

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: Monday October 8, 2018

CASE NUMBER: C15-2018-0036

_____ Brooke Bailey
 _____ William Burkhardt
 _____ Christopher Covo
 _____ Eric Golf
 _____ Melissa Hawthorne
 _____ Bryan King
 _____ Don Leighton-Burwell
 _____ Rahm McDaniel
 _____ Martha Gonzalez (Alternate)
 _____ Veronica Rivera
 _____ James Valdez
 _____ Michael Von Ohlen
 _____ Kelly Blume (Alternate)
 _____ Pim Mayo (Alternate)

APPLICANT: Gregg Andrulis

OWNER: 2713 Hemphill Park, LLC

ADDRESS: 2711 HEMPHILL PARK

VARIANCE REQUESTED: The applicant has requested variance(s) to Ordinance 040826-58 (North University Neighborhood Conservation Combining District – Neighborhood Plan) Part 7, (1) to decrease the minimum lot size from 8,000 square (required) to 7,772 square feet (requested, existing) in order to erect a multi-family residence in a “MF-5-NCCD-NP”, Multifamily Residence High Density – Neighborhood Conservation Combining District – Neighborhood Plan zoning district. (North University)

Note: no conflict exists between the Land Development Code and the NCCD in regard to MF-5 minimum lot size.

BOARD’S DECISION: BOA MEETING SEPT 10, 2018 The public hearing was closed on Board Member Michael Von Ohlen motion to postpone to October 8, 2018, Board Member Melissa Hawthorne second on a 10-0 vote; POSTPONED TO OCTOBER 8, 2018.

VARIANCE REQUESTED: The applicant has requested variance(s) to Ordinance 040826-58 (North University Neighborhood Conservation Combining District – Neighborhood Plan) Part 7, (1) to decrease the minimum lot size from 8,000 square (required) to 7,772 square feet (requested) in order to erect a multi-family

residence in a "MF-5-NCCD-NP", Multifamily Residence High Density – Neighborhood Conservation Combining District – Neighborhood Plan zoning district. (North University)

Note: There is no conflict between the Land Development Code and the NCCD in regard to MF-5 minimum lot size, both require 8,000 square feet. The lot size above is according to a sealed survey of the property, however the Travis County Appraisal District property detail information describes the property as having 7,763 square feet. The Board typically just approves variances based on a sealed survey when one is available.

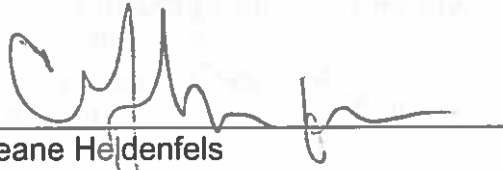
BOARD'S DECISION: October 8, 2018 POSTPONED TO November 8, 2018 (6pm)
BY APPLICANT

EXPIRATION DATE:

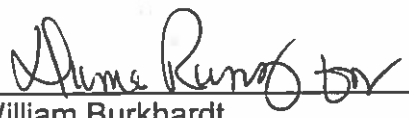
FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:



Leane Heidenfels
Executive Liaison



William Burkhardt
Chairman

CIVIL INSITE, LLC

August 24, 2018

Ms. Leane Heldenfels
Board of Adjustment
City of Austin
505 Barton Springs Road
Austin, TX 78704

Re: Variance Request to 25-2-492 (D) MF-5 Minimum Lot Size for 2713 Hemphill Park

Ms. Heldenfels,

On behalf of 2713 Hemphill Park, LLC, we are requesting approval of a variance to develop a multi-family project on a lot zone MF-5-NCCD-NP that does not meet the minimum size requirements of LDC 25-2-492 (D) Site Development Regulation Table: "MF-5 Minimum Lot Size = 8,000 SF". The existing lot size is 7,772 SF.

Reasonable Use

LDC 25-2-492 (D) states that for the MF-5 base zoning district the minimum lot size is 8,000 SF. The subject property is comprised of 7,772 SF.

Hardship

The property was zoned for a dense multi-family use (MF-5) but lacks the minimum required area to develop the property for a multi-family use. Other properties on Hemphill Park between Guadalupe and 29th St are zoned MF-5 and MF-6, are less than 8,000 SF, and are currently supporting multi-family use.

Area Character

The property's proximity to the University of Texas makes it an excellent candidate for high density student housing. The vast majority of properties on Hemphill Park between 27th St and 29th St are currently supporting multi-family uses similar to the proposed project.

Please feel free to contact me if you have any questions.

Sincerely,

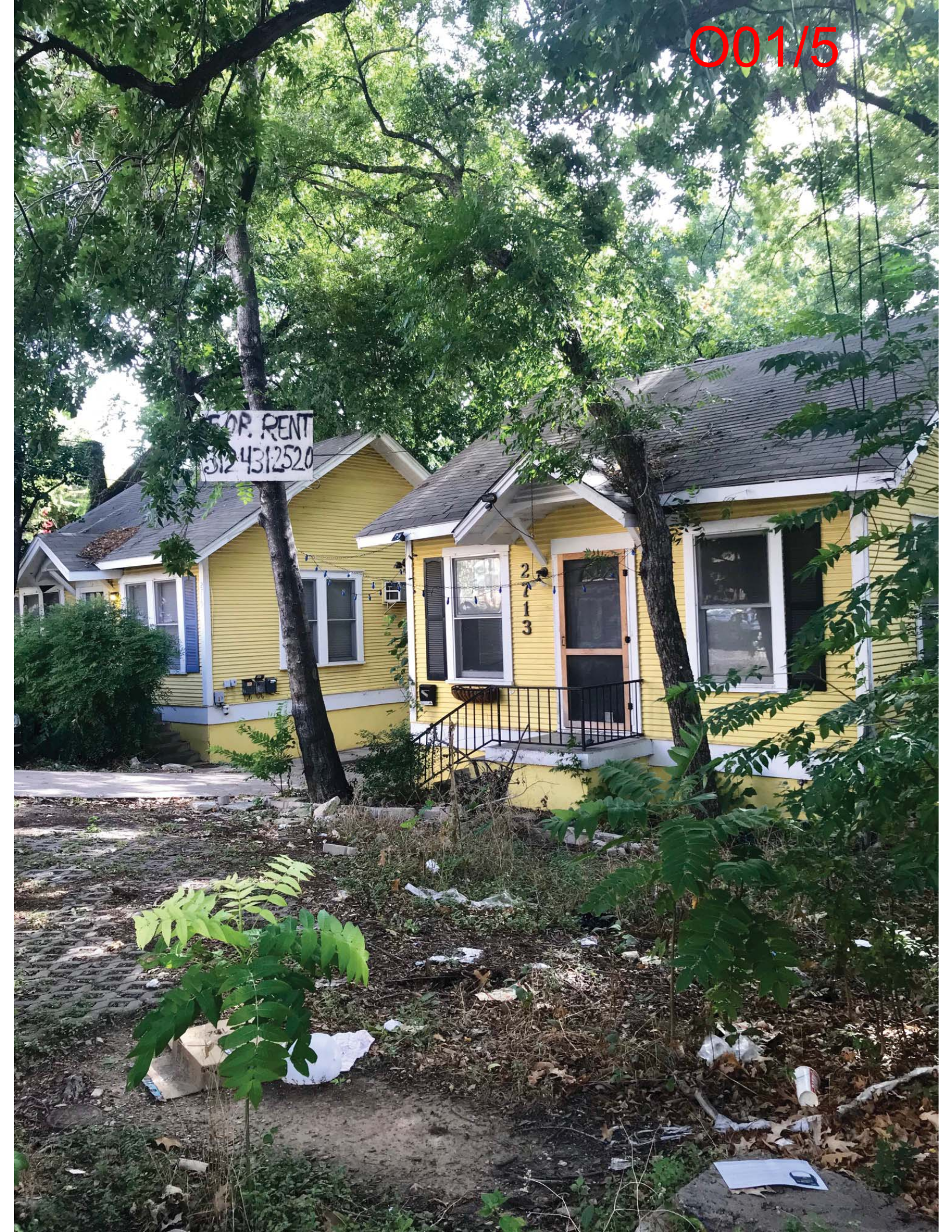


Gregg Andrulis, P.E.

