M E M O R A N D U M

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director
Parks and Recreation Department

DATE: September 5, 1991

SUBJECT: Construction of Wave Barrier, at 1301 Weston Lane North
File # SP-91-0142DS

A request has been received from Kerry Blackmon, on behalf of Inoue Chitaru, to construct a Wave Barrier, at 1301 Weston Lane North.

This is a revision of a previous request submitted to the Board for review at the meeting held on July 8, 1991. At that time the project was to construct a wave barrier approximately 30" high to prevent erosion of the shoreline. The Board gave its approval to the request subject to letters of non-objection from the property owners on each side, these letters were never submitted to the Parks and Recreation Department.

The revised project now proposes an 8' high retaining wall constructed with large limestone blocks along 100' of shoreline frontage. Attached are details of the project and the review comments from the Parks and Recreation Department staff.

The site plan meets the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments), with one exception.

From the plan and cross sections provided it appears that the face of the retaining wall will be constructed between 3'and 7' beyond the existing shoreline. Retaining walls are permitted to prevent erosion of the shoreline and not to enable additional land to be gained from the lake.

To construct this project without major earth moving it is necessary for the wall to be constructed at the toe of the existing slope, which will encroach into the water beyond the existing shoreline. This project, however will not gain any useful additional land.

Parks and Recreation Board
Wave Barrier, 1301 Weston Lane N.
September 5, 1991

The proposal is to construct the wall straight for 85' although the shoreline is sinuous. To minimize encroachment into the water by the wall I recommend that the alignment of the wall should follow the existing shoreline.

To reduce erosion occurring at the ends of the wall the wall should be tied into any existing shoreline improvements on the adjacent properties. The Board may also wish to require the letters of non-objection from adjacent neighbors as requested previously.

Recommendation

I recommend approval of the request to construct an 8' high wave barrier at 1301 Weston Lane North, in accordance with Site Plan # SP-91-0142DS, subject to:

1. The wall following the existing alignment of the shoreline to minimize encroachment into the water.

2. The ends of the wall are tied into any existing shoreline improvements on the adjacent properties.

If I can provide you with any additional information, please contact me.

Manuel A. Mollinedo, Director
Parks and Recreation Department

MM:PM

D I S T R I B U T I O N M E M O R A N D U M 20-AUG-1991

TO: COMMENT DUE DATE: 26-AUG-1991
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0142DS
UPDATE #1

PROJECT: WAVE BARRIER FOR EROSION CONTROL
(SHORELINE MODIFICATION FOR C. INOUE)

1301 N WESTON LA

CASE MANAGER: NEWMAN, MIKE 499-2706

APPLICATION DATE: 20-AUG-1991

ZIP: 78733 FULL PURPOSE
WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: INOUE, CHITARU (512)258-8753
1301 WESTON LANE AUSTIN, TX 78733
CONTACT: KERRY BLACKMON
AGENT: BLACKMON, KERRY O., ASLA (512)258-8753
6304 AVERY ISLAND AVENUE AUSTIN, TX 78727
CONTACT: KERRY BLACKMON

SITE PLAN AREA: 0.000 ACRES (0 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	WAVE BARRIER

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 0983823

SUBD NAME: ROB ROY ON THE LAKE SECTION ONE
BLOCK/LOT: BLOCK A LOT 33
PLAT BOOK/PAGE: 83 PAGE 112D-114B

VARIANCES/WAIVERS,BONUSES:

** REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM **

REVIEW COMMENTS

TO: SITE PLAN PROCESSING CASE MANAGER: Newman, Mike

FROM: FILE NUM: SP-91-0142DS

PROJECT NAME: WAVE BARRIER FOR EROSION CONTROL (SHORELINE MODIFI

LOCATION: 1301 N WESTON LA

DUE DATE: 26-AUG-1991

REVIEWER: MARSH, PETER

DATE: 27-AUG-1991

ED 1. This appears to be more than an update, the original project was for a "wave barrier" a maximum of 30" high to break the wave action that is causing erosion. The updated project is now proposing a "retaining wall" a maximum of 8' high along its complete length.

