



MEMORANDUM

TO: Parks and Recreation Board Members

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: February 13, 1991

SUBJECT: Construction of a fishing pier at 4704 Colorado Crossing.
File # SP-91-0053DS

A request has been received from Royce Reynolds, on behalf of the Colorado Crossing Homeowners, to construct a fishing pier at 4704 Colorado Crossing.

Attached are details of the project. The site plans have not yet been approved by the Planning and Development Department.

The fishing pier is located within the homeowners common area and meets the definition of a Marina under Section 13-2-3, being capable of mooring more than three watercraft. Section 13-2-792(c) requires that marinas be constructed on pilings that are constructed of non-treated timber.

This request meets the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments), with the exception of the use treated timber pilings.

Recommendation

I recommend approval of the request to construct a fishing pier at 4704 Colorado Crossing in accordance with Site Plan # SP-91-0053DS, subject to the pilings in the water being constructed of steel, concrete or natural decay resistant timber.

If I can provide you with any additional information, please contact me.

Manuel A. Mollinedo, Director
Parks and Recreation Department

MM:PM

TO: COMMENT DUE DATE: 15-FEB-1991
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0053DS

PROJECT: COLORADO CROSSING COMMON AREA PIER

4704 COLORADO CRSG

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 7-FEB-1991

ZIP: 78731 FULL PURPOSE

WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: MT. BONNELL SHORES COLORADO (512)452-6514

5324 TORTUGO TRAIL AUSTIN, TX 78734

CONTACT: ROYCE REYNOLDS

AGENT: SPILLAR BOAT DOCK (512)452-6514

RT 3 BOX 937 SPICEWOOD, TX 78669

CONTACT: ROYCE REYNOLDS

SITE PLAN AREA: 0.000 ACRES (0 SQ FT)

UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:

EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	FISHING PIER

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:

QUALIFIES AS A SMALL PROJECT

TIA IS NOT REQUIRED

FEE RECEIPT #: 916051

SUBD NAME: COLORADO CROSSING SECTION ONE

BLOCK/LOT: BLOCK A, LOT 8

PLAT BOOK/PAGE: 81 PAGE 388-389

VARIANCES/WAIVERS, BONUSES:

** REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM **

Spillar Boat Dock & Boat Lifts

Rt. 3, Box 937

Spicewood, Texas 78669

(512) 264-1774

February 4, 1991

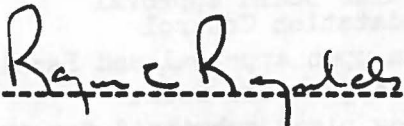
PARKS AND RECREATION DEPARTMENT:

4704 Colorado Crossing
Lot 8 Blk "A"
Colorado Crossing Sec 1
Common Area
Travis, County Austin, Texas

We request the approval of Common Area Pier to plans submitted.

Construction to begin upon approval and Permitting. Construction
to consist of approx one week .

Thank You:



Royce E. Reynolds

Spillar Boat Dock & Boat Lifts

Rt. 3, Box 937

Spicewood, Texas 78669

(512) 264-1774

February 4, 1991

Site Development Department:

Day Use Dock/ Pier
Colorado Crossing Common Area Pier
Lot 8 Blk "A"
Common Area
Colorado Crossing Section One
4704 Colorado Crossing
Travis, County Austin, Texas

Chained gate at access
Access to project thru 12 foot wide private asphalt drive
No heavy equipment required
All auto traffic to remain on pavement
Foot traffic only from materials drop to Pier construction
No shoreline alterations or modifications
No tree or scrub disturbance, Minimal natural ground cover disturbance
Pier to be for Private Useage
All materials to be used will meet Building Regulations for Lake Austin
Project to require Parks Board approval
Silt Fence Erosion Sedatation Control
Construction to begin upon approval and Permitting.
Construction to last approx one week.
Construction to follow plans submitted for approval.
Less than one acre to be developed
Lake Austin Watershed
There is no intent to affect navigation or recreation

