



M E M O R A N D U M

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of single-slip boat dock, at 1600 Rock Cliff
File # SP-93-0019DS

A request has been received from Cross/Recek Architects, on behalf of Don Pierro, to construct a single-slip boat dock with deck over, at 1600 Rockcliff Road.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments) with the exception of the decorative lighting proposed for the deck.

Recommendation

I recommend approval of the request to construct a single-slip boat dock with deck over at 1600 Rockcliff Road, in accordance with Site Plan # SP-93-0019DS, subject to the following:

1. The decorative lighting on the deck above the boat dock must be screened or shielded from view from the lake in accordance with Section 13-2-793(7)

If I can provide you with any additional information, please contact me.


Michael J. Heitz, AIA, Director
Parks and Recreation Department

CROSS/RECEK ARCHITECTS

MEMBER AMERICAN INSTITUTE OF ARCHITECTS

3313 HANCOCK DRIVE
AUSTIN, TEXAS 78731
512 452-0229

January 11, 1993

Parks & Recreation Board
1500 Riverside Drive
Austin, TX 78741

Dear Sirs:

I am making it known that, Mr & Mrs. Don Pierro, would like to build a boat dock on Lake Austin at 1600 Rockcliff Road. The legal description is: lot 1, Almeda Estate in Travis County, Texas as recorded in volume 7668, page 385.

Specifically, the dock will be built off of an existing bulkhead. Its measures twenty-five feet (25ft.) wide by thirty feet (30ft) in length, all of which will be built into the lake. Some scraping may be necessary at the base of the bulkhead to remove any excess sediment. The construction of the dock will consist of wolmanized pilings, piers, and all deck and ceiling members.

Sincerely yours,

Jim A. Recek
Jim A. Recek, AIA





MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of a single slip-boat dock and retaining wall
at 707 River Road
File # SP-93-0043DS

A request has been received from June Melton, to construct a single-slip boat dock and rock retaining wall, at 707 River Road.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a single-slip boat dock and rock retaining wall at 707 River Road, in accordance with Site Plan # SP-93-0043DS.

If I can provide you with any additional information, please contact me.


Michael J. Heitz, AIA, Director
Parks and Recreation Department

MH:PM

AMSTAR ENGINEERING, INC.

**Structural/Civil Consultants
1301 Thaddeus Cove
Austin, Texas 78746
(512) 328-2606**

January 28, 1993

Director, Parks and Recreation Department
Director, Department of Planning and Development
301 West 2nd St.
Austin, TX 78767

Ref: Boat dock application
707 River Road
Lot 11, Horseshoe Bend Estates

Dear Sir or Madam:

The attached plans and specifications are for construction of a boat dock at Lake Austin adjoining the subject property. Construction must begin prior to refilling of Lake Austin.

A bulkhead is depicted on the plans to support the boat dock and to help stabilize a large pecan tree adjoining the boat dock. Land was lost during the opening of floodgates at Mansfield Dam in early 1982 and riprap will be used to stabilize the tree and to cover and protect exposed tree roots.

There will be no dredging. There will be no cut operation. The only fill behind the bulkhead will be the stone riprap intermixed with some dirt.

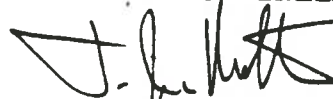
There will be no machinery or trucks and tree protection is not necessary. Stone riprap and wall will be hauled and placed by hand.

The project is in the Lake Austin Watershead and the property has a rural water supply.

In our opinion, the project will have no adverse effect on the natural and traditional character of the land and waterways.

We request that this project be permitted as a small project.

Yours truly,
AMSTAR ENGINEERING, INC.



T. June Melton, P.E.

encl.





M E M O R A N D U M

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of two-slip boat dock at 2207 Big Horn Drive
File # SP-93-0047DS

A request has been received from John Goldstone to construct a two-slip boat dock with deck over, at 2207 Big Horn Drive.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a two-slip boat dock with deck over at 2207 Big Horn, in accordance with Site Plan # SP-93-0047DS.

If I can provide you with any additional information, please contact me.