ED 2. The cross sections 'B' and 'C' appear to indicate that the toe of the wall will be constucted infront of the existing shoreline thus reclaiming additional land. Section 13-1-604(10) describes a small project as "Construction...of a retaining wall...with backfill that does not reclaim substantial land..." Will construction of this wall in the location indicated on the plan reclaim "substantial land"?

ED 3. This project was previously approved by the Parks and Recreation Board pending letters of non-objection from the property owners on each side. However because of the substantial change in the scope (from 30" high wave barrier to 8'high retaining wall) this will be resubmitted for their further consideration at the meeting to be held on September 24, 1991. This site plan was filed on August 20, 1991 too late for the August meeting agenda which closed on August 13, 1991.

ED 4. The shorelines of, and any improvements to the adjacent properties upstream and downstream of this location should be indicated. This proposed wall should tie into any improvements on the adjacent properties to prevent further erosion occuring at the ends of the walls.

ED 5. The operation of construction should be indicated. Will all construction operation take place with a crane from the top of the bluff or will a construction access road be constructed to allow construction from lake level?

PRIMEAUX ENGINEERING
(C. Darryl Primeaux, Inc.)

510 Bulian Lane
Austin, Texas 78746
512/327-6729

Civil Engineering
Water Engineering
Fax 512/327-3258

August 20, 1991

City of Austin
Department of Planning and Development
P.O. Box 1088
Austin, Texas 78767

Re: SP-91-0142DS
Wave Barrier for Erosion Control
1301 Weston Lane

Attention: Mr. Mike Newman
Case Manager

Gentlemen:

I am submitting herewith five (5) copies of a revised plan for the wave barrier for the property located at 1301 Weston Lane.

The project reflects several changes from the original submittal by Mr. Blackmon, Landscape Architect. The drawing reflects the following revisions per the City of Austin's comments:

1. A detailed drawing of the silt fence is included on the drawing.

2. The standard City of Austin's General Construction Notes have been added to the drawing.

3. The Normal Pool Elevation (492.8) contour is indicated on the plan. A parallel line, 75-feet inland, indicating the Critical Water Quality Zone, has been added to the drawing.

4. The Owner desires to try to maintain as much natural vegetated ground as possible, while trying to match the house stone with the wall stone. The wall has been revised to the maximum height allowed of eight (8) feet to conform to the City of Austin requirements. A large stone wall is proposed, consisting of stones sized 1.5' x 1.5' x 2' to 2' x 2' x 4', bedded on a 6" work slab. These rocks will be white to match the house color. The balance of the slope will be stabilized with a fabric cover, and planted with honeysuckle plants. The honey suckle plants are perennial, and will sustain moderately long, severe cold periods, typical of the Austin weather. It is felt that this wall will provide a maintenance free wall, consistent with the Owner's desires. The wall will have pea gravel backing, and will be permeable to allow for drainage through the wall, thereby eliminating any hydrostatic pressure behind the wall.

There is an existing drainage easement on the southerly property line. All drainage from the lot flows to the drainage easement naturally. The location of the existing overflow is outside of this drainage area, and only handles a small drainage area on the lot, which can easily be diverted to the drainage easement. It is planned ultimately, to have all of the drainage go to the south line, and to construct a concrete flume, as the neighbor to the south has done. However, any construction in an easement will change the project to a "major project" rather than a "small project". Since the Owner is anxious to start on the project, we will postpone the drainage modification until the remainder of the wall is constructed. We will make temporary repairs to the existing rock and mortar flume at this time.