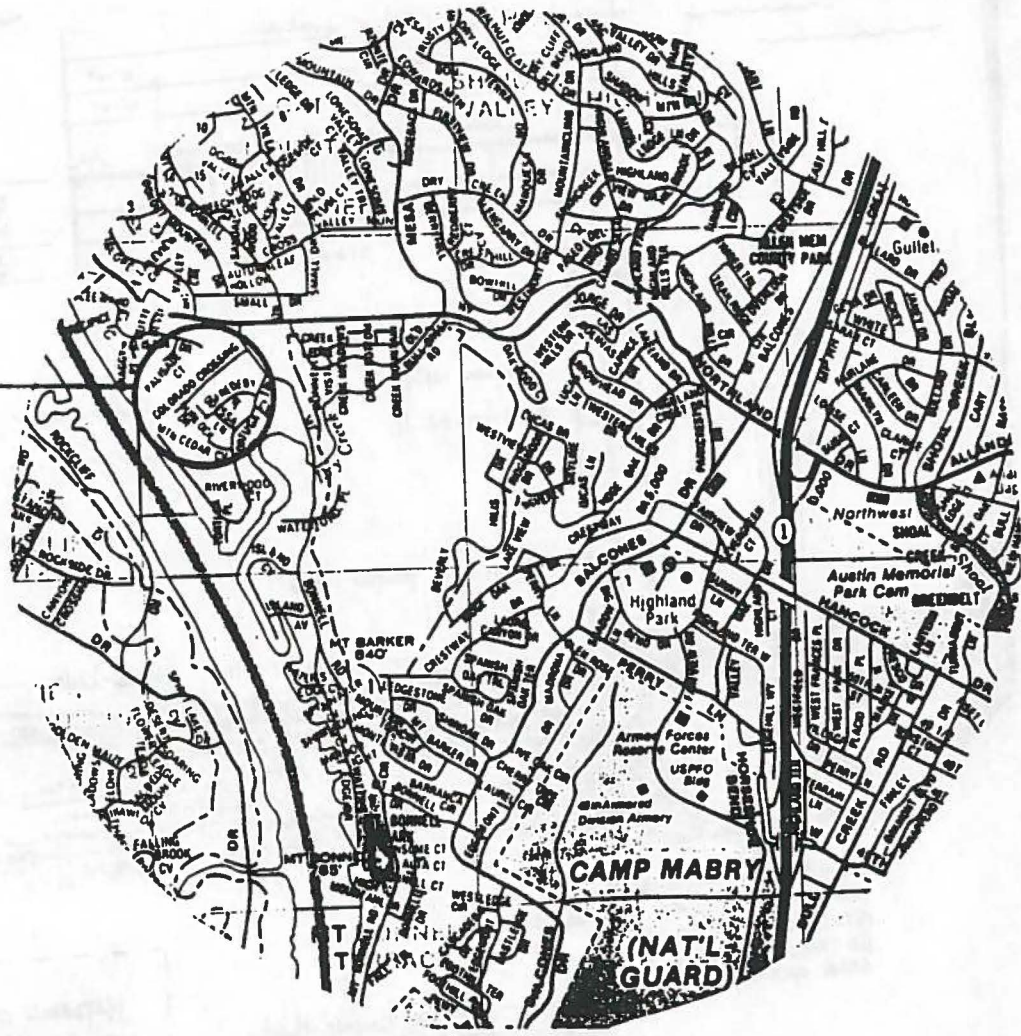
Thank You:



Royce E. Reynolds
512/ 452-6514

7. Accumulated silt shall be removed when it reaches a depth of 6 inches. The silt shall be disposed of in an approved site and in such a manner as to not contribute to additional siltation.