Michael J. Heitz, AIA, Director
Parks and Recreation Department

MH:PM

D I S T R I B U T I O N M E M O R A N D U M 2-FEB-1993

TO: COMMENT DUE DATE: 10-FEB-1993
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0047DS

PROJECT: GOLDSTONE BOAT DOCK
2207 BIG HORN DR

CASE MANAGER: HAMILTON, SHAW 499-2751

APPLICATION DATE: 2-FEB-1993

ZIP: 78734 FULL PURPOSE
WATERSHED: Lake Austin

OWNER: GOLDSTONE, JOHN (214)969-4655
1700 PACIFIC #4100 DALLAS, TX 75201
CONTACT: JOHN GOLDSTONE

SITE PLAN AREA: 0.037 ACRES (1599 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
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RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 1182793

SUBD NAME: APACHE SHORES SECTION 4
BLOCK/LOT: BLOCK A, LOT 678A
PLAT BOOK/PAGE: BOOK 52, PAGE 18

PARCEL #:

VARIANCES/WAIVERS, BONUSSES:

AKIN, GUMP, STRAUSS, HAUER & FELD, L.L.P.

1333 NEW HAMPSHIRE AVENUE, N.W.
SUITE 400
WASHINGTON, D.C. 20036
(202) 887-4000

65 AVENUE LOUISE, P.B. NO. 7
1050 BRUSSELS, BELGIUM
(011) 32-2-535 29 11

ATTORNEYS AT LAW

A REGISTERED LIMITED LIABILITY PARTNERSHIP
INCLUDING PROFESSIONAL CORPORATIONS

4100 FIRST CITY CENTER
1700 PACIFIC AVENUE
DALLAS, TEXAS 75201-4618

(214) 969-2800

TELEX 732324

FAX (214) 969-4343

2100 FRANKLIN PLAZA
111 CONGRESS AVENUE
AUSTIN, TEXAS 78701
(512) 499-6200

1500 NATIONSBANK PLAZA
300 CONVENT STREET
SAN ANTONIO, TEXAS 78205
(210) 270-0800

1900 PENNZOIL PLACE-SOUTH TOWER
711 LOUISIANA STREET
HOUSTON, TEXAS 77002
(713) 220-5800

WRITER'S DIRECT DIAL NUMBER (214) 969- 4655

January 30, 1993

VIA FEDERAL EXPRESS

Director, Parks and Recreation
Department, City of Austin
301 West 2nd Street
Austin, Texas 78701

Re: Approval of Small Project Boat Dock located
on 2207 Big Horn, Austin, Texas 78734

Dear Sir:

By this letter, I am hereby proposing to construct a boat
dock on my property at 2207 Big Horn, Austin, Texas 78734.

Enclosed please find several copies of the construction plans
for this project.

The legal description of the property is Lot 678A, Block A,
Apache Shores, Section 4, County of Travis, Texas.

The type of construction will be concrete piers down to
bedrock supporting the structure and wood construction for the
structure itself.

Please place this project on your agenda for your
February 23, 1993 Board Meeting. If you have any questions or
comments, please do not hesitate to call me at 214-969-4655
collect.

Sincerely,


John Goldstone



MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of retaining wall at 6707 Leprechaun Drive
File # SP-93-0055DS


A request has been received from Kurt Simmons to construct a reinforced concrete retaining wall, at 6707 Leprechaun Drive.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a reinforced concrete retaining wall at 6707 Leprechaun Drive, in accordance with Site Plan # SP-93-0055DS.

If I can provide you with any additional information, please contact me.


Michael J. Heitz, AIA, Director
Parks and Recreation Department

MH:PM

D I S T R I B U T I O N M E M O R A N D U M

8-FEB-1993

TO: COMMENT DUE DATE: 16-FEB-1993
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0055DS

PROJECT: SIMONS RETAINING WALL

6707 LEPRECHAUN DR

CASE MANAGER: HAMILTON, SHAW 499-2751

APPLICATION DATE: 8-FEB-1993

ZIP: 78746 FULL PURPOSE
WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: SIMONS, KURT (512)327-7070
6707 LEPRECHAUN AUSTIN, TX
CONTACT: KURT SIMONS

SITE PLAN AREA: 0.002 ACRES (99 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
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RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 1221217

SUBD NAME: RIVERCREST ADDITION SECTION TWO
BLOCK/LOT: BLOCK A, LOT 41
PLAT BOOK/PAGE:

PARCEL #:

VARIANCES/WAIVERS, BONUSSES:

Kurt Simons Companies, Inc.