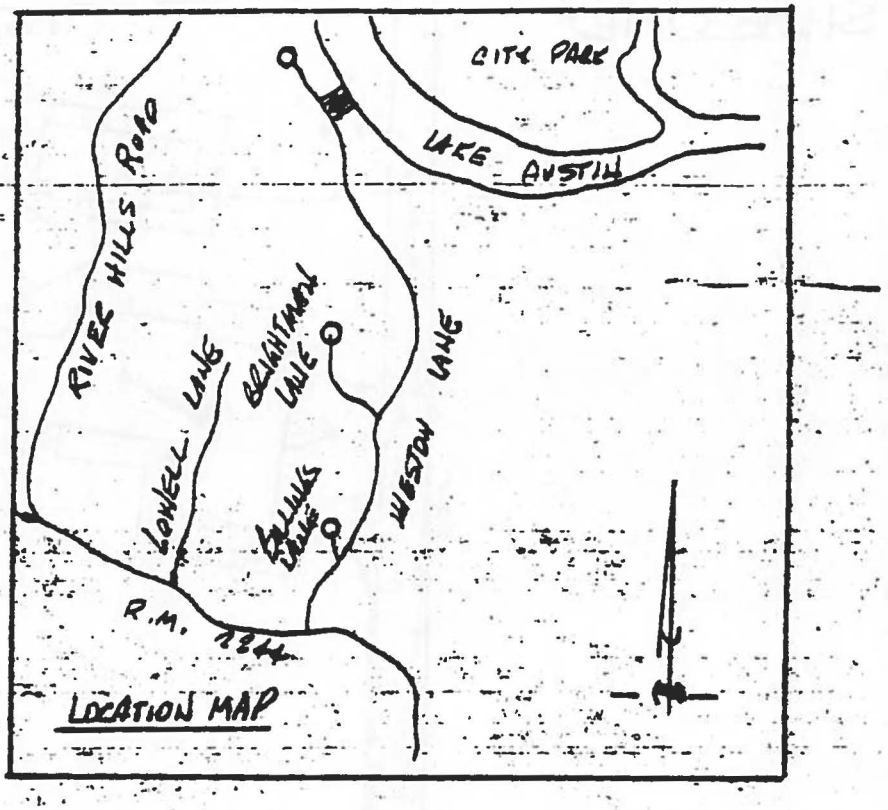
5. I have shown three (3) cross sections of the property, at the south side, at the center and at the north side, which show the actual slope of the bank at these points.