Standard Form 35

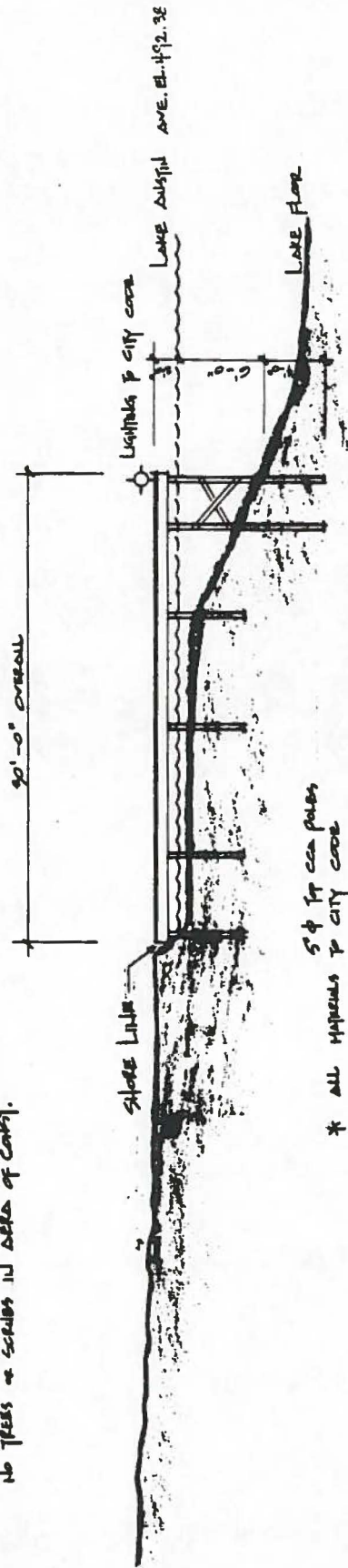


VICINITY MAP

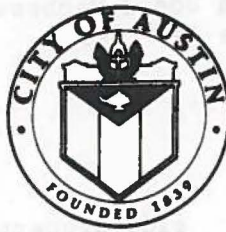
COLORADO CROSSING COMMON AREA PIER

4704 COLORADO CROSSING
 LOT 8 BLK "A"
 SEC. ONE
 COLORADO CROSSING
 RECORDED 1/14/82
 BOOK 81 PAGES 388-389
 TRAVIS, COUNTY
 AUSTIN, TEXAS
 LAKE AUSTIN WATERSHED
 SMALL PROJECT
 ALL MATERIALS CCA TREATED & GALV. FASTENERS

NO SIGNIFICANT ALTERATIONS OR MODIFICATIONS
 MINIMAL GRAVITY COVER REQUIREMENTS
 NO TREES OR SCRUBS IN AREA OF CONCERN



TYPICAL ELEVATION SIDE / FRONT
 SCALE 1" = 1'-0"



MEMORANDUM

TO: Parks and Recreation Board Members

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: February 13, 1991

SUBJECT: Construction of single-slip boat dock, at 3434
Blue Jay Lane.
File # SP-91-0054DS

A request has been received from Brad Cargill to construct a single-slip boat dock with deck over, at 3434 Blue Jay lane.

Attached are details of the project. The site plans have not yet been approved by the Planning and Development Department.

This request does not meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments) for the following reasons:

1. A timber bulkhead is indicated within the water, although it not specified it is assumed that it will be of treated timber. Section 13-2-792(e) requires that bulkheads and retaining walls be constructed of concrete, steel, stone or natural decay resistant timber.

2. Section 13-2-795(2) requires that 10' side property line setback be provided. This request indicates that the boat dock will be only 6' from the side property line.

This dock is located close to the Mansfield dam at the upper end of the lake, due to the strong currents created when water is discharged from the dam I would suggest that cross bracing be provided to the pilings below the waterline.

Recommendation

I recommend approval of the request to construct a single slip boat dock with deck over at 3434 Blue Jay Lane, subject to the following:

1. The bulkhead be constructed of materials other than treated timber in accordance with Section 13-2-792(e).

Parks and Recreation Board Members
Boat dock, 3434 Blue Jay Lane
January 13, 1991
Page 2

2. That a 10' side property line setback be provided in accordance with Section 13-2-792(2).

3. Cross bracing be provided to the pilings below the waterline.

If I can provide you with any additional information, please contact me.



Manuel A. Mollinedo, Director
Parks and Recreation Department

MM:PM

TO: COMMENT DUE DATE: 15-FEB-1991
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0054DS

PROJECT: CARGILL BOAT DOCK

3434 BLUE JAY LA

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 7-FEB-1991

ZIP: 78732 2-MILE ETJ
WATERSHED: Lake Austin

OWNER: CARGILL, BRAD (512)266-3755
3434 BLUE JAY LANE AUSTIN, TX 78732
CONTACT: BRAD CARGILL

SITE PLAN AREA: 0.006 ACRES (279 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	BOATDOCK
	0.000/ 0	SINGLE-FAMILY

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 916052

SUBD NAME: MOUNTVIEW HARBOR
BLOCK/LOT:
PLAT BOOK/PAGE: BOOK 24, PAGE 12

VARIANCES/WAIVERS, BONUSSES:

** REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM **

24

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TRAVIS

L.S.D.

