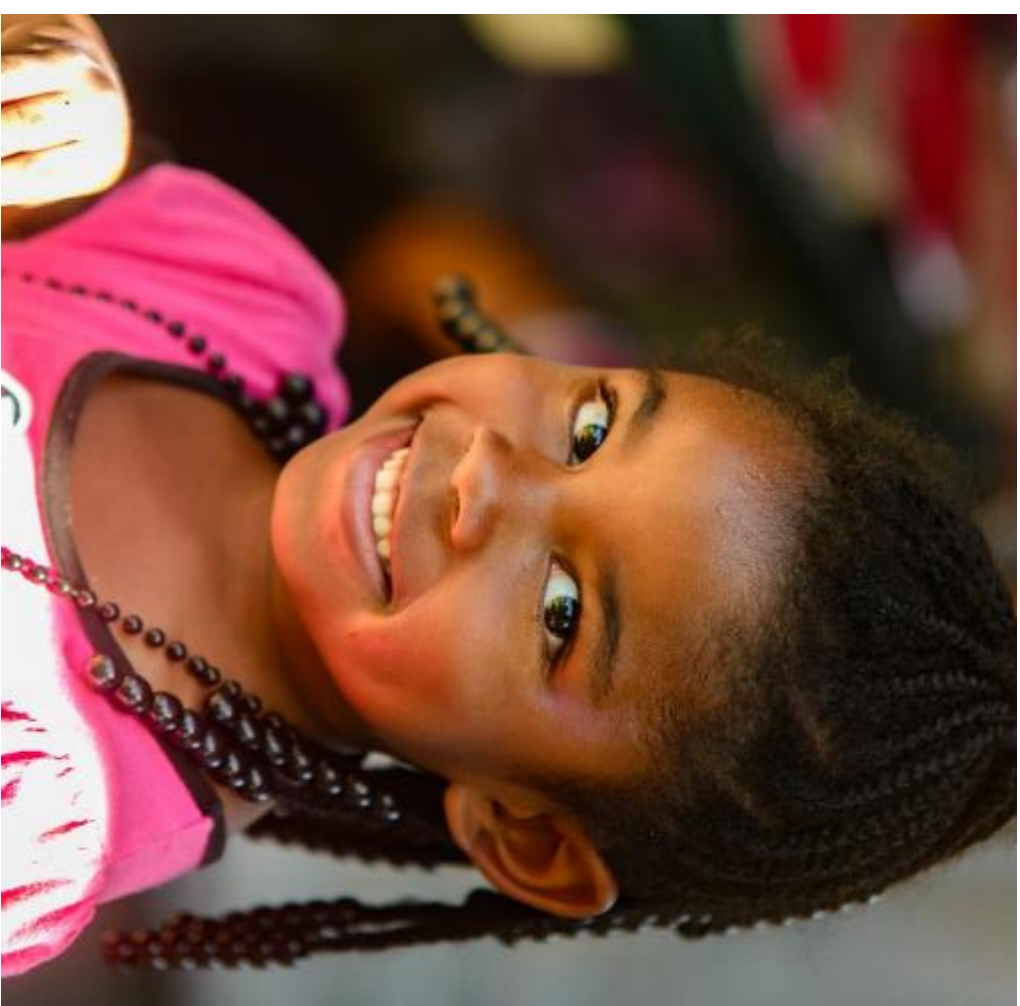
Director of Communications & Engagement
Integral Care

About Integral Care

Integral Care supports adults and children living with:

- **mental illness**
- **substance use disorder**
- **intellectual and developmental disabilities**

We help people build health and well-being so everyone has the foundation to reach their full potential.





Founded in **1967**, we are the local mental health and intellectual and developmental disabilities for Travis County.

Last year, Integral Care served almost **26,000** people.

Crisis Services

Integral Care offers mental health crisis support 24 hours a day, 7 days a week – on the phone and in the community. Our crisis services help people recover from a mental health crisis and rebuild their well-being.



A helpline for anyone
who needs immediate
emotional support



Tools and
resources to
prevent suicide



Teams that go
anywhere someone
needs help



Mental Health
Urgent Care

Signage for Hopkins Building



Importance of Wayfinding Signage



- Can promote healing
- Can improve patient care and medical outcomes
- Can cause anxiety, stress and fear

Albert Morales

Design & Project Management
Capital Architectural Signs



Entry Monument (Removable)
Structure and Design

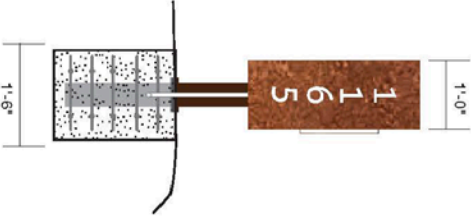
1. Double-sided aluminum cabinet; all copy is machine routed from face.
2. Internally illuminated white acrylic push through logo with 1/2" projection.
3. Internally illuminated address; backed with white acrylic; inset 1/8" or thickness of cabinet.