February 5, 1992

Site Summary Letter

The attached plans show the area of 100 ft. of retaining wall that is to be reconstructed along the canal of Lot 41 Block A of Rivercrest Subdivision Section 2. This work is planned to be completed prior to the lake water level being increased.



MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of retaining wall, at 3123 Ski Shores Terrace
File # SP-93-0058 DS

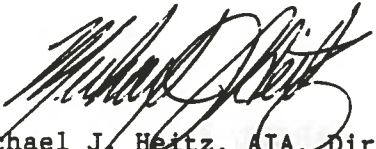
A request has been received from Conrad Derdeyn to construct a reinforced concrete retaining wall to repair an existing failed masonry wall at 3123 Ski Shores Terrace.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

Recommendation

I recommend approval of the request to construct a reinforced concrete retaining wall at 3123 Ski Shores Terrace, in accordance with Site Plan # SP-93-0058 DS.

If I can provide you with any additional information, please contact me.


Michael J. Heitz, AIA, Director
Parks and Recreation Department

MH:PM

TO: COMMENT DUE DATE: 17-FEB-1993
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0058DS

PROJECT: DERDEYN RETAINING WALL
3123 SKI SHORES TER

CASE MANAGER: VIGIL, MAPI 499-2636

APPLICATION DATE: 9-FEB-1993

ZIP: FULL PURPOSE
WATERSHED: CLASS UNKNOWN

OWNER: DERDEYN, CONRAD (512)331-6888
10515 SCOTLAND WELL DRIVE AUSTIN, TX
CONTACT: CONRAD

SITE PLAN AREA: 0.000 ACRES (0 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
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RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 1221224

SUBD NAME:
BLOCK/LOT:
PLAT BOOK/PAGE:

PARCEL #:

VARIANCES/WAIVERS, BONUSES:

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 3123 Ski Shores Terrace in Austin Texas, being described as

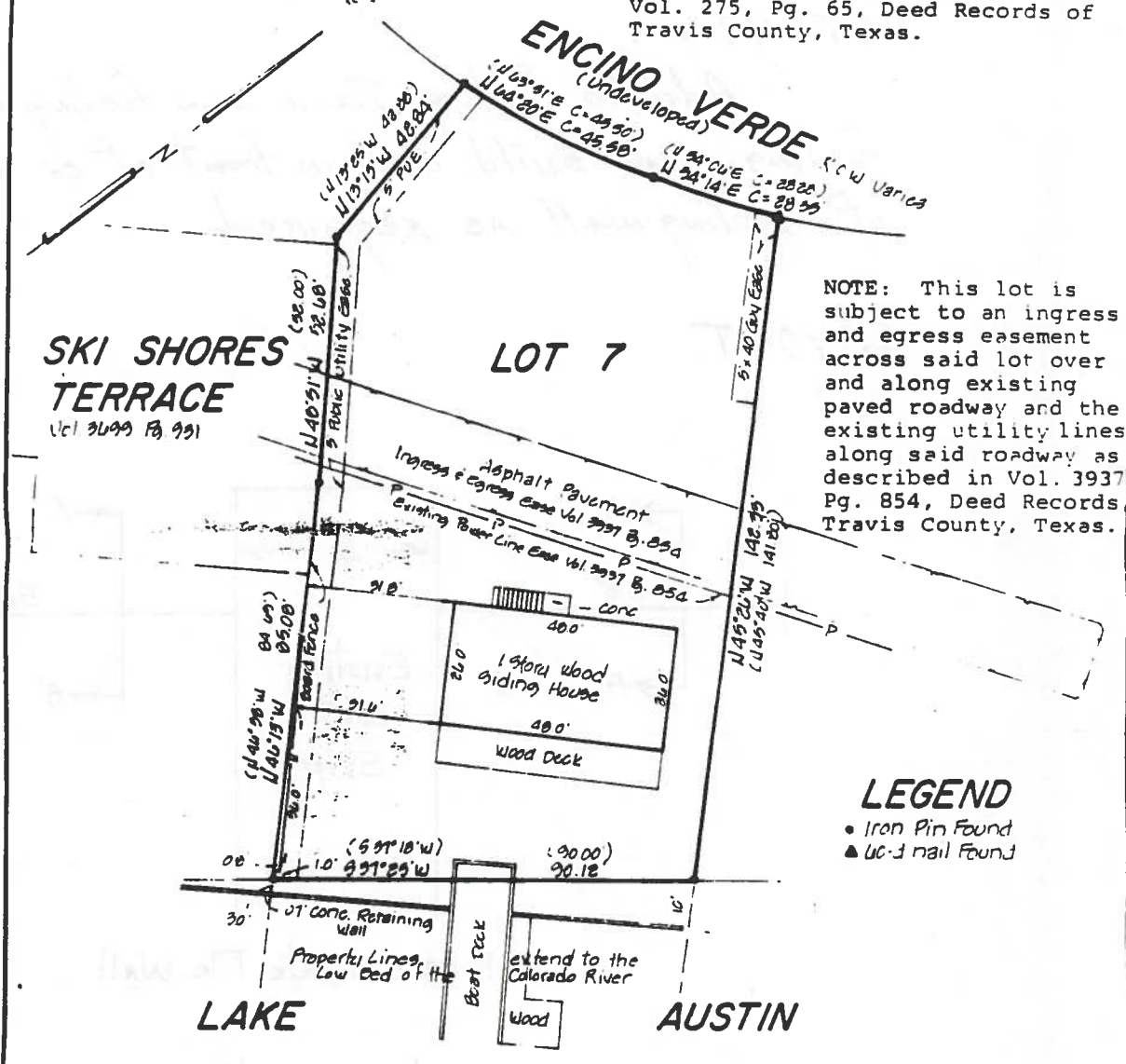
follows: Lot No. 7 Block No. _____ of "Manana Terrace Lots" an addition to Austin