ARKANSAS BEND

Colorado River

Boating Hazard

Lake Travis

SOMETIME ISLANDS

Marshall Ford

SITE

LAKE TRAVIS I.S.D.

BEE CAVE

FOR CONTINUATION OF MAP DETAIL - SEE REVERSE SIDE

FEB. 6 - 1991

TO: DIRECTOR, PARKS AND RECREATION DEPARTMENT

FROM: BRAD CARGILL

SUBJECT:

REQUEST APPROVAL OF CONSTRUCTION OF BOAT DOCK
ON LAKE AUSTIN: LOCATED MOUNTVIEW HARBOR, Lot 7
PLATT BOOK 24 PAGE 12. MAIL ADDRESS 3434 BLUE JAY LANE
NO ALTERATION OF SHORE LINE SHALL BE ATTEMPTED
SINCE THIS SHALL BE USINBLE BOAT DOCK FACILITY, 14'X20'
WITH ROOF. ALL MATERIALS OF LUMBER-(WOLMANIZED) ALL
FASTENERS, BOLTS. ETC SHALL BE GALVANIZED.

LIGHTING REQUIRED SHALL MEET SECTION 13
2-793. OF ILDC - REQUIREMENTS

SIGNED: Brad Cargill
OWNER OF ABOVE DESCRIBED PROPERTY



MEMORANDUM

TO: Parks and Recreation Board Members

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: February 13, 1991

SUBJECT: Construction of single-slip boat dock, at 10608
River Terrace.
File # SP-91-0056DS

A request has been received from Robert James Architects, on behalf of Harley Ford, to construct a single-slip boat dock, together with a concrete bulkhead, at Panorama Ranch Homeowners Common Area as an accessory use to 10608 River Terrace.

The legal description of 10608 River Terrace includes a 10' wide undivided space within the "Harbor Area". Attached are details of the project. The site plans have not yet been approved by the Planning and Development Department.

This request meets the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a single-slip boat dock and concrete bulkhead at 10608 River Terrace, in accordance with Site Plan # SP-91-0056DS.

If I can provide you with any additional information, please contact me.

Manuel A. Mollinedo, Director
Parks and Recreation Department

MM:PM

TO: COMMENT DUE DATE: 19-FEB-1991
 FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
 SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0056DS

PROJECT: FORD RESIDENCE BOAT DOCK

10608 RIVER TER

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 11-FEB-1991

ZIP: 78733 FULL PURPOSE
 WATERSHED: Lake Austin

OWNER: FORD, HARLEY D. (512)442-6121
 10608 RIVER TERRACE AUSTIN, TX 78733
 CONTACT: HARLEY D. FORD
 AGENT: ROBERT JAMES ARCHITECTS (512)450-0584
 4601 AVENUE B AUSTIN, TX 78751
 CONTACT: ROBERT H. JAMES

SITE PLAN AREA: 0.000 ACRES (0 SQ FT)
 UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
 EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	RESIDENTIAL BOATDOCK

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
 QUALIFIES AS A SMALL PROJECT
 TIA IS NOT REQUIRED
 FEE RECEIPT #: 916054

SUBD NAME:
 BLOCK/LOT:
 PLAT BOOK/PAGE: BOOK 6, PAGE 151
 LEGAL DESCRIPTION:
 LOT 13 PANORAMA RANCH SECTION ONE & 10'-0" UNDIVIDED SPACE 14 "HABOR AREA"

VARIANCES/WAIVERS, BONUSES:

** REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM **

**ROBERT JAMES
ARCHITECTURE**

4601 Avenue B, Austin, Texas 78751

(512) 450-0589

February 8, 1991

Director
City of Austin Parks and Recreation Dept.
1500 West Riverside Drive
Austin, Texas 78704

Re: Proposed Residential Boat Dock for Harley D Ford Sr.

Dear Sirs,

Please accept the enclosed drawings A-1 including:-
Site Plan, Floor Plan - Boat Slip Level,
& Side Elevation
for a Boat Dock for the Ford Residence.

Street Address: 10608 River Terrace & 10616 River Terrace Ext.
Panorama Ranch, Austin, Texas.