001/5

FOR RENT
312 431 2520

2713



1206 Shelley, Unit C
Austin, Texas 78703
October 3, 2018

Ms. Leanne Heldenfels
Board of Adjustment
City of Austin
505 Barton Springs Road
Austin, Texas 78704

RE: Variance Request to 25-2-492 (D) MF-5 Minimum Lot Size for 2713 Hemphill Park

Ms. Heldenfels,

I am the owner of the two adjacent pieces of property at 2711 and 2721 Hemphill Park. They bookend the property at 2713 Hemphill Park on the North and South sides. I would like to state my support for the lot variance for the proposed project at 2713 Hemphill Park for the following reasons:

The proposed building would be a vast improvement over the current, very rough two duplexes. The off street parking would eliminate some of the congestion which currently takes place on that section of the street between my two buildings.

As stated, the current improvements are in very bad condition and I would think that to put them into better condition, with proper parking would be cost prohibitive.

The design of the new project is simple, clean and in my estimation good and appropriate for the neighborhood. I do not think that granting a variance would in any way change the character of or degrade the neighborhood. To the contrary I think it would vastly improve it and I would welcome this project as my neighbor.

Should you have any questions of me or request further information please let me know.

Regards,


Paul T. Barr
512-476.3637



MIXED-USE URBAN DEVELOPMENT

001/7

October 4, 2018

Ms. Leane Heldenfels
Board of Adjustment
City of Austin
505 Barton Springs Road
Austin, TX 78704

Re: Variance Request to 25-2-492 (D) MF-5 Minimum Lot Size for 2713 Hemphill Park

Dear Ms. Heldenfels.

As a board member of the Purple Owl House Corporation which owns the property located at 2707 Hemphill Park, I was asked by the Board to respond to the request for a letter of support for the above-referenced variance request. As such, the owners of 2707 Hemphill Park:

1. support the lot size variance to permit development of the subject property within MF-5 zoning.
2. believe that granting a variance would actually improve the character of the neighborhood.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Kent Collins", is written over a light gray rectangular background.

Kent Collins

cc:

Kevin Snodgrass, President
Gary McClure
Robert Canon
Betsy Clements
Tom Shirley
Daniel Madera
Bryan Campbell



**City of Austin
Development Services Department
Land Status Determination
1995 Rule Platting Exception**

July 17, 2018

File Number: **C8I-2018-0175**

Address: **2713 Hemphill Park**

Tax Parcel I.D. **#0215030115**

Tax Map Date: **07/17/2017**

The Development Services Department has determined that this parcel, as described in the attached description and map, **IS EXCEPTED FROM THE REQUIREMENT TO PLAT** in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being **75 foot by 103 foot out of Lots 7 and 8, in Block 13 of Whitis Subdivision of Outlot No. 11, 12, 13, 15, 16 and 17 in Division D, a subdivision in Travis County, Texas** in the current deed, recorded on **Mar 07, 2018**, in **Document #2018034403**, Travis County Deed Records. This parcel existed in its current configuration on January 1, 1995, as evidenced by a deed recorded on **Nov 06, 1989**, in Volume **11059**, Page **1498**, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 212.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by **water** service on **Aug 31, 1987**. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

Additional Notes/Conditions:

NONE

This determination of the status of the property is based on the application of Chapter 212, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code; and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other portion of the City Code or any other regulation.

By: Michelle Casillas

**Michelle Casillas, Representative of the Director
Development Services Department**



A201
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1 2

NOT FOR CONSTRUCTION

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5 6

A901
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1 LOWER LEVEL
1/8" = 1'-0"

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2 A301
B

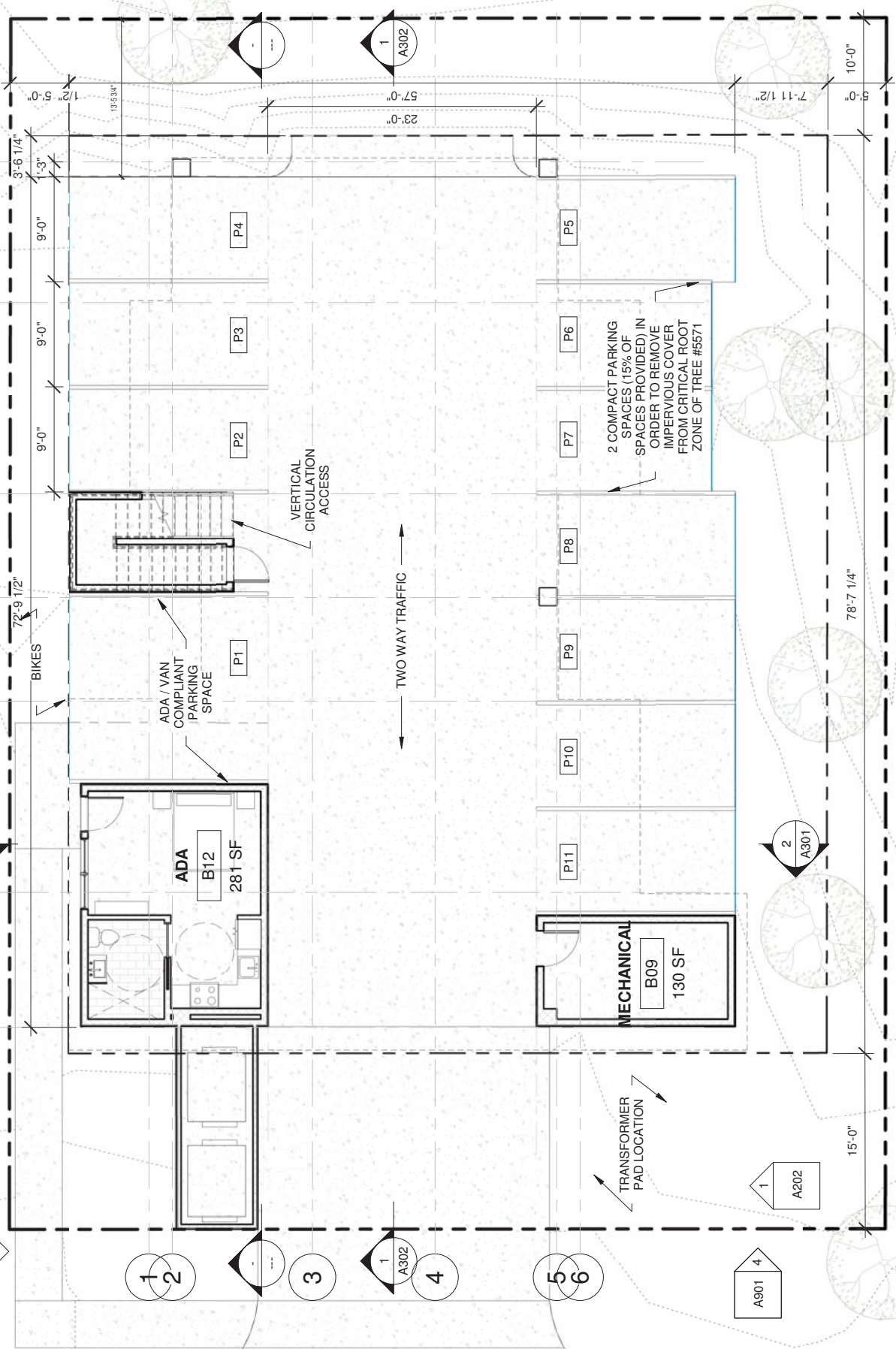
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D