Texas, according to the final plat thereof recorded in Book 51 at page 48

of the Plat Records of Travis County, Texas.

Ref. Derdeyn

NOTE: This lot is subject to overflow easements to the City of Austin recorded in Vol. 120, Pg. 456, & Vol. 275, Pg. 65, Deed Records of Travis County, Texas.



The property described hereon is not located in a designated Flood hazard area, according to map panel 481026 0245B of the April 1, 1982 Flood Insurance Rate Map for Travis County, Texas.

The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct, and that there are no visible discrepancies, conflicts, boundary line conflicts, encroachments, overlapping of improvements, visible utility easements or roadways, except as shown hereon, and that said property has access to and from a dedicated roadway, except as shown hereon.

Douglas A. Seelig
 Reg. Pub. Sur. #1908
 3802 M. L. ...
 Austin, Texas 78704

Date October 17, 1986 Invoice No. 5197 Work Order No. 5197 Scale 1"=30'

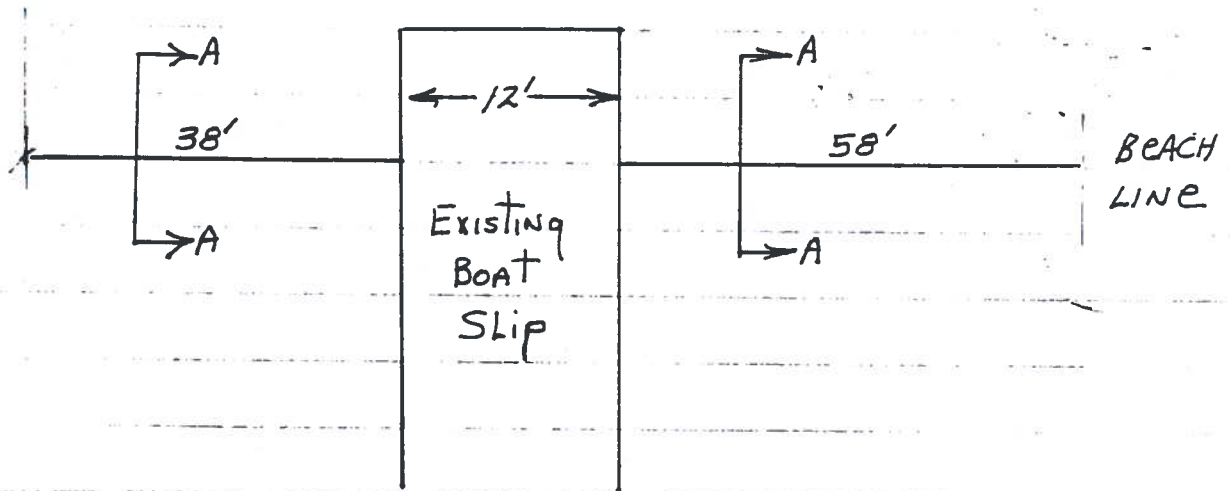
PROJECT DESCRIPTION:

Repair and/or reconstruction of existing retaining wall at 3123 Ski Shores Terrace

ACTIVITY

Add to footing, tie in new footing to old footing, and build wall in front of or in place of existing wall as required.

LAYOUT

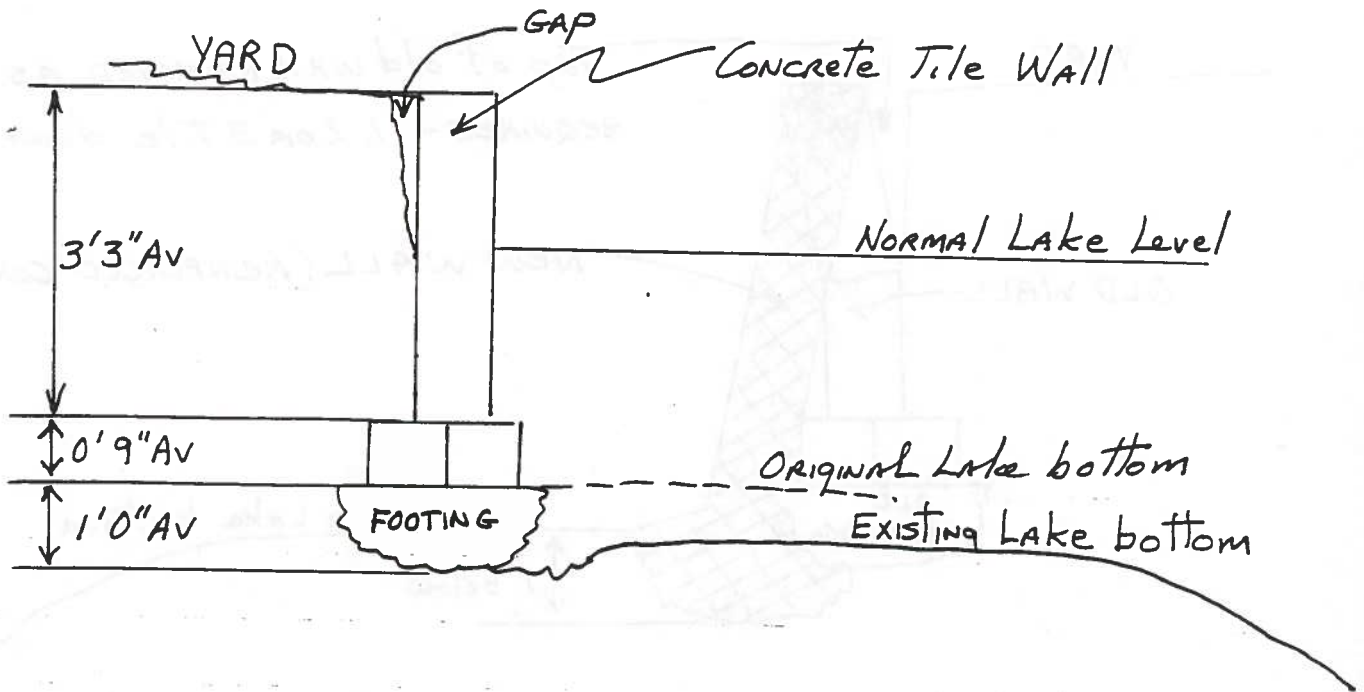


Pier Concrete Tile Wall

Lake Austin

Original concrete tile wall is estimated to have been built in 1967. Property bought in 1978. No known repairs made since 1967.