- B. Illumination: bright white LEDs mounted inside cabinet faces and returns; connected to power supplies others to run main electrical via conduit. Must coordinate prior to pouring of concrete form .
- C. Finish/Color: Cabinet painted to match Weathered corten stainless steel. Logo and address numerals are white acrylic as noted in descriptions 2 and 3.

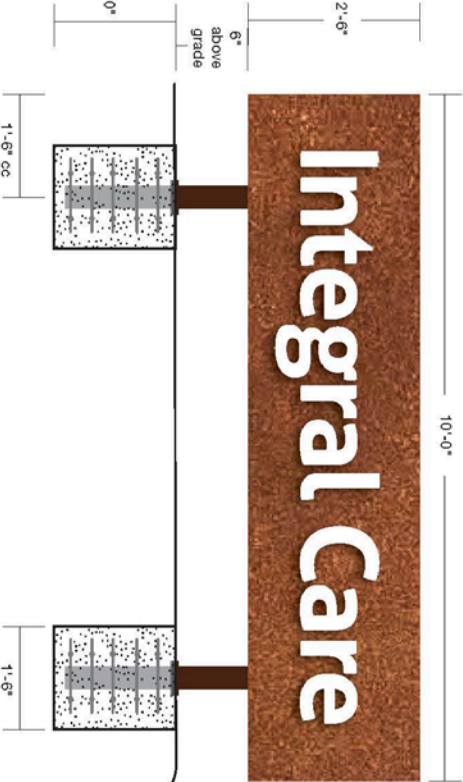
- Notes:
- A. Concrete Foundation: 1'-6" planked concrete above grade; ~1'-0" direct embed with #4 rebar @ 12" O.C.; ~2'-0" footing with #4 rebar @ 18" O.C; T & B, each way.
- *Corten Steel is the rust-like appearance after several years exposure to weather. A simulated finish cannot be guaranteed to exactly match this natural process.



1 Reference Image
Address Cut Outs



2 Profile Section
Scale: 1/2"=1'-0"




3 Elevation
Scale: 1/2"=1'-0"



4 Reference Image
Push Through Letters

REVISED
27 AUGUST 18

CLIENT	PROJECT	DRAWING TITLE	ADDITIONAL NOTES	DRAWN BY	FILEPATH	DATE	VERSION	SHEET
 Integral Care Main Office	Exterior Graphics Package	Entry Monument		Albert Morales		11 March 2018 REV 6 June 2018 REV 23 August 2018	3	12

Entry Monument (Removable)
Intended Location (UTILITY LINES DESIGNATED IN RED)

REVISED
27 AUGUST 18



1 Photo Renderings
Actual Scaling May Vary

CAS	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 13
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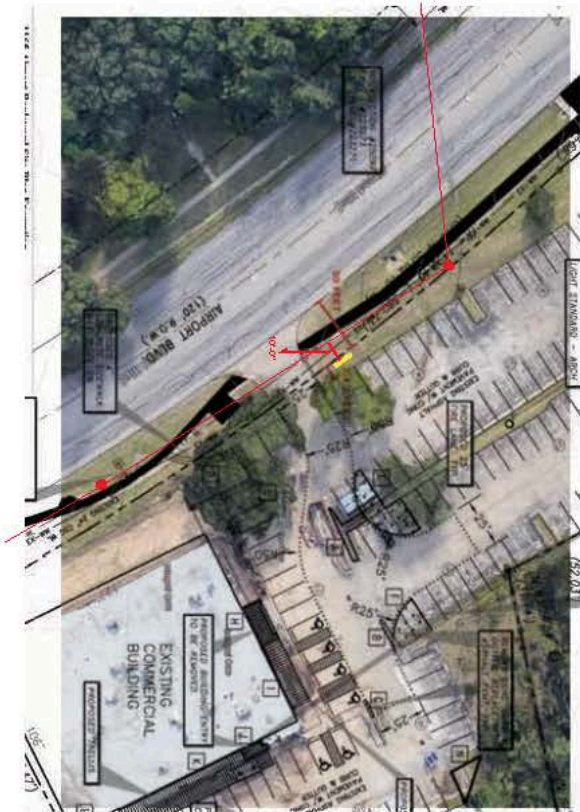
Entry Monument
Signage Surroundings

APPROVED BY
AUSTIN ENERGY
FOR BOA

DATE: 

REVIEWED

By Eber Kellogg at 11:07 am, Sep 05, 2018



	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 13
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Questions?

Thank You

