

H01/1



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: C15-2018-0042

LOCATION: 4214 AVENUE B



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 333'



CITY OF AUSTIN
Development Services Department
One Texas Center | Phone: 512.978.4000
505 Barton Springs Road, Austin, Texas 78704

H01/2

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # C15-2018-0047 ROW # 12030970 Tax # 0221050610

Section 1: Applicant Statement

Street Address: 4214 Avenue B

Subdivision Legal Description:

E 80FT OF LOT 30-32 BLK 1 HYDE PARK ADDN NO 2

Lot(s): 30-32 Block(s): 1

Outlot: -- Division: --

Zoning District: SF-3-HD-NCCD-NP (Hyde Park)

I/We Lotte Vehko on behalf of myself/ourselves as
authorized agent for Ben Reid affirm that on
Month September, Day 10, Year 2018, hereby apply for a hearing before the
Board of Adjustment for consideration to (select appropriate option below):

☒ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other:

Type of Structure: new detached two-car garage with second floor living space

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

ORDINANCE NO. 020131-20, Part 8, #10a -- we request that the accessory building setback from Avenue B be reduced from 60 feet to 33 feet.

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

The regulation requires that an accessory building be placed 60 feet from a property that faces an avenue and 5 feet from the rear property line. The subject lot faces Avenue B. It is 75 feet wide and 80 feet deep and has an existing single family home. Complying with the regulation as written does not allow a reasonable space to add an accessory structure because when combining both setback rules only fifteen feet of space remain for construction of the new garage. That small buildable space is inadequate for a garage intended to store a vehicle.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

The 75 X 80 lot size and shape is not common to the area; most lots are narrower and deeper. Additionally, there are several heritage-size trees and an historic well, that limit locations that a new garage can be placed.

b) The hardship is not general to the area in which the property is located because:

The deeper and narrower lots more common to the area allow adherence to the regulation and provide enough room for an adequately-sized garage. Additionally, the existing house is about 8'-9" forward of the front setback, unlike adjacent properties. The combination of these factors makes this hardship not general to the area.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Many houses in Hyde Park have two-story garages at the rear of their lots and this is a traditional historic configuration for the neighborhood. The proposed new garage will be designed to be stylistically compatible with these existing traditional structures and will preserve the privacy sightlines of adjacent properties to the greatest extent possible. The spirit of the regulation (to keep garages well back from the front facade of houses) will be preserved because the existing house placement is almost 10' in front of the front setback.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: _____ Date: 09/10/2018

Applicant Name (typed or printed): Lotte Vehko

Applicant Mailing Address: 807 Porter Street

City: Taylor State: TX Zip: 76574

Phone (will be public information): (512) 708-0703

Email (optional – will be public information): [REDACTED]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ Date: 09/10/2018

Owner Name (typed or printed): Ben Reid

Owner Mailing Address: 4214 Avenue B

City: Austin State: TX Zip: 78751

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: Lotte Vehko

Agent Mailing Address: 807 Porter Street

City: Taylor State: TX Zip: 76574

Phone (will be public information): (512) 708-0703

Email (optional – will be public information): [REDACTED]

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

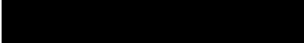
Applicant Signature:  Date: 09/10/2018

Applicant Name (typed or printed): Lotte Vehko

Applicant Mailing Address: 807 Porter Street

City: Taylor State: TX Zip: 76574

Phone (will be public information): (512) 708-0703

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 09/10/2018

Owner Name (typed or printed): Ben Reid

Owner Mailing Address: 4214 Avenue B

City: Austin State: TX Zip: 78751

Phone (will be public information):

Email (optional – will be public information):

Section 5: Agent Information

Agent Name: Lotte Vehko

Agent Mailing Address: 807 Porter Street

City: Taylor State: TX Zip: 76574

Phone (will be public information): (512) 708-0703

Email (optional – will be public information): 

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

ORDINANCE NO. 020131-20

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP ACCOMPANYING CHAPTER 25-2 OF THE CITY CODE TO ESTABLISH THE HYDE PARK NEIGHBORHOOD CONSERVATION COMBINING DISTRICT (NCCD) FOR THE PROPERTY WHOSE BOUNDARIES ARE 45TH STREET TO THE NORTH, 38TH STREET TO THE SOUTH, GUADALUPE STREET TO THE WEST AND DUVAL STREET TO THE EAST, IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS; AND TO MODIFY CERTAIN BASE DISTRICTS IN THE NCCD; AND DECLARING AN EMERGENCY.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to establish the Hyde Park neighborhood conservation combining district (NCCD) and to add a NCCD to each base zoning district within the property bounded by 45th Street to the north, 38th Street to the south, Guadalupe Street to the west, and Duval Street to the east, described in File C14-01-0046 and as more particularly identified in the map attached as Exhibit "A," SAVE AND EXCEPT Lots 5 through 16 of Block 12 of the Hyde Park Addition No. 1, and to change the base zoning districts on 13 tracts of land within the NCCD.

PART 2. The base zoning of the 13 tracts shown in the chart below are changed from family residence (SF-3) district, multifamily residence medium density (MF-3) district, multifamily residence moderate- high density (MF-4) district, multifamily residence moderate-high density-historic (MF-4-H) combining district, limited office-historic (LO-H) combining district, and general commercial services (CS) district, to multifamily residence limited density neighborhood conservation (MF-1-NCCD) combining district, multifamily residence low density neighborhood conservation (MF-2-NCCD) combining district, family residence neighborhood conservation (SF-3-NCCD) combining district, family residence-historic-neighborhood conservation (SF-3-H-NCCD) combining district, limited office-historic-neighborhood conservation (LO-H-NCCD) combining district, neighborhood commercial neighborhood conservation (LR-NCCD) combining district, and multifamily residence medium density neighborhood conservation (MF-3-NCCD) combining district.

Surveyors and dated August 26, 1993, attached to this ordinance as Exhibit "C" and on file with the Director of Neighborhood Planning and Zoning Department in File C14-01-0046.

g. The following provision applies to parking required under Subsection d.

1. Tandem parking:

- a. for a single-family or duplex residential use, is permitted; and
- b. for a multi-family use, is permitted if both spaces are assigned to the same unit.

2. Two parking spaces per dwelling unit are required in the Residential District and the West 38th Street District.

h. This subsection applies to property located at 4307 Speedway. Parking is permitted in a street yard for any use if an off-site accessory parking use exists on any part of the property.

PART 8. RESIDENTIAL DISTRICT. The following site development regulations apply in the Residential District.

1. Site Development Standards Table. Except as otherwise modified in this part, the following site development regulations apply in the Residential District.