PROFILE (A-A) EXISTING

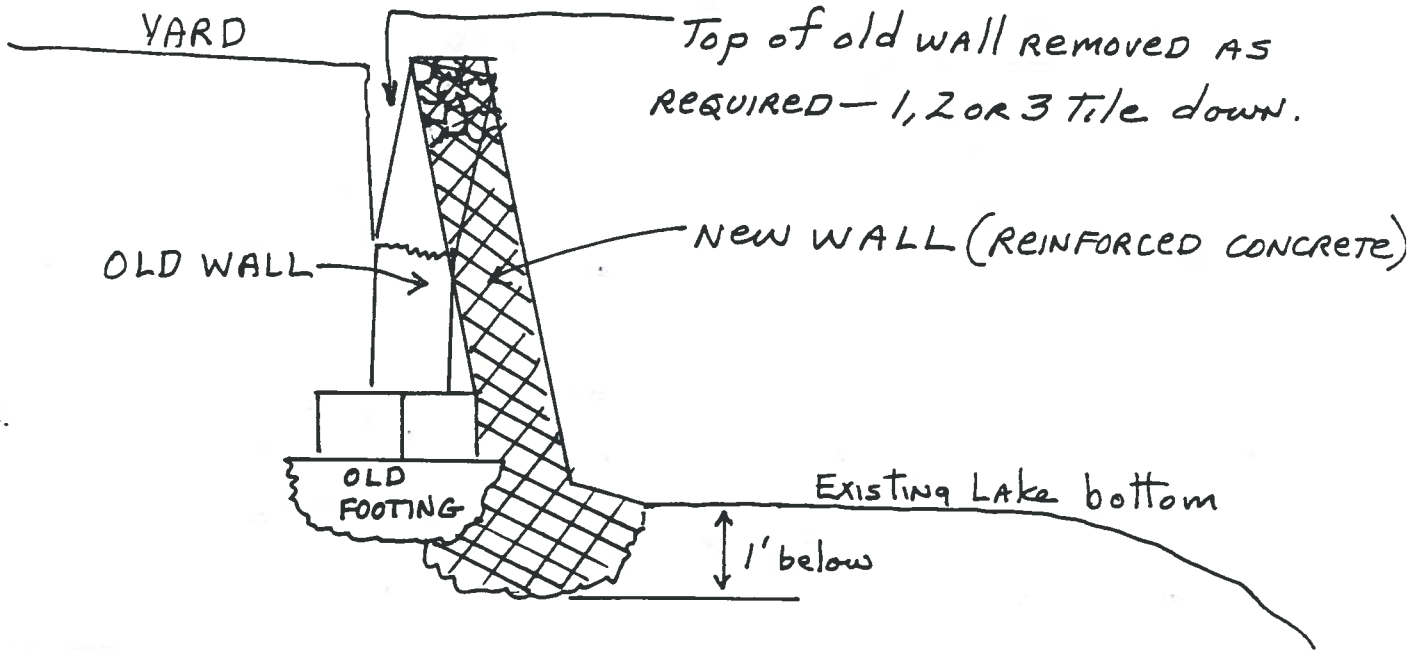


CONDITIONS

1. Footing scoured out on Lake side.
2. Wall cracked