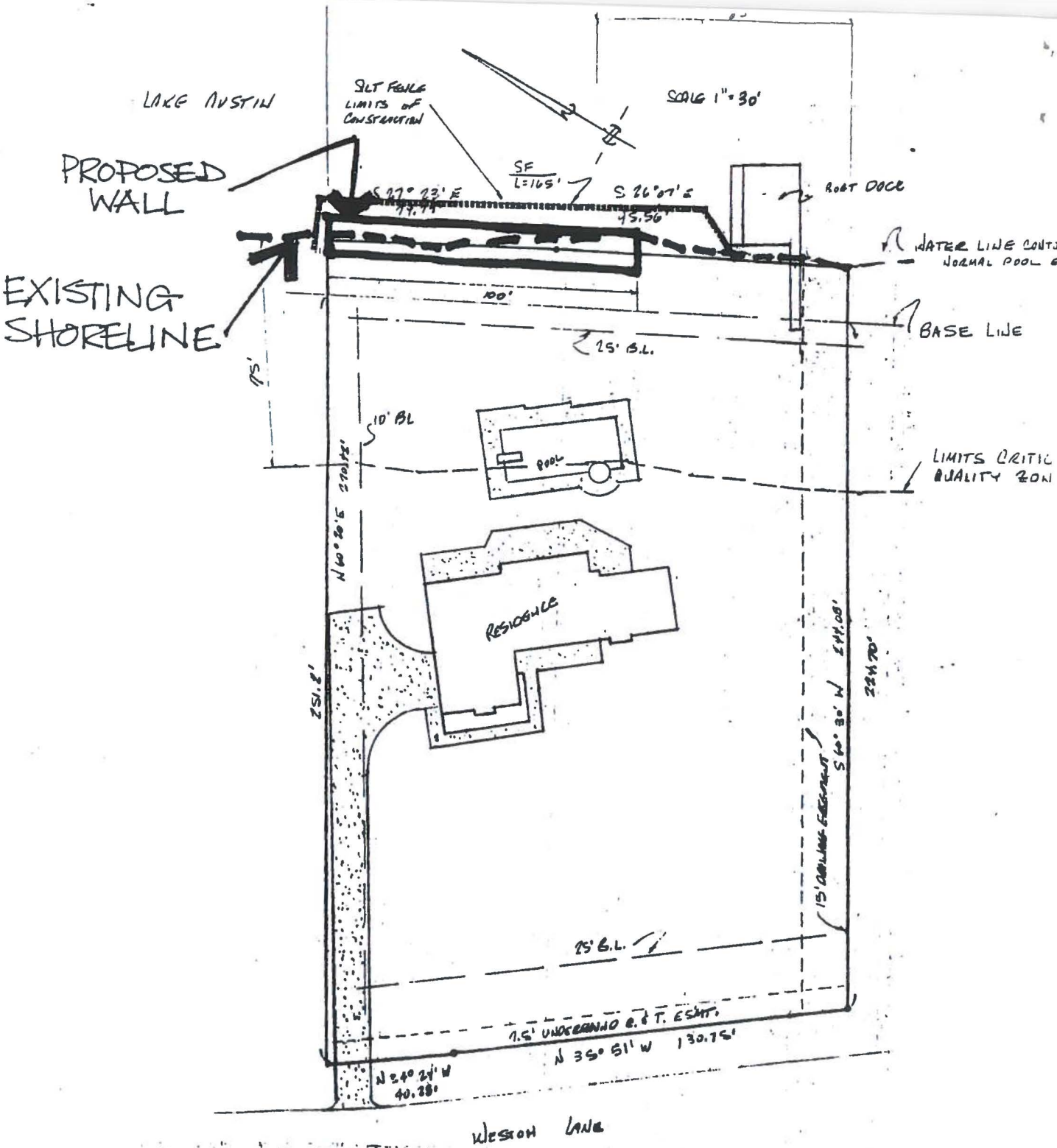
6. The normal force of the wave barrier, consisting of the weight of the rocks, will be greater than the lateral force of the earth behind the wall. The slope from the top of the wave barrier to the top of the bank will be at least 1:1. The face of this slope will be protected with a fabric matting and a vegetative cover. This should prevent further sloughing of the bank, and protect the toe of the slope from erosion.

If you have any questions, please contact me.