RESIDENTIAL DISTRICT			
	Site Development Standards		
	Single-family Zoning Districts	Multifamily Zoning Districts	Commercial Zoning Districts
Minimum lot size	5750	8000	5750
Minimum lot width	50	50	50
Maximum FAR		0.5 to 1	0.5 to 1

- a. The street yard setback of the subject property may equal the average of the street yard setbacks of the buildings on adjoining lots if the setbacks are 15 feet or less. In this section, a building across an alley is a building on an adjoining lot. The street yard setback may be established by a principal building or an accessory building that contains a living unit on the ground floor that fronts on the street.
 - b. Notwithstanding any provision in this section, a setback may not be less than five feet.
6. For a building façade that is longer than 50 feet, the façade may not extend horizontally in an unbroken line for more than 30 feet.
7. A two-family residential use is permitted in the Residential District on a lot that is 7000 square feet or larger.
8. Except as provided in Section 9 of this part, a porch may extend:
 - a. on an avenue, a maximum of eight feet in front of the street yard setback; and
 - b. on a street other than an avenue, a maximum of five feet in front of a street yard setback.
9. A porch must be at least five feet from a property line that faces a street.
10. Except as otherwise provided in Sections 13 and 14 in this part, for an accessory building the minimum setback from:
 - a. a property line facing an avenue, Duval Street, or the south side of West 39th Street is 60 feet;
 - b. a property line facing a street other than a street identified in Subsection a. of this section is 15 feet; and
 - c. an interior side property line is five feet.
11. Except as otherwise provided in Section 12, 13, and 14 of this part, the minimum setback from a rear property line for an accessory building that is not more than 30 feet in height, is five feet.



EXHIBIT A - pg. 2 of 2

Proposed Hyde Park Neighborhood Conservation Combining District
Proposed Base District Zoning Changes



REC-80
Permit 4-10-2011

See attached chart for zoning recommendations.

This map is prepared pursuant to the provisions of the Chicago Zoning Ordinance, Chapter 42A, and is subject to the provisions of the Chicago Zoning Ordinance, Chapter 42A, and is subject to the provisions of the Chicago Zoning Ordinance, Chapter 42A.



From: [Heldenfels, Leane](#)
To: [Ramirez, Diana](#)
Subject: c15-2018-0042/4214 Avenue B advance packet, amanda upload
Date: Thursday, November 01, 2018 10:02:44 AM

From: Lotte Vehko
Sent: Tuesday, September 11, 2018 4:20 PM
Subject: RE: 4214 Avenue B pending BOA application

Emily Layton advised that a second sink is what makes the accessory living space into a dwelling unit, so we designed it to have a shared sink between the kitchen and bathroom.

The owner is talking to neighbors now, will send anything we get back.

Thanks!

Date: 17 October 2018

To: City of Austin Board of Adjustment

From Name: DAVID I. ANDERSON
Address: 4210 Avenue B

Subject: Letter of Support for Ben Reid

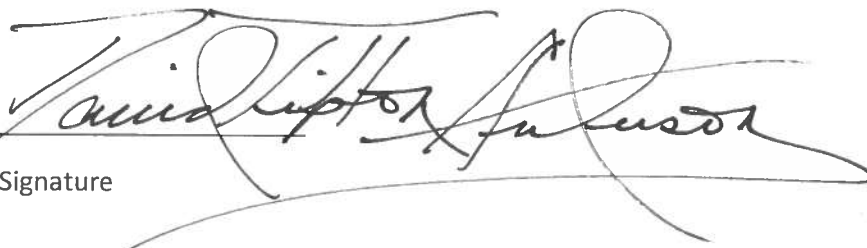
4214 Avenue B

Mr. Reid came by my home in October, spoke to me, and showed me drawings of the project he is working on. It was very helpful to understand the constraints on his property due to the shape of his lot.

I support Mr. Reid's request for setback variance and his plans to build the addition to his home at 4214 Avenue B.

Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,


Signature

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, please visit our website: www.austintexas.gov/abc.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, the Case Number and the contact person listed on the notice.

Case Number(s): LHD-2018-0016 – 4206 Avenue B

Contact: Andrew Rice, 512-974-1686

Public Hearing: Historic Landmark Commission, July 23, 2018

☒ I am in favor
☐ I object

DAVID ANDERSON 4210 AVENUE B
 Your Name (please print) Your address(es) affected by this application
 Signature Date 17 October 2018

Comments:

yes!

If you use this form to comment, it may be returned to:

City of Austin Planning and Zoning Department

Andrew Rice, Historic Preservation Office

PO Box 1088

Austin, TX 78767-8810

FAX 512-974-9104

Date: 17 October 2018

To: City of Austin Board of Adjustment

From Name: DAVID I. ANDERSON
Address: 4210 Avenue B

Subject: Letter of Support for Ben Reid

4214 Avenue B

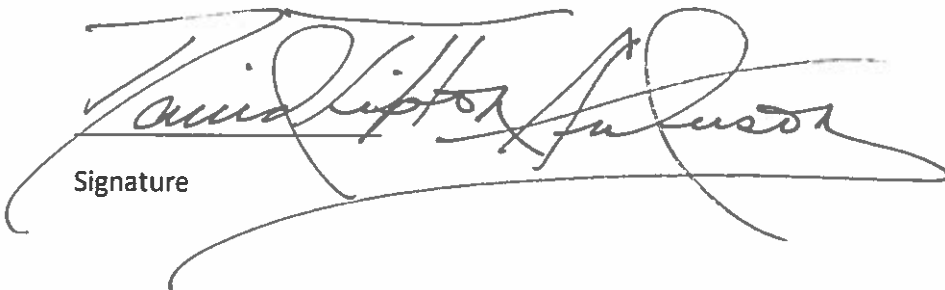
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Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,

Signature

A handwritten signature in dark ink, appearing to read "David I. Anderson", written over a horizontal line. The signature is fluid and cursive, with a large loop at the end.

Date: October 8th 2018

To: City of Austin Board of Adjustment

From Name: Tommy Sheffer - Bracha & Oren Bracha

Address: 4003 AVE B
Austin TX 78751

Subject: Letter of Support for Ben Reid

4214 Avenue B

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Thank you,

A handwritten signature in black ink, appearing to read 'Tommy Sheffer', written over a horizontal line.

Signature

Date: 10/8/2018

To: City of Austin Board of Adjustment

From Name: Matt McCartney
Address: 307 W 43rd St.

Subject: Letter of Support for Ben Reid

4214 Avenue B

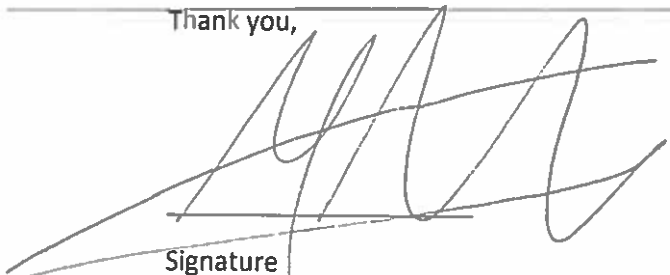
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Thank you,

Signature

A handwritten signature in black ink, appearing to read 'Matt McCartney', is written over a horizontal line. The signature is stylized with large, sweeping loops.

H01/17

Date: 10/9/18

To: City of Austin Board of Adjustment

From Name: Jonathan Parkhurst

Address: 4206 Avenue B, Austin, TX 78751

Subject: Letter of Support for Ben Reid

4214 Avenue B

Mr. Reid came by my home in October, spoke to me, and showed me drawings of the project he is working on. It was very helpful to understand the constraints on his property due to the shape of his lot.

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Thank you,

J. M. Parkhurst
Signature

Date: 10/11/16

To: City of Austin Board of Adjustment

From Name: Tom Nunez
Address: 4208 Avenue C

Subject: Letter of Support for Ben Reid

4214 Avenue B

Mr. Reid came by my home in October, spoke to me, and showed me drawings of the project he is working on. It was very helpful to understand the constraints on his property due to the shape of his lot.