3. Wall forward of original location

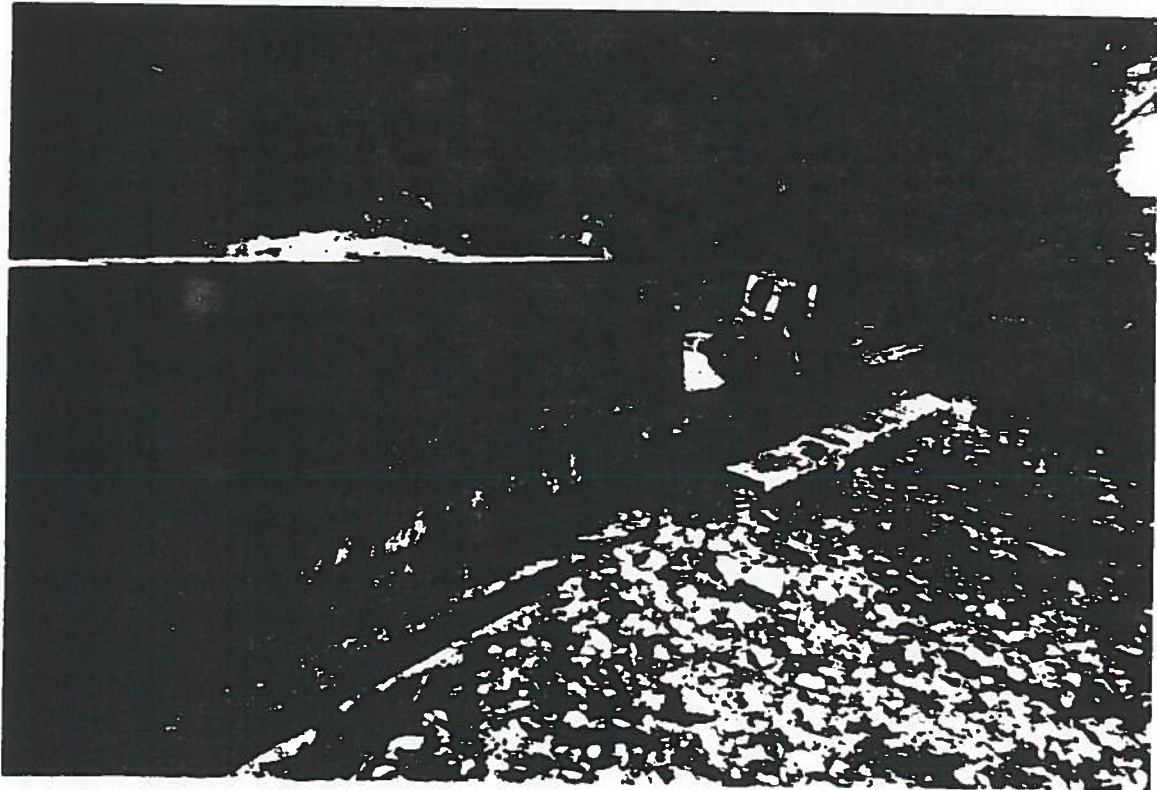
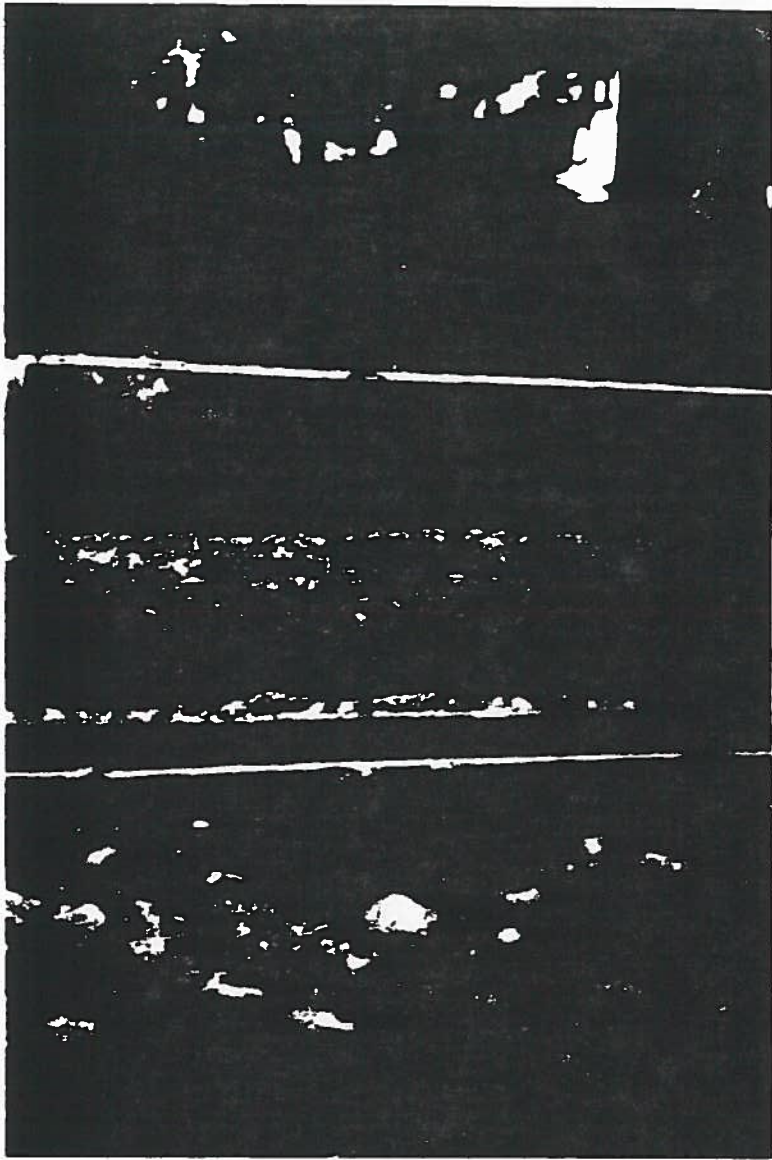
Enclosed are photo's of Feb '93 condition