Legal Description: Lot 13, Panorama Ranch Subd., Section One
Travis County, Texas (Plat Book 6, Page 151)
& an undivided Ten Foot wide waterfront space
in "Neighborhood Harbor" of Panorama Ranch,
Section One, River Terrace, Travis County, Texas

The Boat Slip will be constructed of Wolmanized Yellow Pine, Cedar & Steel above the water and steel pipe columns below the water. The Retaining Wall to be steel reinforced concrete or concrete block filled and reinforced.

The Starting Date of Construction will be as soon as possible after receipt of all necessary approvals. (February 1991)

Should you require any additional information or clarification, please do not hesitate to contact me.

Yours,



Robert H. James RIBA., AIA.

**ROBERT JAMES
ARCHITECTURE**

4601 Avenue B, Austin, Texas 78751

(512) 450-0589

February 8, 1991

City of Austin - Permit Center
301 West 2nd Street
Austin, Texas 78701

SUMMARY LETTER Proposed Residential Boat Dock for Harley D. Ford Sr.

Acreage to be developed: 300 sq.ft. Boat Dock attached to
7.54 Acre Neighborhood Park

Watershed: Lake Austin

Type of Development: Residential Boat Dock

Shoreline Modification: Retaining Wall at Existing Water Line

Dry Land Gained: No significant change

Storm Water Runoff: No significant change

Drainage: No significant change

Character of Land: Minimal change as Dock is adjacent to and
shorter than existing dock.

Exception from Watershed Protection Regulations (Sec 13-2-502 of ILDC)
Not Applicable

ILDC Sec 13-1-604 Small Project as stated in item 10 & 11

ILDC Sec 13-2-709/796 Applicable sections addressed on drawings

ILDC Sec 13-7 No significant change to Water Quality
No trees to be removed

Yours,



Robert H. James RIBA.,AIA



MEMORANDUM

TO: Parks and Recreation Board Members

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: February 13, 1991

SUBJECT: Construction of two-slip boat dock with deck
over, at 704 S. Commons Ford Road.
File # SP-91-0057DS

A request has been received from Robert James Architects, on behalf of William Butschek, to construct a two-slip boat dock with deck over, together with a concrete bulkhead, at Panorama Ranch Homeowners Common Area as an accessory use to 704 S. Commons Ford Road.

The legal description of 704 S. Commons Ford Road includes a 20' wide undivided space within the "Harbor Area". Attached are details of the project. The site plans have not yet been approved by the Planning and Development Department.

This request meets the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a two-slip boat dock with deck over and a concrete bulkhead at 704 S. Commons Ford Road, in accordance with Site Plan # SP-91-0057DS.

If I can provide you with any additional information, please contact me.

Manuel A. Mollinedo, Director
Parks and Recreation Department

MM:PM

TO: COMMENT DUE DATE: 19-FEB-1991
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0057DS

PROJECT: BUTSCHEK RESIDENCE BOAT DOCK

704 S COMMONS FORD RD

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 11-FEB-1991

ZIP: 78733

FULL PURPOSE

WATERSHED: Lake Austin

OWNER: BUTSCHEK, WILLIAM (512)263-5659
704 COMMONS FORD ROAD AUSTIN, TX 78733
CONTACT: WILLIAM F. BUTSCHEK
AGENT: ROBERT JAMES ARCHITECTS (512)450-0584
4601 AVENUE B AUSTIN, TX 78751
CONTACT: ROBERT H. JAMES

SITE PLAN AREA: 0.000 ACRES (0 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	RESIDENTIAL BOATDOCK

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:

TIA IS NOT REQUIRED
FEE RECEIPT #: 916053

SUBD NAME:

BLOCK/LOT:

PLAT BOOK/PAGE: BOOK 2, PAGE 238

LEGAL DESCRIPTION:

1.681 ACRES OF BB MILAM SURVEY #644 & UNDIVIDED 20'-0" SPCE IN "HARBOR AREA"

VARIANCES/WAIVERS, BONUSES:

** REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM **

**ROBERT JAMES
ARCHITECTURE**

4601 Avenue B, Austin, Texas 78751

(512) 450-0589

February 8, 1991

Director
City of Austin Parks and Recreation Dept.
1500 West Riverside Drive
Austin, Texas 78704

Re: Proposed Residential Boat Dock for William F. Butschek

Dear Sirs,

Please accept the enclosed drawing A-1 including:-

Site Plan, Floor Plan-Boat Slip Level
Floor Plan-Deck Level & Side Elevation
for a Boat Dock for the Butschek Residence.