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Thank you,


Signature

Date: 10/8/18

To: City of Austin Board of Adjustment

From Name: MARK Floraci

Address: 4210 Ave C.
Austin TX

Subject: Letter of Support for Ben Reid

4214 Avenue B

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Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,



Signature

Date: 10-12-2018

To: City of Austin Board of Adjustment

From Name: Shelley Madsen

Address: 4100 Avenue B

Subject: Letter of Support for Ben Reid

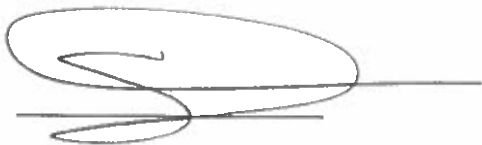
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Thank you,

A handwritten signature in black ink, appearing to be 'Shelley Madsen', written over a horizontal line.

Signature

H01/21

Date: 14 October

To: City of Austin Board of Adjustment

From Name: Sherry L. Girona
Address: 4213 Avenue A

Subject: Letter of Support for Ben Reid

4214 Avenue B

Mr. Reid came by my home in October, spoke to me, and showed me drawings of the project he is working on. It was very helpful to understand the constraints on his property due to the shape of his lot.

I support Mr. Reid's request for setback variance and his plans to build the addition to his home at 4214 Avenue B.

Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,

Sherry L. Girona
Signature

Date: Oct 13, 2018

To: City of Austin Board of Adjustment

From Name: Michelle Lee
Address: 4113 Avenue B
AUSTIN TX 78751

Subject: Letter of Support for Ben Reid

4214 Avenue B

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Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,

Michelle Lee
Signature

~~We have met Mr. Reid at a neighbor's~~
party and is a lovely neighbor. He has
taken a neglected property and has
improved it to a Hyde Park beauty.

Date: 10/28/18

To: City of Austin Board of Adjustment

From Name: RAY MOTIZUK

Address: 4205 WUE C

Subject: Letter of Support for Ben Reid

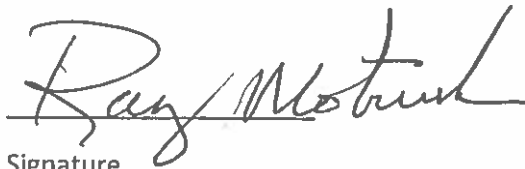
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Thank you,



Signature

Date: 10/17/18

To: City of Austin Board of Adjustment

From Name: Konstantin Popov
Address: 4304 Ave A, Austin TX

Subject: Letter of Support for Ben Reid

4214 Avenue B

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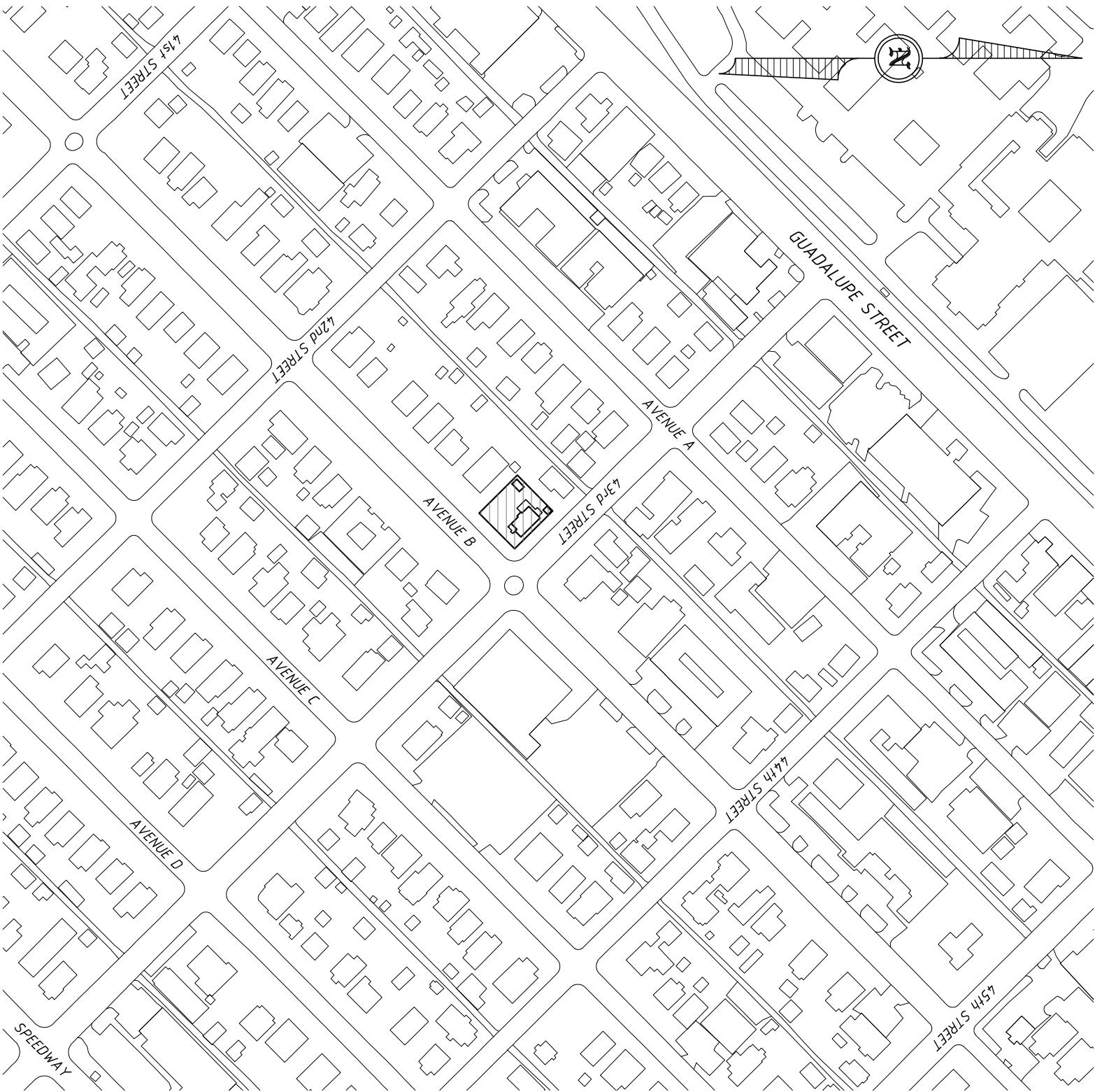
Mr. Reid's proposed design seems reasonable, practical, and a good use of his property. Aesthetically, his proposed addition will fit right in with the other homes in our neighborhood.