PROFILE (A-A) PROPOSED



STEEL

No 4 Steel - vertical - horizontal on 1' center
DRILL and pin new footing to old footing.
Five deadends to new wall





MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 16, 1993

SUBJECT: Construction of a single-slip boat dock, at 4502 Waterford Place.
File # SP-93-0029DS

A request has been received from Signor Enterprises Inc., on behalf of R. Blaine Snyder, to construct a covered single-slip boat dock at 4502 Waterford Place.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments), with the exception of meeting the 10' side property line set back requirements.

Recommendation

I recommend approval of the request to construct a covered single-slip boat dock at 4502 Waterford Place, in accordance with Site Plan # SP-93-0029DS, subject to the following conditions:

1. The proposed boat dock must not be constructed closer than 10' to the side property lines of easement #2, in accordance with Section 13-2-795(2).

If I can provide you with any additional information, please contact me.


Michael J. Heitz, AIA, Director
Parks and Recreation Department

TO: COMMENT DUE DATE: 25-JAN-1993
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0029DS

PROJECT: BLAINE SNYDER BOAT DOCK
4502 WATERFORD PL

CASE MANAGER: HAMILTON, SHAW 499-2751

APPLICATION DATE: 15-JAN-1993

ZIP: 78731 FULL PURPOSE
WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: SNYDER, R. BLAINE (512)322-9779
4502 WATERFORD PLACE AUSTIN, TX 78731

CONTACT: R. BLAINE SNYDER
AGENT: SIGNOR ENTERPRISES INC (512)327-6064
5524 WEST BEE CAVES ROAD STE K-5 AUSTIN, TX 78746
CONTACT: RUSTY SIGNOR

SITE PLAN AREA: 420.000 ACRES (18295200 SQ FT)
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	BOAT DOCK

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:
QUALIFIES AS A SMALL PROJECT
TIA IS NOT REQUIRED
FEE RECEIPT #: 1182723

SUBD NAME: WATERFORD PLACE PUD SECTION TWO
BLOCK/LOT: BLOCK B, LOT 2
PLAT BOOK/PAGE: BOOK 86, PAGE 134-B-134D
PARCEL #:

VARIANCES/WAIVERS, BONUSES:


Date: January 12, 1993
To: Director Parks and Recreation Department
From: Signor Enterprises Inc.
Subject: Dock permit, legal address: Lot 2, Block B, Waterford Place P.U.D., Section Two, Amended.

We are requesting approval of our residential boat dock plans at 4502 Waterford Place for construction in February 1993.

The slips are to be built from steel pilings.

This additional construction should not adversely affect any shoreline erosion, drainage, or other environmental concerns.

Thank you for your consideration.


Rusty Signor



M E M O R A N D U M

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director
Parks and Recreation Department

DATE: February 18, 1993

SUBJECT: Interlocal Agreement - Travis County

Travis County has proposed funding increased security for Palm Park and the adjacent County-owned administrative building, the former Palm School. They require the additional security patrols to promote safe access to and use of the administrative offices in the building and the parking area.

At their meeting of February 9, 1993, Commissioners Court approved funding of no more than \$24,084 to pay for one City of Austin Park Police officer to continuously patrol the area. Approval will allow the Park Police to have one officer on site from 7 a.m. to 10 p.m. Monday through Friday and 8 a.m.-1 p.m. Saturday, from February 26, 1993 through May 29, 1993. The contract includes a provision for termination with thirty (30) days notice.

I recommend approval of the Agreement.

James M. Heitz for.

Michael J. Heitz, AIA, Director
Parks and Recreation Department

MJH:KVV