Street Address: 704 Commons Ford Road & 10616 River Terrace Ext.
Panorama Ranch, Austin, Texas.

Legal Description: 1.681 Acres of the B.B. Milam Survey # 644,
being a portion of Lot 27, 28, and 63 of
Bruton Springs Subdivision, Travis County, Texas
(Plat Book 2, Page 238)
& an undivided Twenty Foot wide waterfront space
adjoining the area known as "Harbor Area" in
Panorama Ranch, Section One, River Terrace,
Travis County, Texas (Plat Book 6, Page 151)

The Boat Slip will be constructed of Wolmanized Yellow Pine, Cedar & Steel above the water and steel pipe columns below the water. The Retaining Wall to be steel reinforced concrete or concrete block filled and reinforced.

The Starting Date of Construction will be as soon as possible after receipt of all necessary approvals. (February 1991)

Should you require any additional information or clarification, please do not hesitate to contact me.

Yours,



Robert H. James RIBA., AIA.

**ROBERT JAMES
ARCHITECTURE**

4601 Avenue B, Austin, Texas 78751

(512) 450-0589

February 8, 1991

City of Austin - Permit Center
301 West 2nd Street
Austin, Texas 78701

SUMMARY LETTER Proposed Residential Boat Dock for William F. Butschek

Acreage to be developed: 600 sq.ft. Boat Dock attached to
7.54 Acre Neighborhood Park

Watershed: Lake Austin

Type of Development: Residential Boat Dock

Shoreline Modification: Retaining Wall at Existing Water Line

Dry Land Gained: No significant change

Storm Water Runoff: No significant change

Drainage: No significant change

Character of Land: Minimal change as Dock is adjacent to and
shorter than existing dock.

Exception from Watershed Protection Regulations (Sec 13-2-502 of ILDC)
Property is a Legal Lot

ILDC Sec 13-1-604 Small Project as stated in item 10 & 11

ILDC Sec 13-2-709/796 Applicable sections addressed on drawings

ILDC Sec 13-7 No significant change to Water Quality
No protected trees to be removed

Yours,



Robert H. James RIBA., AIA



MEMORANDUM

TO: Parks and Recreation Board Members

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: February 13, 1991

SUBJECT: Construction of approximately 150' of concrete retaining wall, at 4905 Tortuga Place.
File # SP-91-0058DS

A request has been received from Patrick Roeder, to construct approximately 150' of concrete retaining wall, at 4905 Tortuga Place.

Attached are details of the project. The site plans have not yet been approved by the Planning and Development Department. This retaining wall project is located on Dry Creek and not on the main body of Lake Austin.