Respectfully submitted,

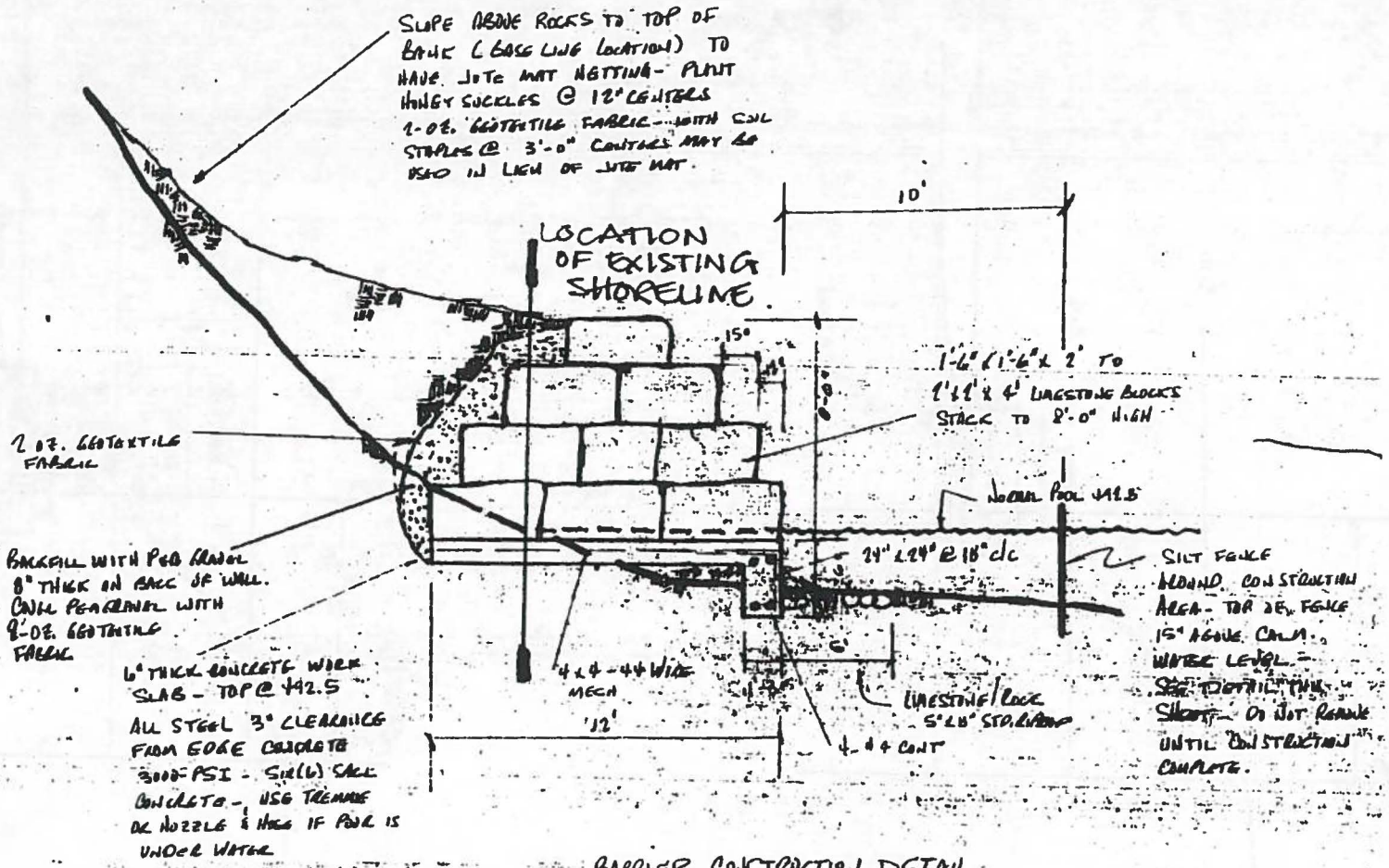
C. Darryl Primeaux, P.E.