E

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G



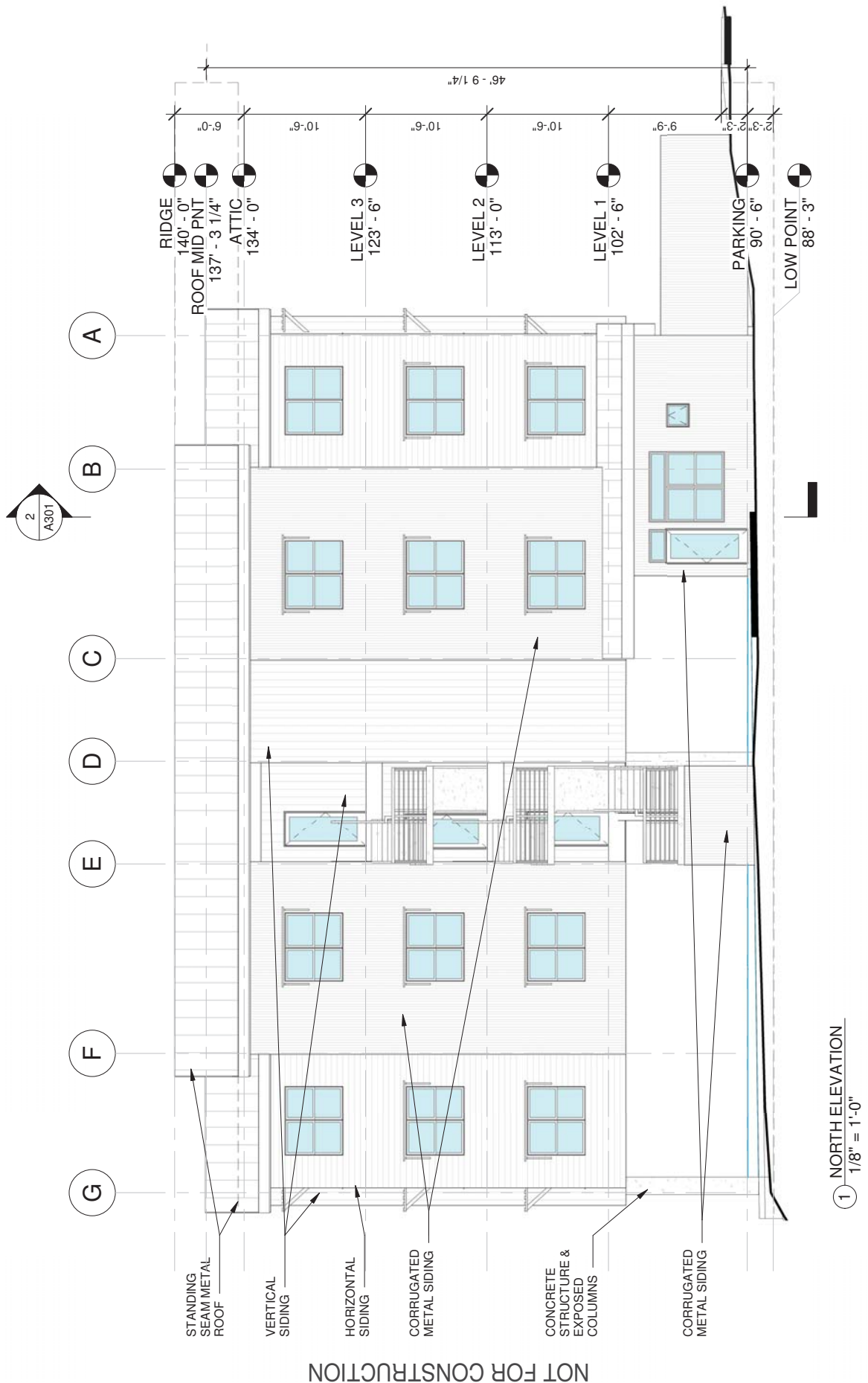
1 A204

ARCHITECTURAL
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PO Box 1070
Pine, OH 44130
P 330.664.1746
courtney.fisher@gmail.com
COURTNEY FISHER
ARCHITECT
1746095
OH
0302893001

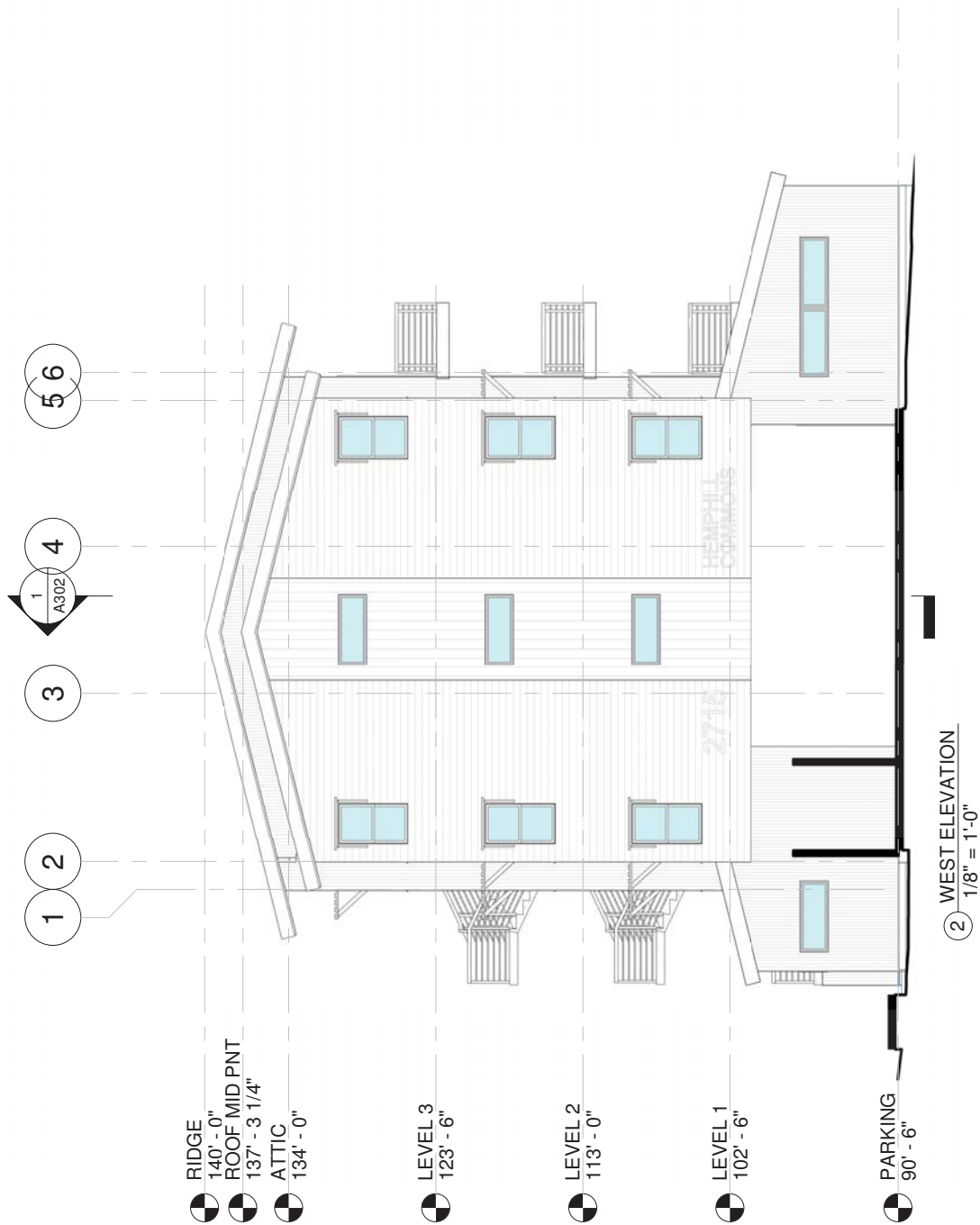
DATE:
2018.09.15 REVISED
DESIGN FOR
NEIGHBORHOOD
BOARD APPROVAL