This request meets the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

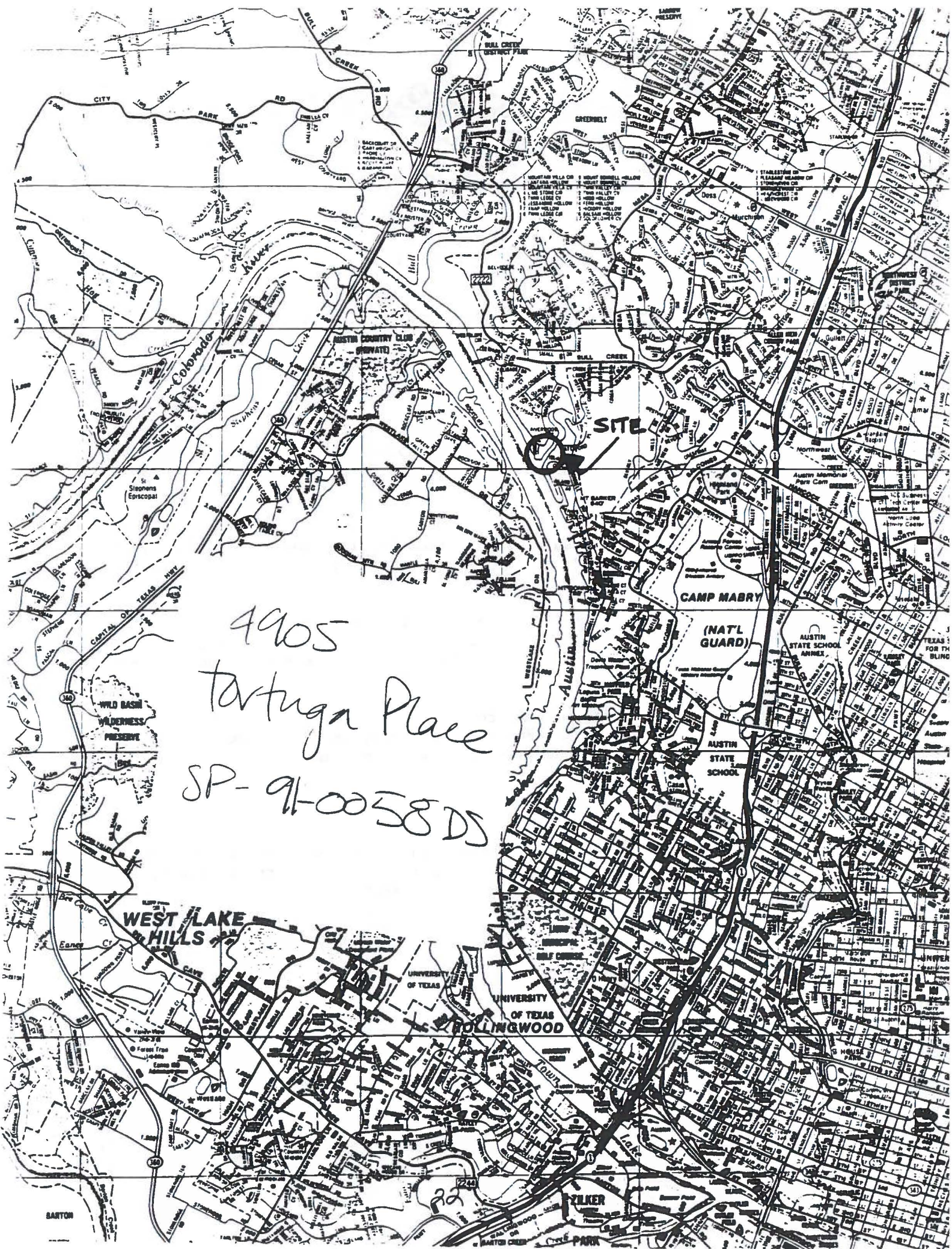
Recommendation

I recommend approval of the request to construct approximately 150' of concrete retaining wall at 4905 Tortuga Place, in accordance with Site Plan # SP-91-0058DS.