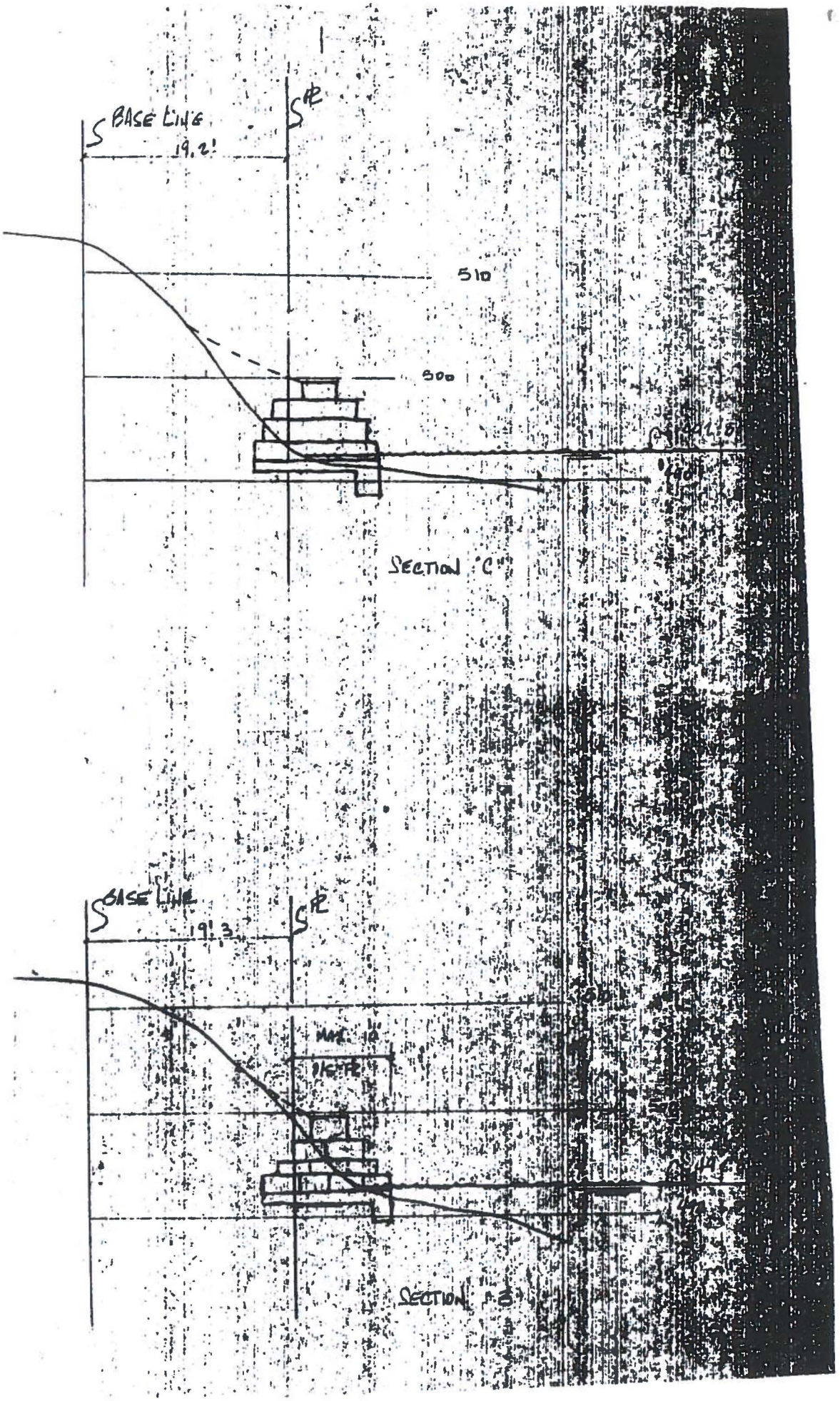

CITY PARK
LAKE AUSTIN
RIVER HILLS ROAD
LOWELL LANE
BRIGHTHAVEN LANE
WESTON LANE
R.M. 2244
LOCATION MAP



LEGAL DESCRIPTION

LOT 33, BLOCK A, ROB ROY ON THE LAKE SUBDIVISION, SECTION ONE.
1301 WESTON LANE; AUSTIN, TEXAS 78733


SLOPE ABOVE ROCKS TO TOP OF BANK (EXISTING LOCATION) TO HAVE JUTE MAT NETTING - PLANT HONEY SUCKLES @ 12" CENTERS
1-OZ. GEOTEXTILE FABRIC - WITH COIL STAPLES @ 3'-0" CENTERS MAY BE USED IN LIEU OF JUTE MAT.
10'
LOCATION OF EXISTING SHORELINE
15'
1'-6" x 1'-6" x 2' TO 1'-11" x 4' LIMESTONE BLOCKS STACK TO 8'-0" HIGH
2 OZ. GEOTEXTILE FABRIC
NORMAL POOL 442.5
BACKFILL WITH PEA GRAVEL 8" THICK ON BACK OF WALL. CAP PEA GRAVEL WITH 9'-OZ. GEOTEXTILE FABRIC
24" x 24" @ 18" o/c
SILT FENCE
6" THICK CONCRETE WORK SLAB - TOP @ 442.5
4 x 4 - 4# WIRE MESH
LIMESTONE ROCK 5' LB" STD. GRADE
ALL STEEL 3" CLEARANCE FROM EDGE CONCRETE 3000-PSI - SIZE(S) SACK CONCRETE - USE TREMIE OR NOZZLE & HOSE IF POUR IS UNDER WATER
12'
4 - 4 CONT
BARRIER CONSTRUCTION DETAIL
SCALE 1/4" = 1'


BASE LINE
19.2'
510
500
SECTION 'C'
BASE LINE
19.3'
SECTION 'B'