HEMPHILL COMMONS
FLOOR PLAN
SHEET NUMBER
A102

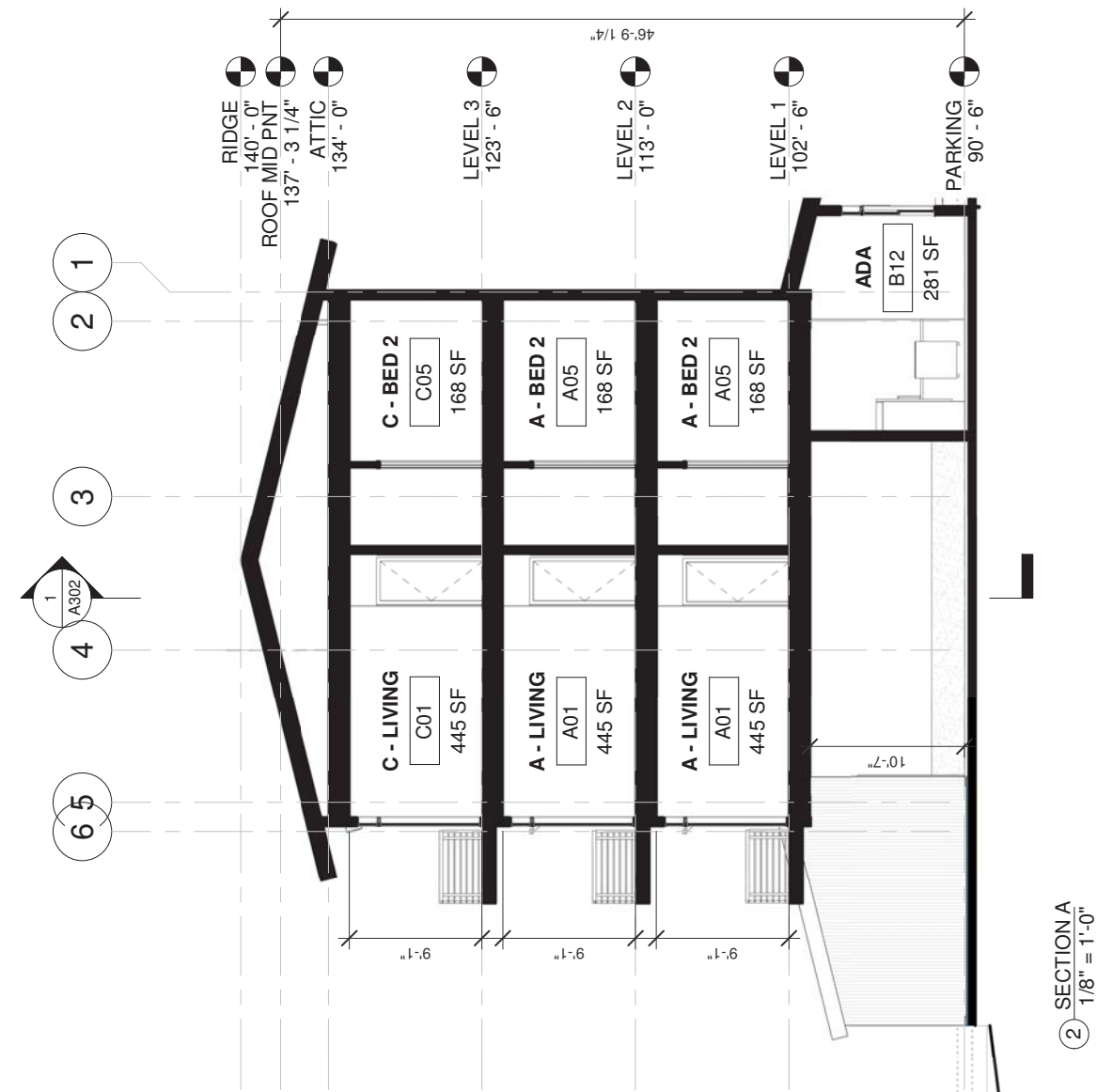
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AUSTIN 2715 HEMPHILL PARK