Thank you,



Signature

REID RESIDENCE
4214 Avenue B
Austin, Texas



AREA MAP (not to scale)

DRAWINGS SET INDEX	
A0.0 --	TITLE SHEET
A1.1 --	SITE PLAN
A3.1 --	1st FLOOR PLAN
A3.2 --	2nd FLOOR PLAN
A3.3 --	ROOF PLAN
A5.1 --	EXTERIOR ELEVATION EAST
A5.2 --	EXTERIOR ELEVATION NORTH
A5.3 --	EXTERIOR ELEVATION WEST
A5.4 --	EXTERIOR ELEVATION SOUTH

LEGEND

ROOF SLOPE

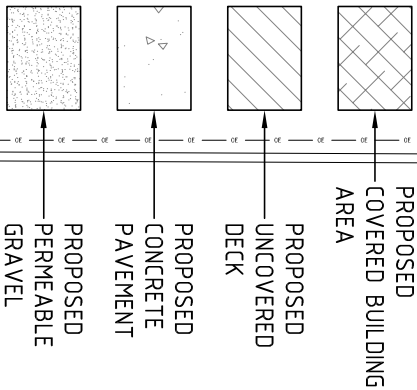
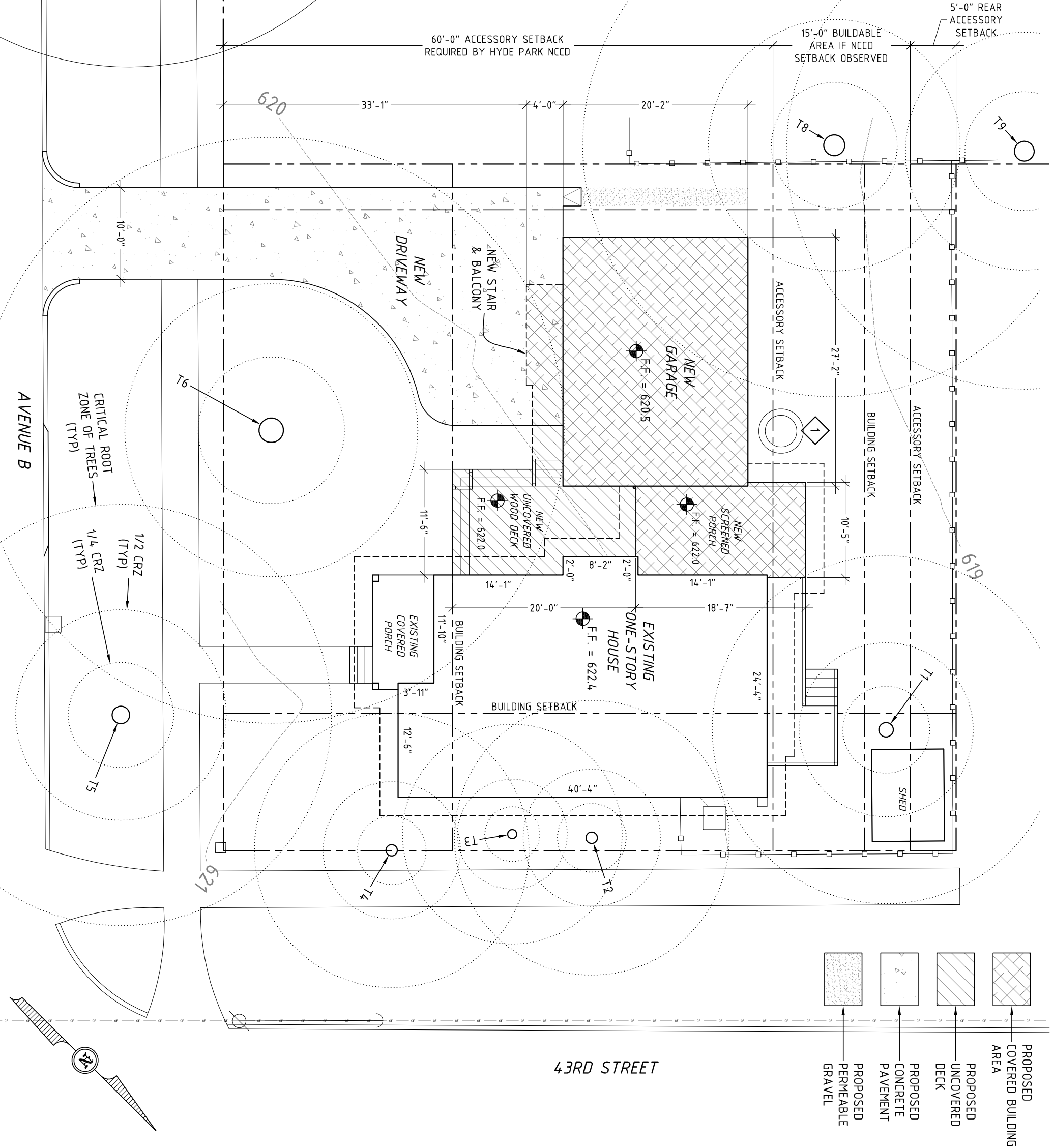
KEYED NOTE

ELEVATION VIEW AT NUMBER / SHEET INDICATED

COMMON ABBREVIATIONS

AFF ABOVE FINISHED FLOOR
MIN MINIMUM
CL CENTER LINE
SIM SIMILAR
ETR EXISTING TO REMAIN
TYP TYPICAL
EQ EQUAL - DIVIDE
AVAILABLE SPACE
EQUALLY

TITLE SHEET		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: NONE	DATE: 01 OCT 2018		PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	



SHEET NOTES

1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
-- FINISHED FACE OF ELEMENT
-- CENTERLINE OF OPENINGS, COLUMNS, AND FIXTURES

2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST INCH.

KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

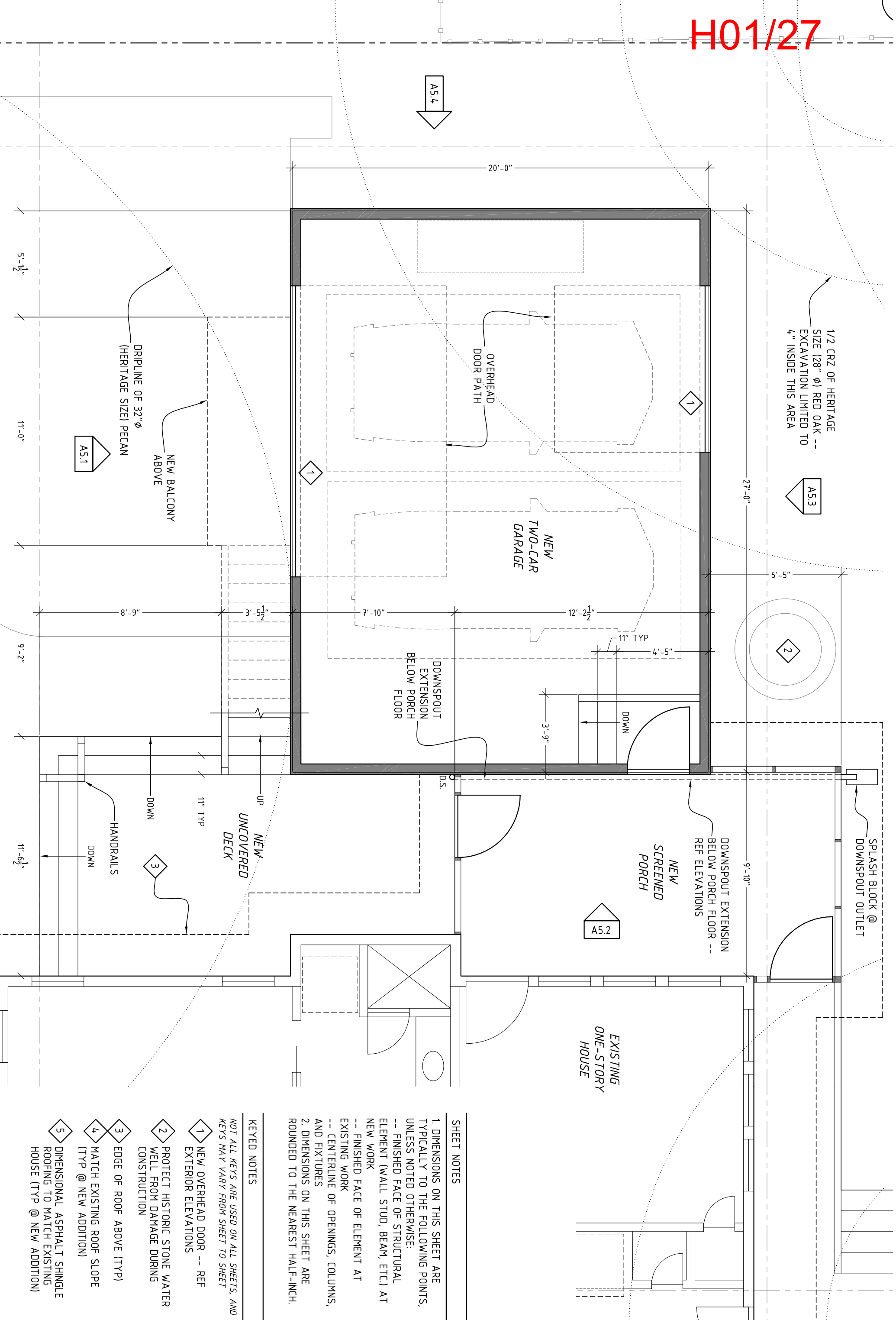
1 HISTORIC STONE WATER WELL -- PROTECT FROM DAMAGE DURING CONSTRUCTION

TREE LIST

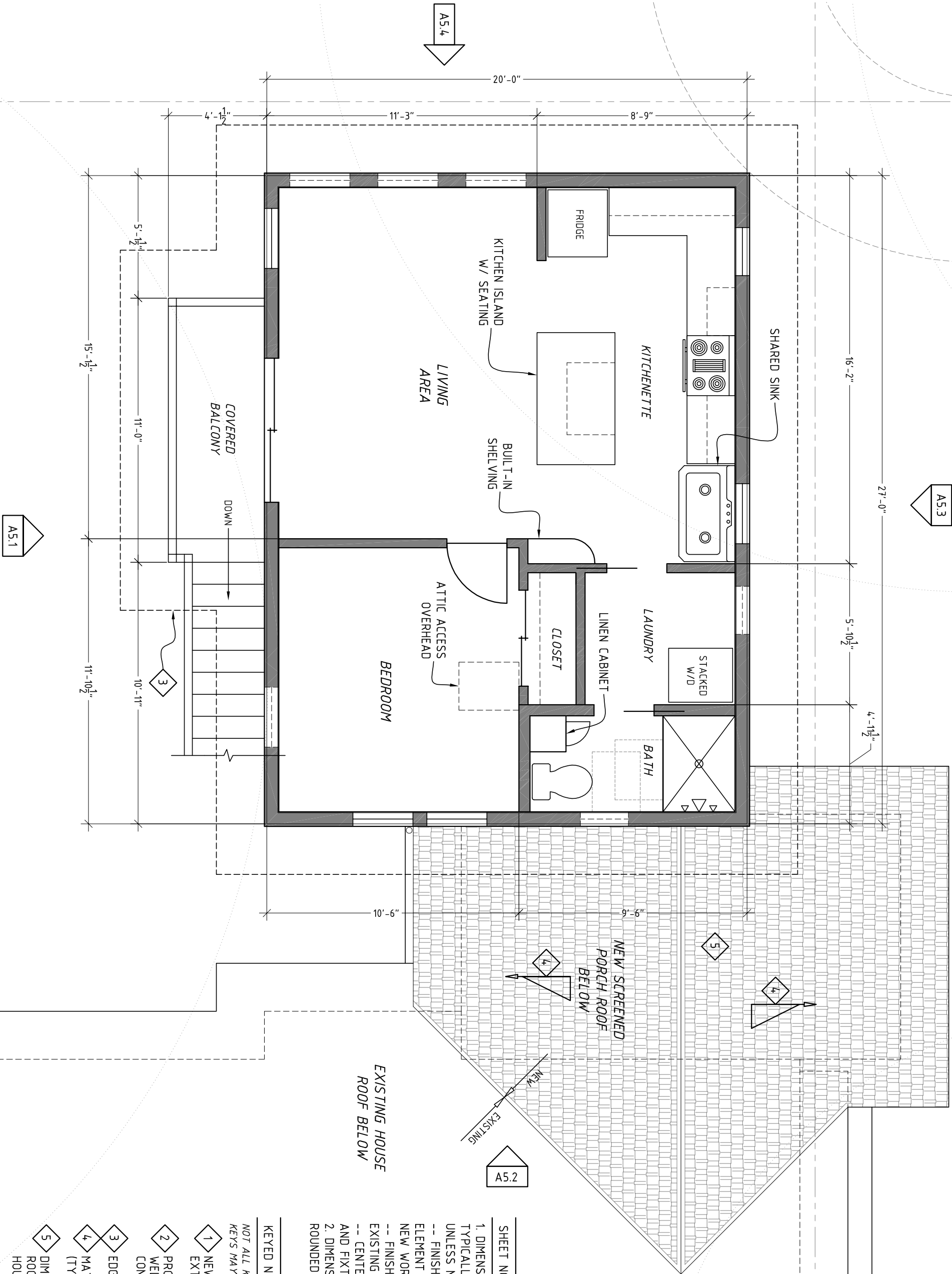
NOTES: DIMENSIONS ARE GIVEN IN DIAMETER INCHES. MULTI-TRUNK TREES ARE DESIGNATED BY (M) FOLLOWING THE SPECIES NAME, AND DIAMETER CALCULATED PER ENVIRONMENTAL CRITERIA MANUAL 3.3.2. HERITAGE TREES ARE DESIGNATED BY (H) FOLLOWING THE SPECIES NAME.

- T1 -- 19" PECAN (H)
- T2 -- 15" GRAPE MYRTLE (M)
- T3 -- 12" GRAPE MYRTLE (M)
- T4 -- 15" LIVE OAK
- T5 -- 23" PECAN (H)
- T6 -- 32" PECAN (H)
- T7 -- 8" PECAN (removed)
- T8 -- 28" RED OAK (H)
- T9 -- 26" LIVE OAK (H)

NEW SITE PLAN		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: 3/32" = 1'-0"		DATE: 01 OCT 2018	PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	