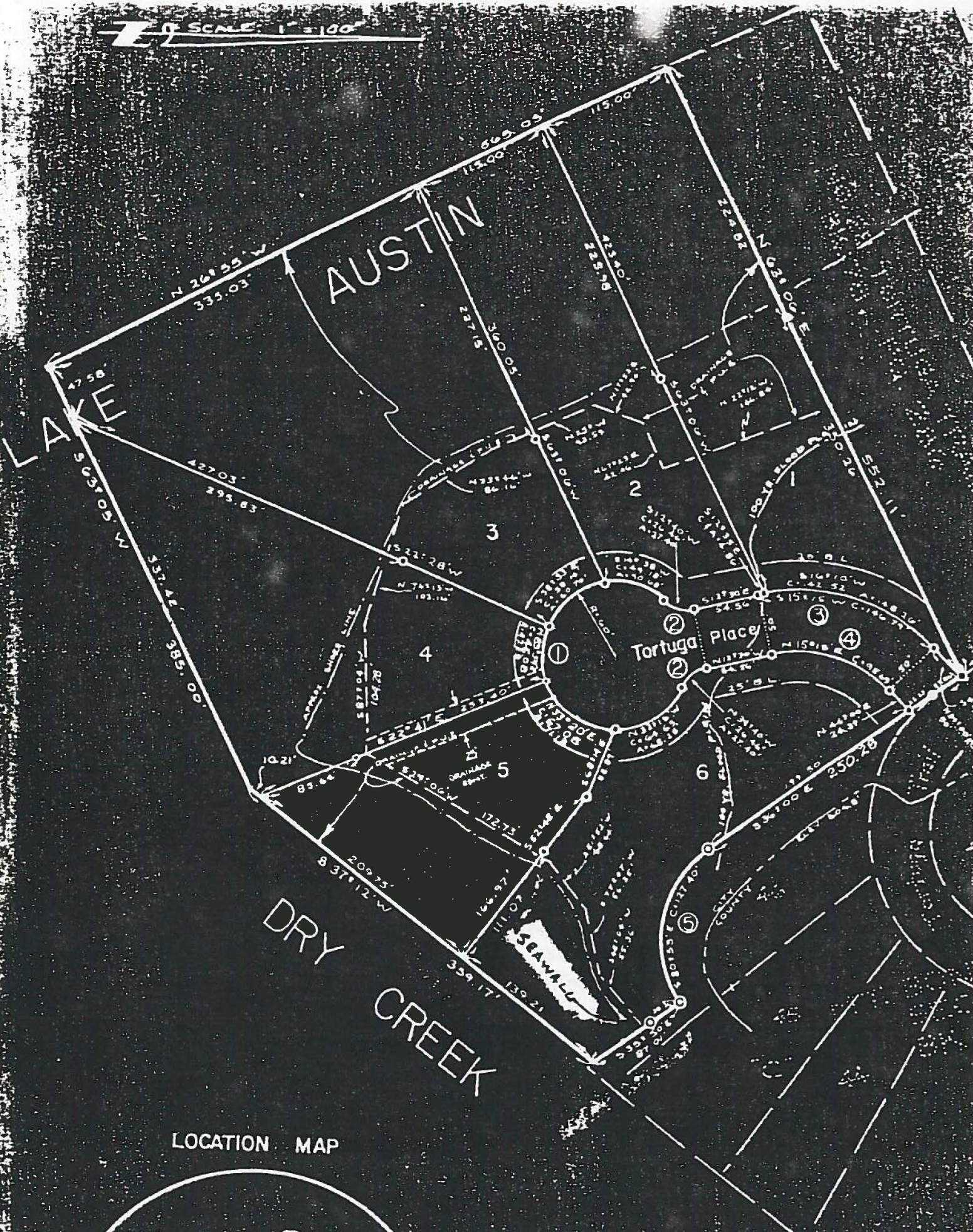
If I can provide you with any additional information, please contact me.

Manuel A. Mollinedo, Director
Parks and Recreation Department

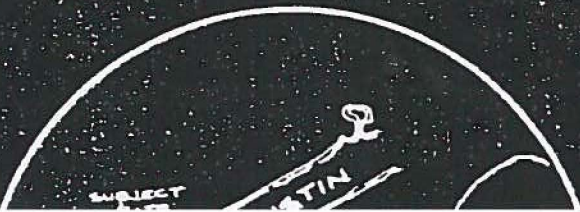
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SCALE: 1" = 100'

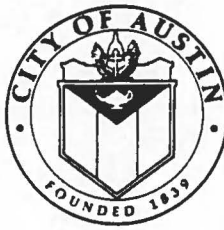


LOCATION MAP



CURVE DATA

LEGEND:



RECEIVED

FEB 12 1991

PARKS AND RECREATION
CITY OF AUSTIN

M E M O R A N D U M

TO: Manuel Mollinedo, Director
Parks and Recreation Department

FROM: Wm. R. Stockton, P.E., Director
Department of Public Works and Transportation

DATE: February 8, 1991

SUBJECT: Lowering of Town Lake Water Level
For Construction of South First Street
Bridge Improvements (C.I.P #825-607-2064)

The State Department of Highways and Public Transportation recently awarded the construction contract for improvements to the South First Street Bridge over Town Lake. The existing bridge will be widened to add sidewalks and an additional travel lane in each direction.

To construct the new bridge piers, the lake level must be lowered two feet from the normal pool elevation of 428.5 feet, for a period of six to eight weeks. The anticipated starting date for this is March 25, 1991.

At the request of the Electric Department, who is responsible for regulating the lake level, we are asking that the Parks Board be notified of the proposed lake lowering. All the affected parties (property owners, lake front businesses, etc.) must be notified by the Electric Department approximately two weeks prior to the lowering. The scheduling of this item at the next available Parks Board meeting would therefore be greatly appreciated.

If you have any questions on this or any other aspect of the South First Street Bridge improvements, please contact Anne Scharlach at 499-7228. Thank you for your assistance on this issue.

Wm. R. Stockton, P.E., Director
Department of Public Works and Transportation

WRS:AS:dm
5093

xc: Walter Boettcher
Nathaniel Cannon, Electric Dept
Peter Marsh, PARD
Anne Scharlach