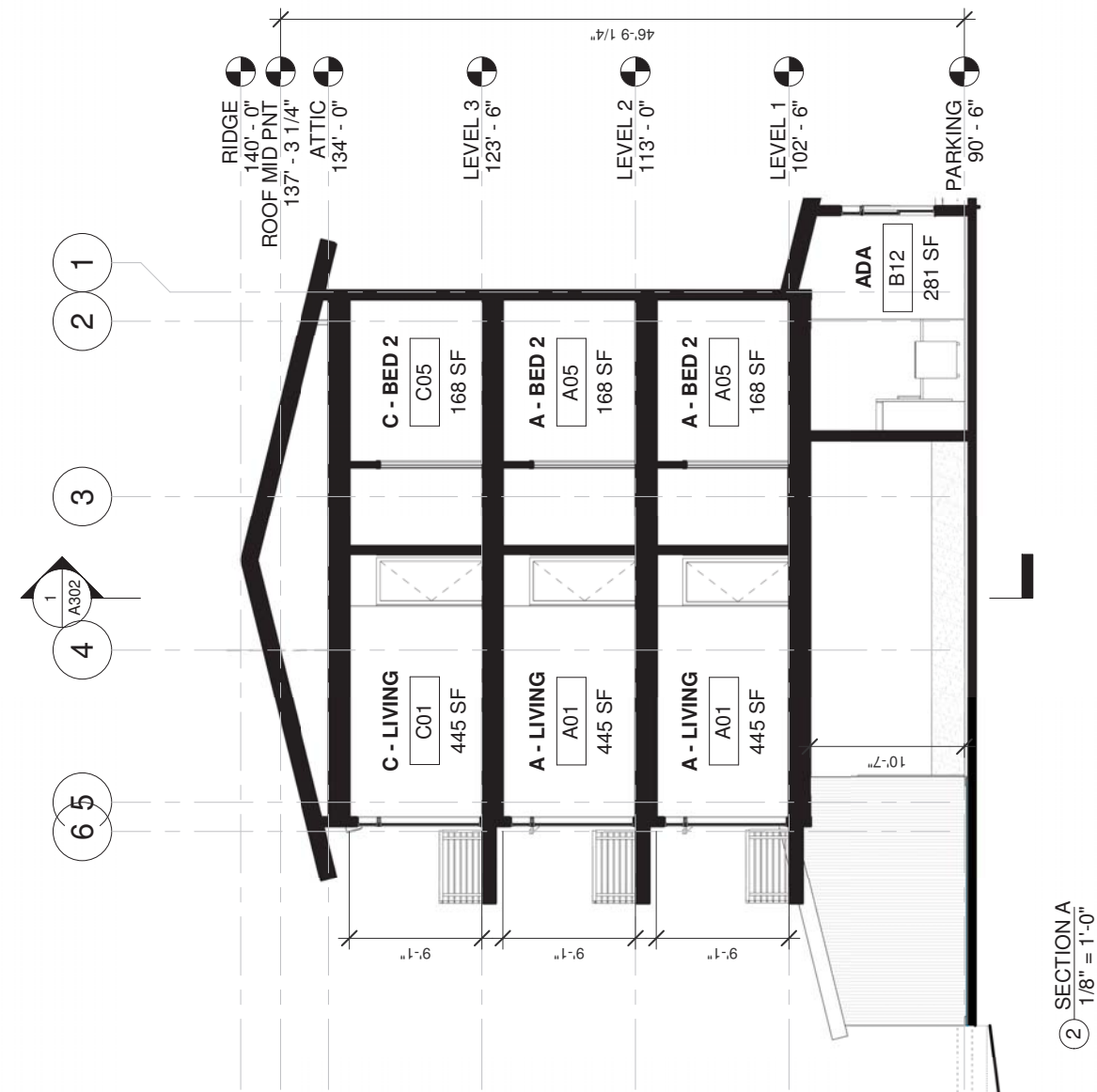
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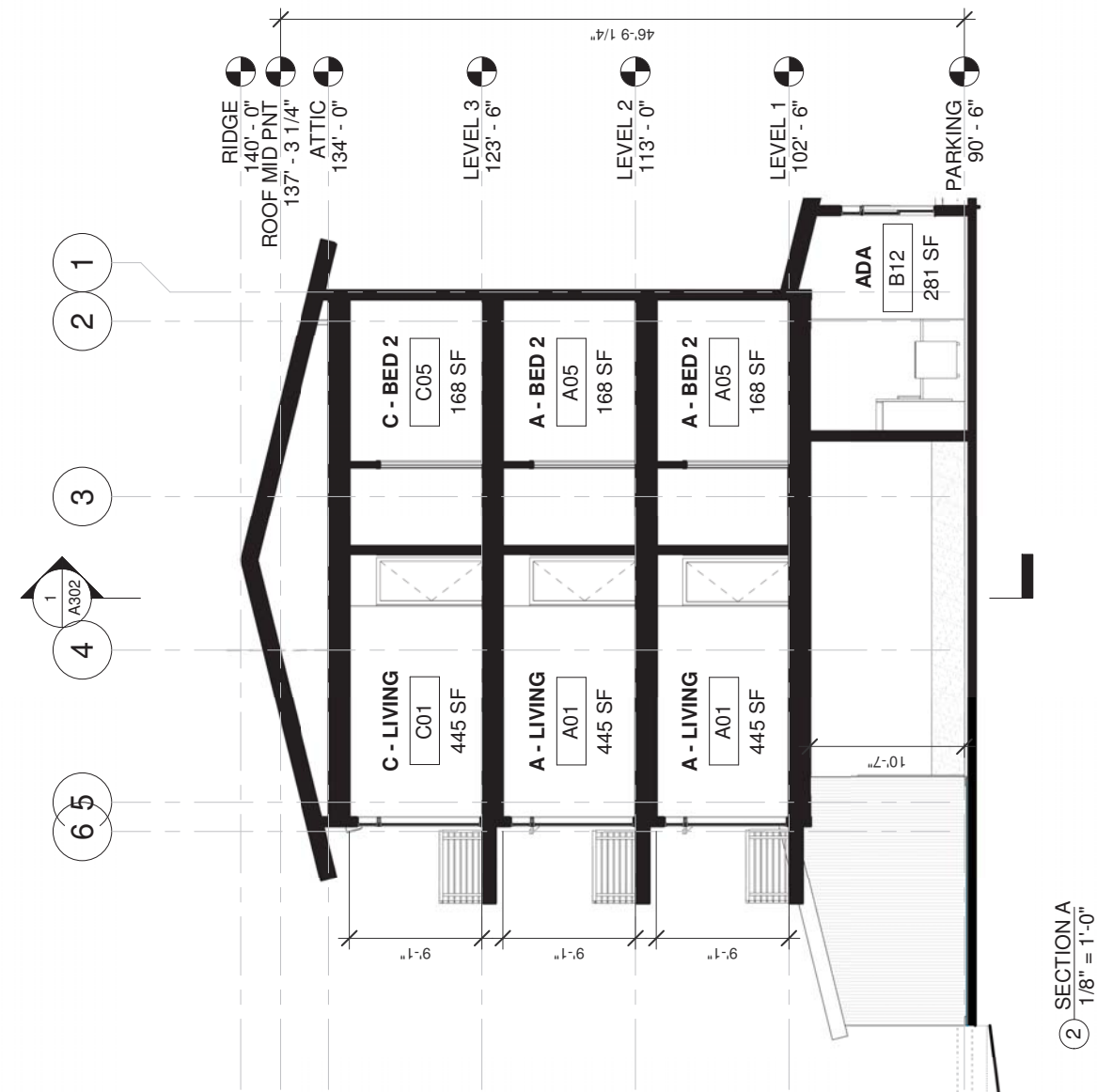
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