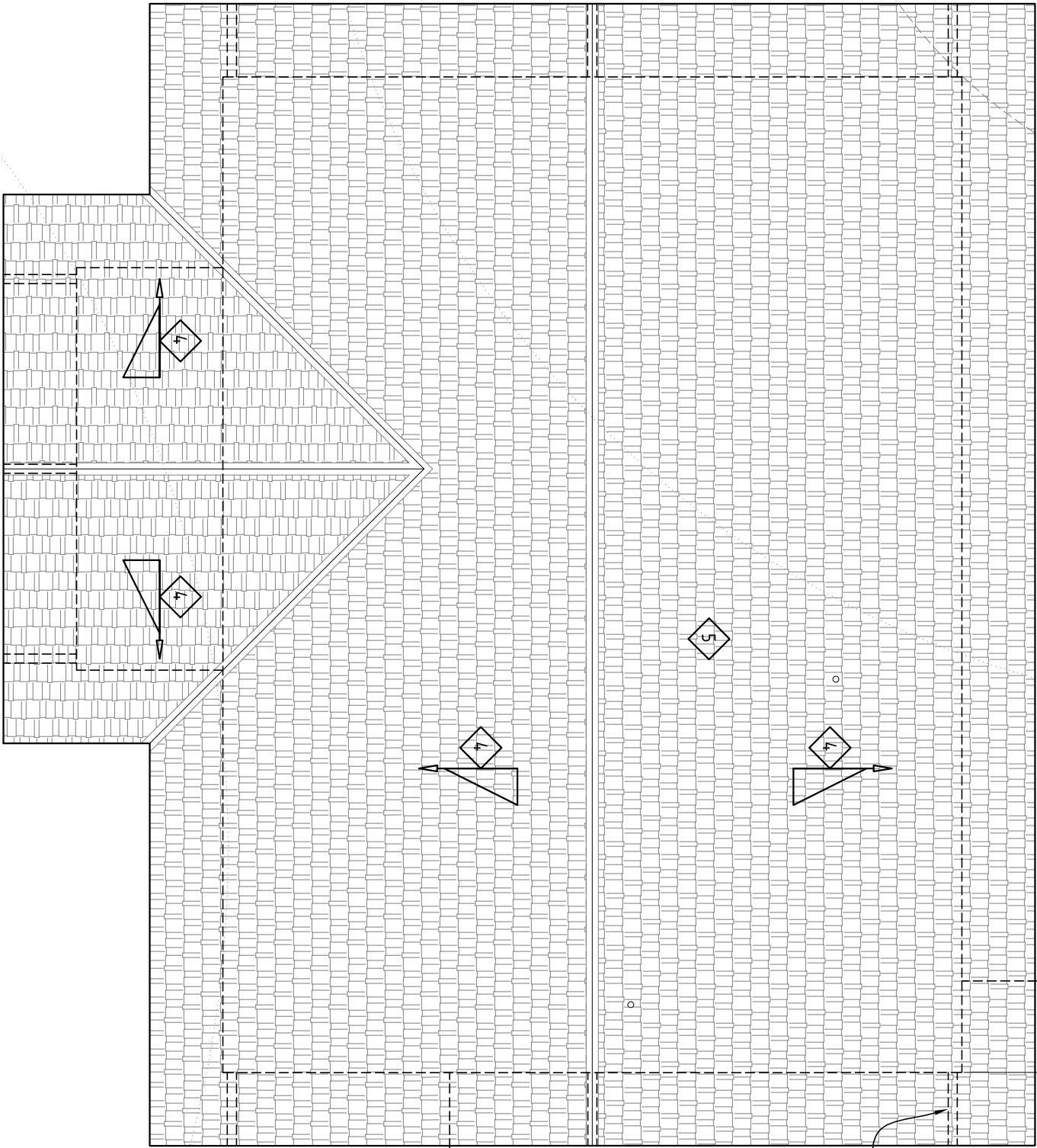
NEW 1st FLOOR PLAN		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: 1/4" = 1'-0"		DATE: 01 OCT 2018	PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	



- SHEET NOTES**
- 1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
 - FINISHED FACE OF STRUCTURAL ELEMENT (WALL STUD, BEAM, ETC.) AT NEW WORK
 - FINISHED FACE OF ELEMENT AT EXISTING WORK
 - CENTERLINE OF OPENINGS, COLUMNS, AND FIXTURES
 - 2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST HALF-INCH.

- KEYED NOTES**
- NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET
- 1 NEW OVERHEAD DOOR -- REF EXTERIOR ELEVATIONS
 - 2 PROTECT HISTORIC STONE WATER WELL FROM DAMAGE DURING CONSTRUCTION
 - 3 EDGE OF ROOF ABOVE (TYP)
 - 4 MATCH EXISTING ROOF SLOPE (TYP @ NEW ADDITION)
 - 5 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE (TYP @ NEW ADDITION)





A5.2

A5.4

A5.3

A5.1

SHEET NOTES

1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
-- FINISHED FACE OF ELEMENT
2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST HALF-INCH.

KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

- 1 NEW OVERHEAD DOOR -- REF EXTERIOR ELEVATIONS
- 2 PROTECT HISTORIC STONE WATER WELL FROM DAMAGE DURING CONSTRUCTION
- 3 EDGE OF ROOF ABOVE (TYP)
- 4 MATCH EXISTING ROOF SLOPE (TYP @ NEW ADDITION)
- 5 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE (TYP @ NEW ADDITION))

NEW ROOF PLAN

REID RESIDENCE | 4214 Avenue B | Austin, Texas

DRAWING SCALE: 1/4" = 1'-0"

DATE: 01 OCT 2018

PROJECT NUMBER: 18-531

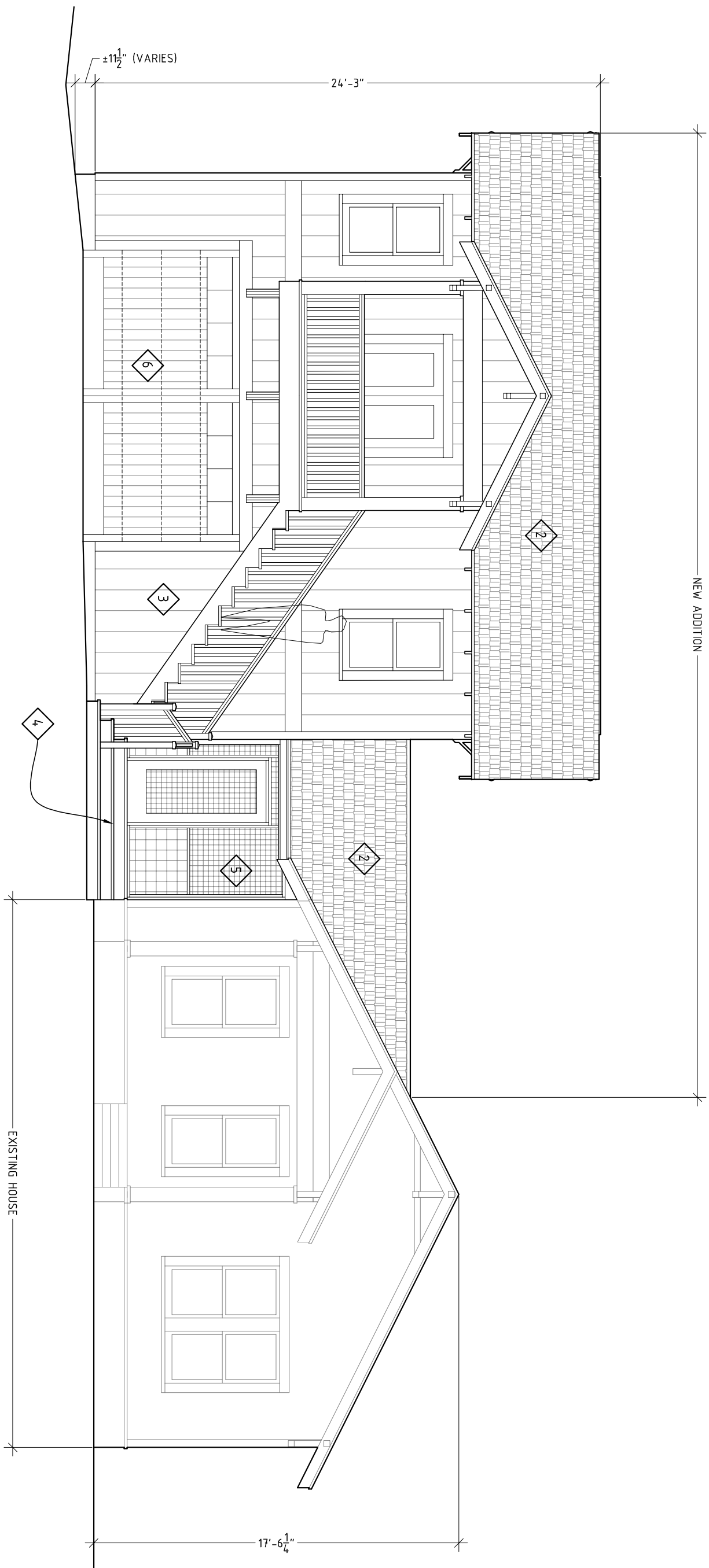
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION

REVISIONS:

Vehko Architecture

www.vehko.com
512.708.0703





KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

- 1 (NOT USED)
- 2 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE TYP @ NEW ADDITION
- 3 VERTICAL CEMENT-FIBER SIDING TYP @ NEW ADDITION
- 4 GAPPED WOOD DECKING TYP @ NEW UNCOVERED WOOD DECK
- 5 PET-PROOF INSECT SCREENING + 1/4" HARDWARE CLOTH AT BOTTOM SECTION OF WALL TYP @ SCREENED PORCH
- 6 WOOD FACED SECTIONAL OVERHEAD DOORS TYP @ GARAGE

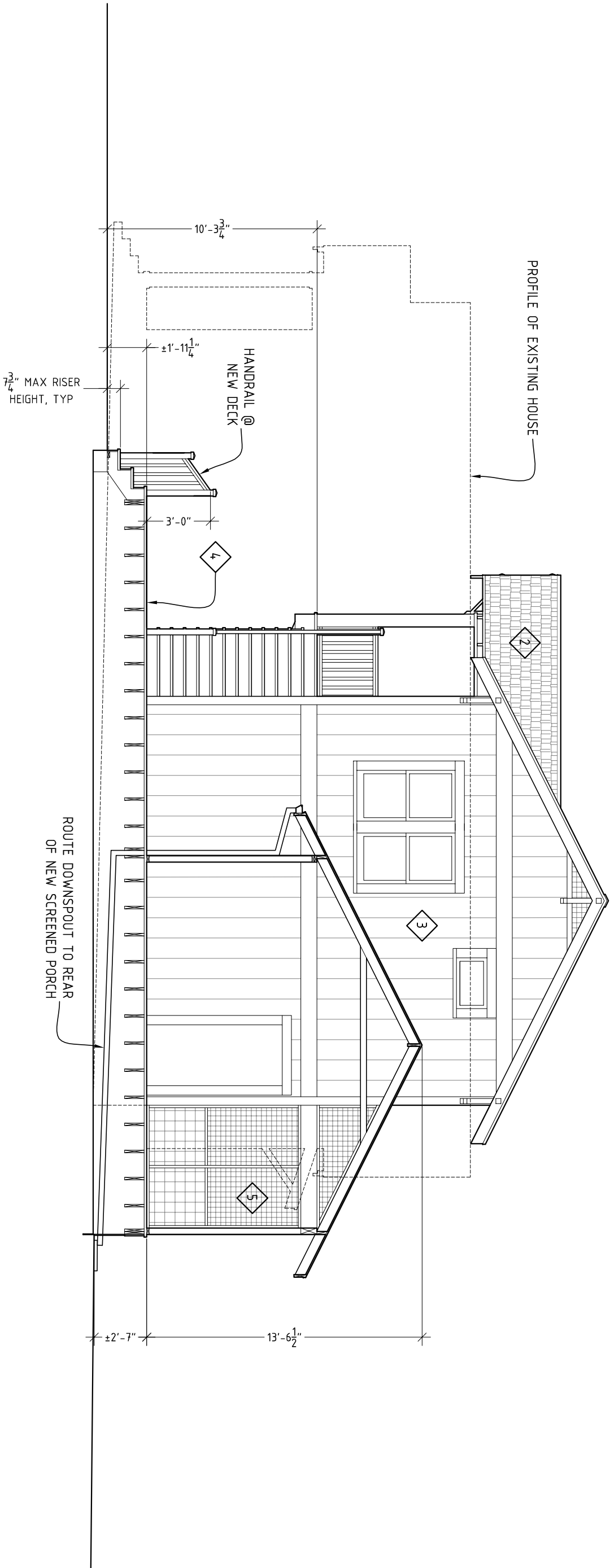
SHEET NOTES

1. DIMENSIONS ON THIS SHEET ARE
TYPICALLY TO THE FOLLOWING POINTS,
UNLESS NOTED OTHERWISE:

```
-- FINISHED FACE OF ELEMENT
-- CENTERLINE OF OPENINGS, COLUMNS,
```

2. DIMENSIONS ON THIS SHEET ARE
ROUNDED TO THE NEAREST
QUARTER-INCH.

EXTERIOR ELEVATION EAST		REID RESIDENCE	4214 Avenue B	Austin, Texas
DRAWING SCALE: 3/16" = 1'-0"		DATE: 01 OCT 2018		PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION			REVISIONS:	



KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

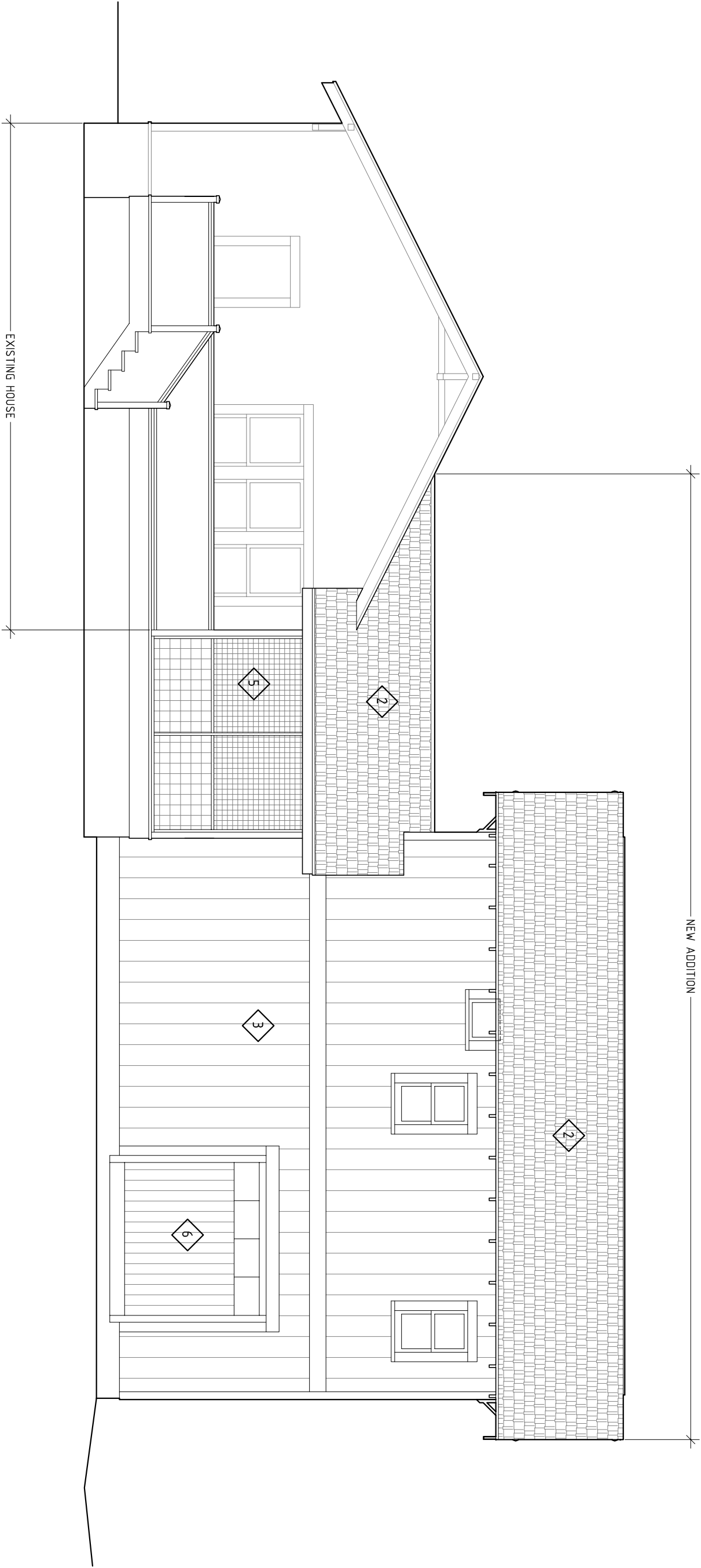
- 1 (NOT USED)
- 2 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE TYP @ NEW ADDITION
- 3 VERTICAL CEMENT-FIBER SIDING TYP @ NEW ADDITION
- 4 GAPPED WOOD DECKING TYP @ NEW UNCOVERED WOOD DECK
- 5 PET-PROOF INSECT SCREENING + 1/4" HARDWARE CLOTH AT BOTTOM SECTION OF WALL TYP @ SCREENED PORCH
- 6 WOOD FACED SECTIONAL OVERHEAD DOORS TYP @ GARAGE

SHEET NOTES

- 1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
 - FINISHED FACE OF ELEMENT
 - CENTERLINE OF OPENINGS, COLUMNS, AND FIXTURES
- 2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST QUARTER-INCH.

EXTERIOR ELEVATION NORTH		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: 3/16" = 1'-0"		DATE: 01 OCT 2018	PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	





KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

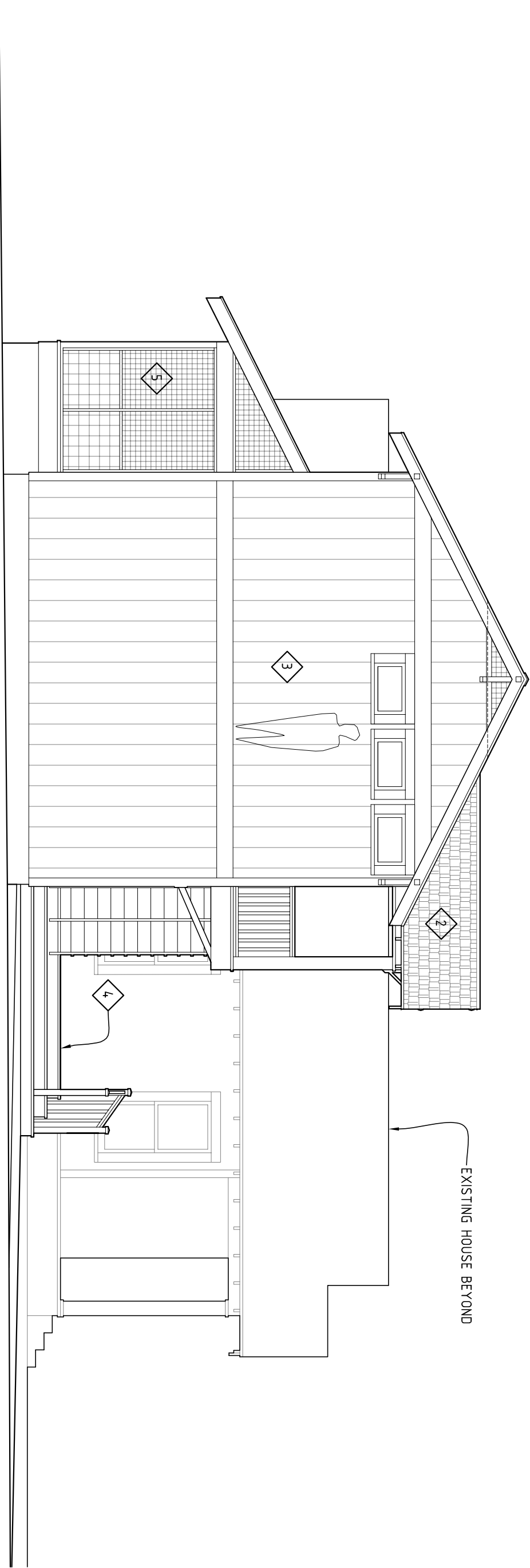
- 1 (NOT USED)
- 2 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE TYP @ NEW ADDITION
- 3 VERTICAL CEMENT-FIBER SIDING TYP @ NEW ADDITION
- 4 GAPPED WOOD DECKING TYP @ NEW UNCOVERED WOOD DECK
- 5 PET-PROOF INSECT SCREENING + 1/4" HARDWARE CLOTH AT BOTTOM SECTION OF WALL TYP @ SCREENED PORCH
- 6 WOOD FACED SECTIONAL OVERHEAD DOORS TYP @ GARAGE

SHEET NOTES

- 1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
 - FINISHED FACE OF ELEMENT
 - CENTERLINE OF OPENINGS, COLUMNS, AND FIXTURES
- 2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST QUARTER-INCH.

EXTERIOR ELEVATION WEST		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: 3/16" = 1'-0"	DATE: 01 OCT 2018		PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	





KEYED NOTES

NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

- 1 (NOT USED)
- 2 DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE TYP @ NEW ADDITION
- 3 VERTICAL CEMENT-FIBER SIDING TYP @ NEW ADDITION
- 4 GAPPED WOOD DECKING TYP @ NEW UNCOVERED WOOD DECK
- 5 PET-PROOF INSECT SCREENING + 1/4" HARDWARE CLOTH AT BOTTOM SECTION OF WALL TYP @ SCREENED PORCH
- 6 WOOD FACED SECTIONAL OVERHEAD DOORS TYP @ GARAGE

SHEET NOTES

- 1. DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS, UNLESS NOTED OTHERWISE:
 - FINISHED FACE OF ELEMENT
 - CENTERLINE OF OPENINGS, COLUMNS, AND FIXTURES
- 2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST QUARTER-INCH.

EXTERIOR ELEVATION SOUTH		REID RESIDENCE 4214 Avenue B Austin, Texas	
DRAWING SCALE: 3/16" = 1'-0"	DATE: 01 OCT 2018		PROJECT NUMBER: 18-531
DESIGN REVIEW DRAWING -- NOT FOR CONSTRUCTION		REVISIONS:	