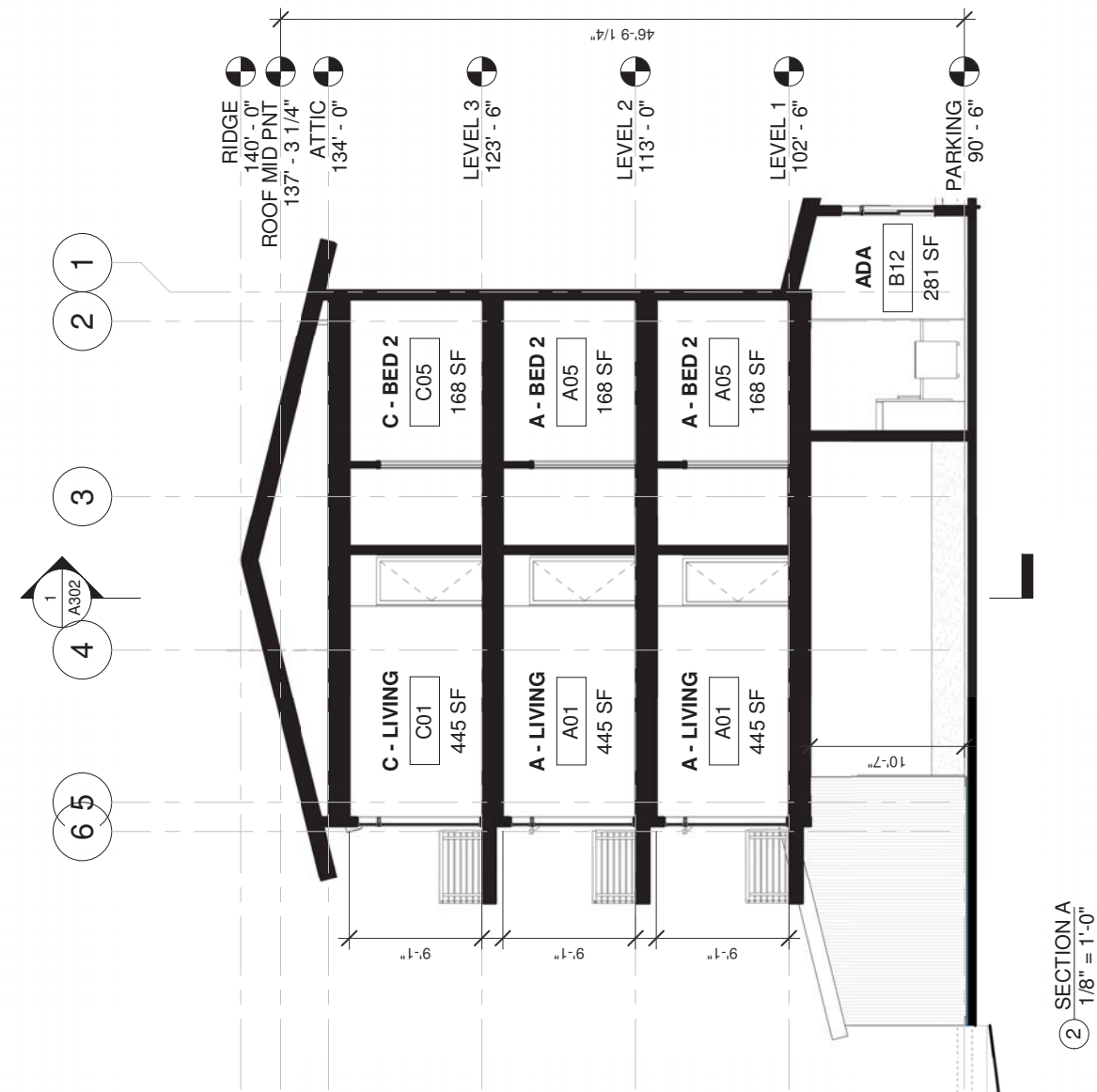
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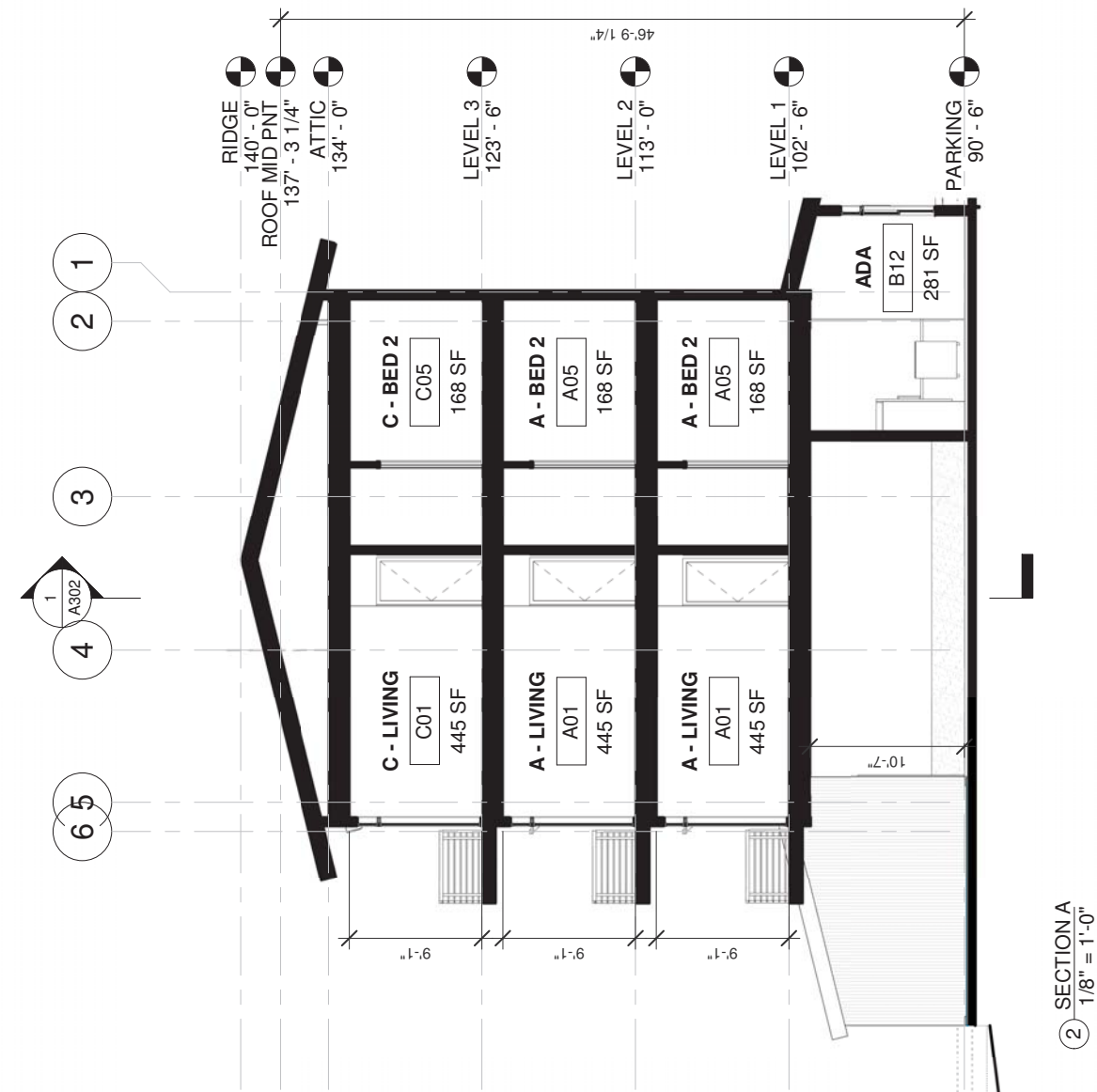
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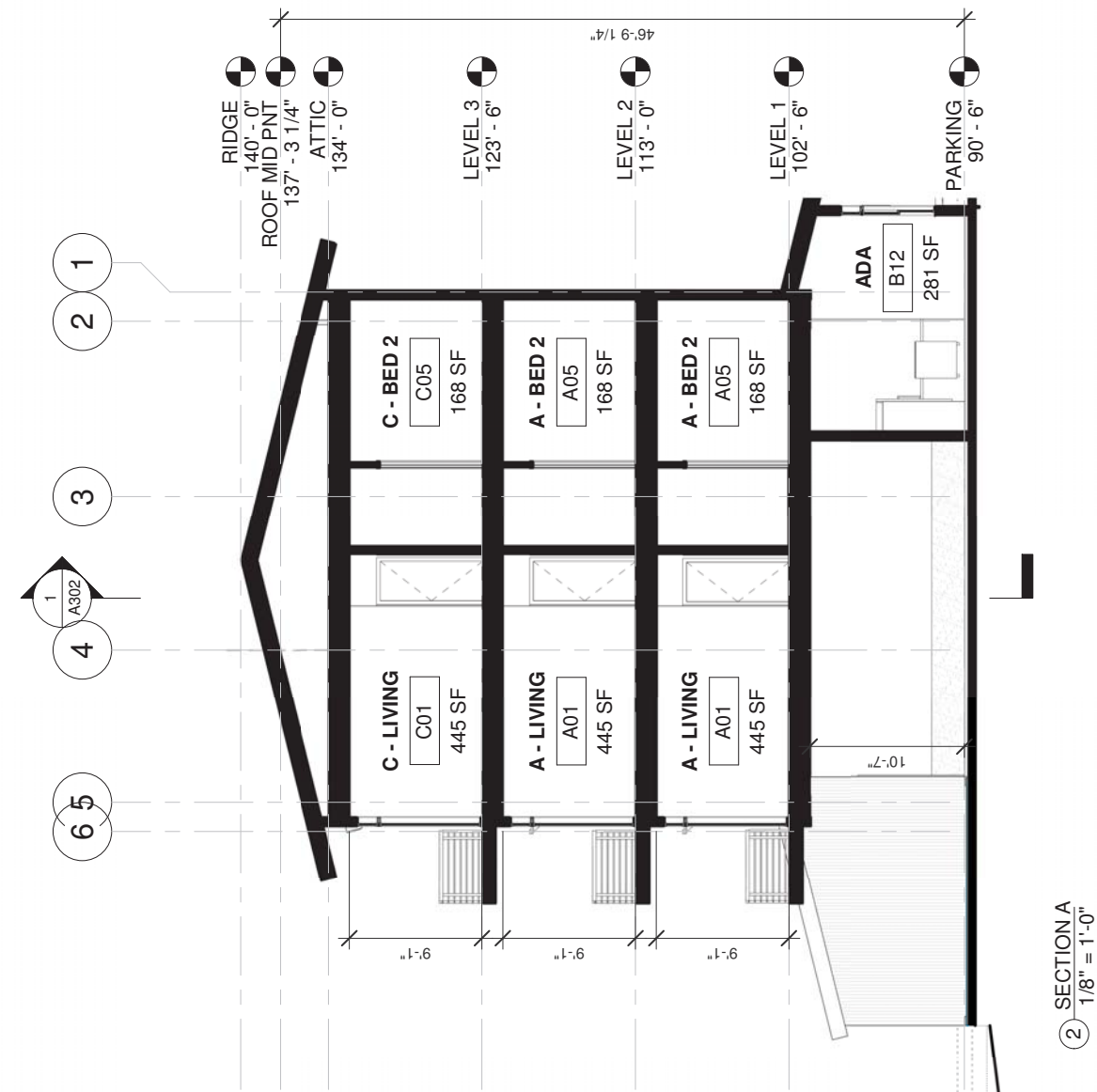
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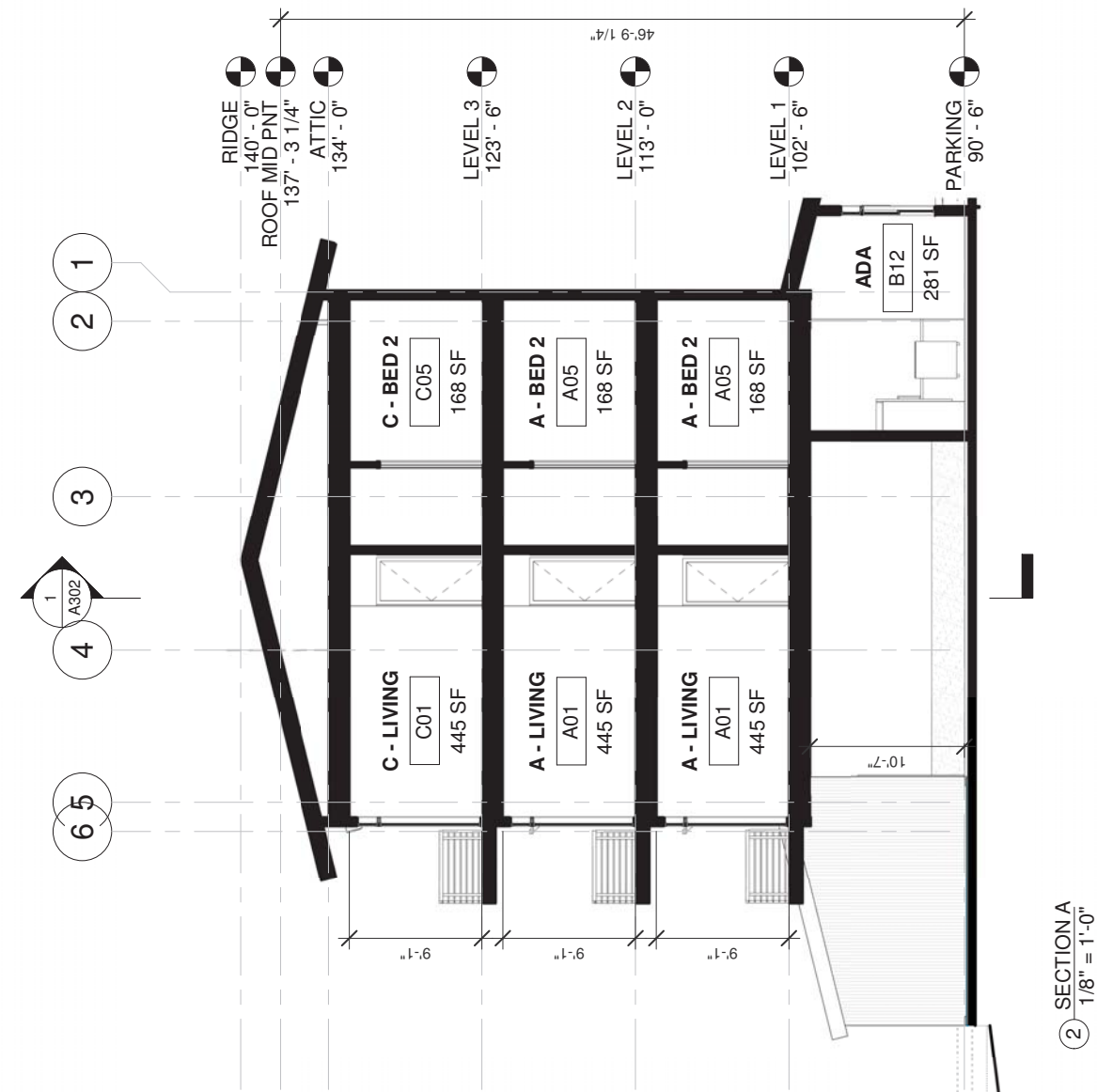
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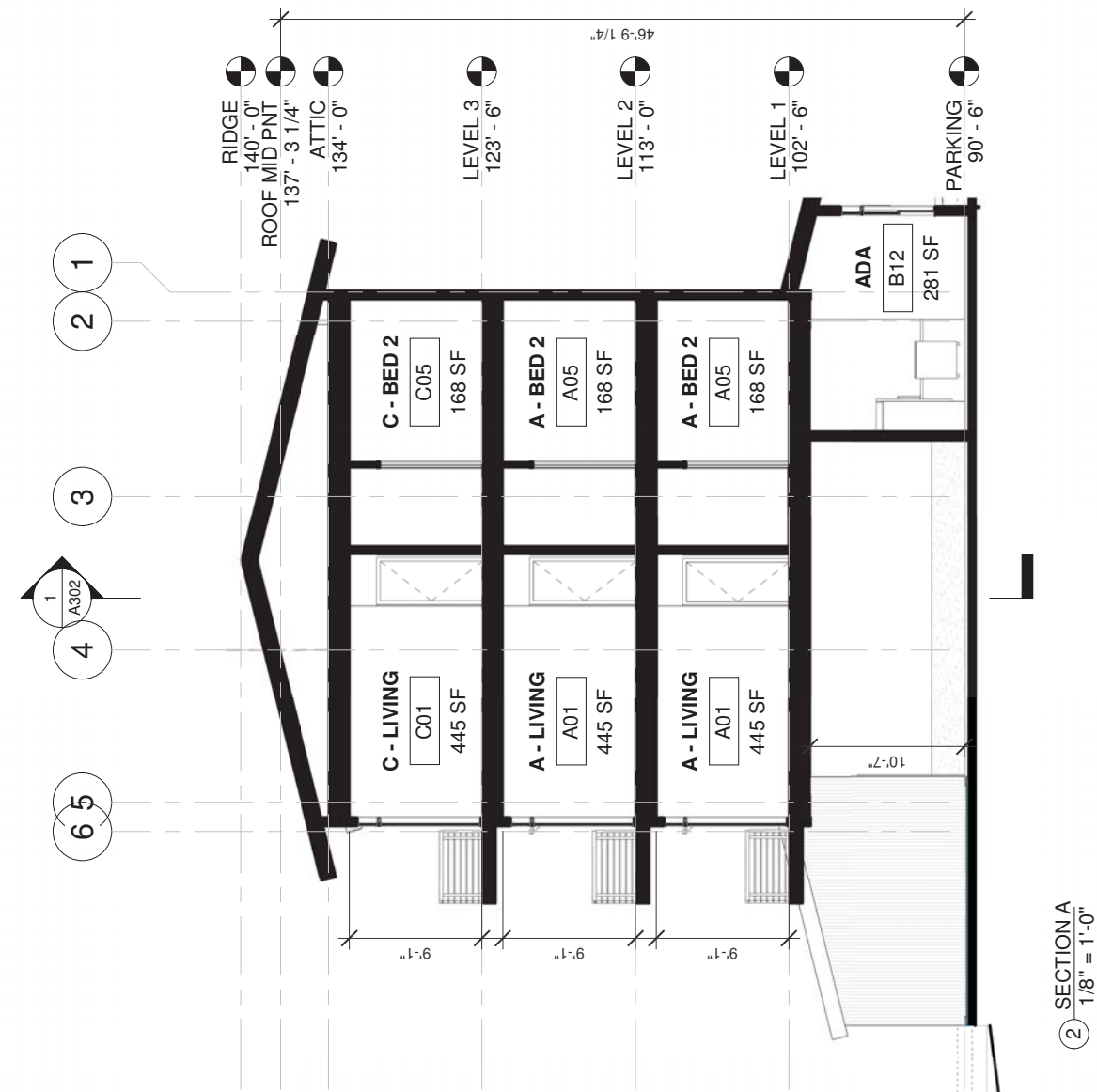
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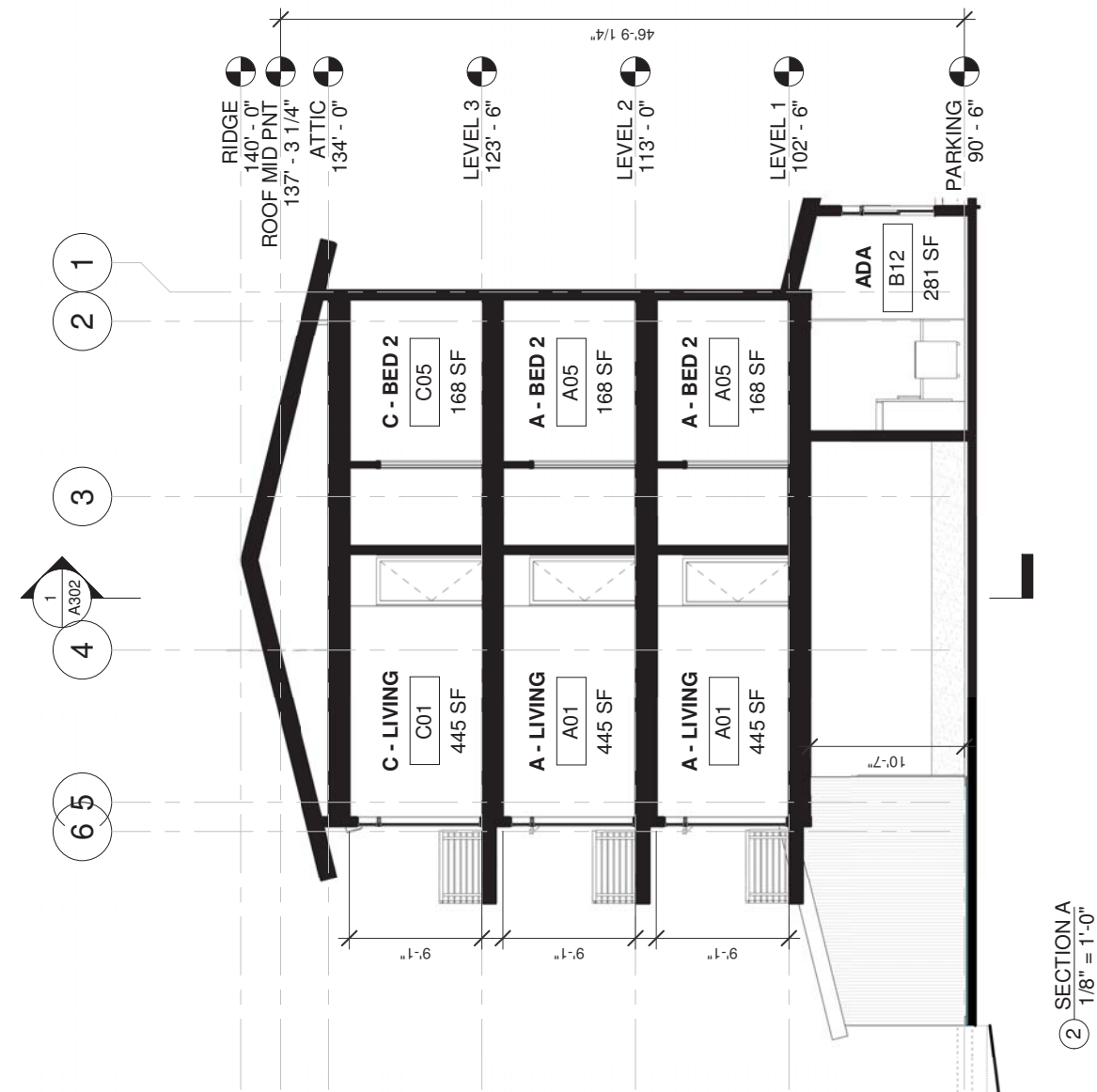
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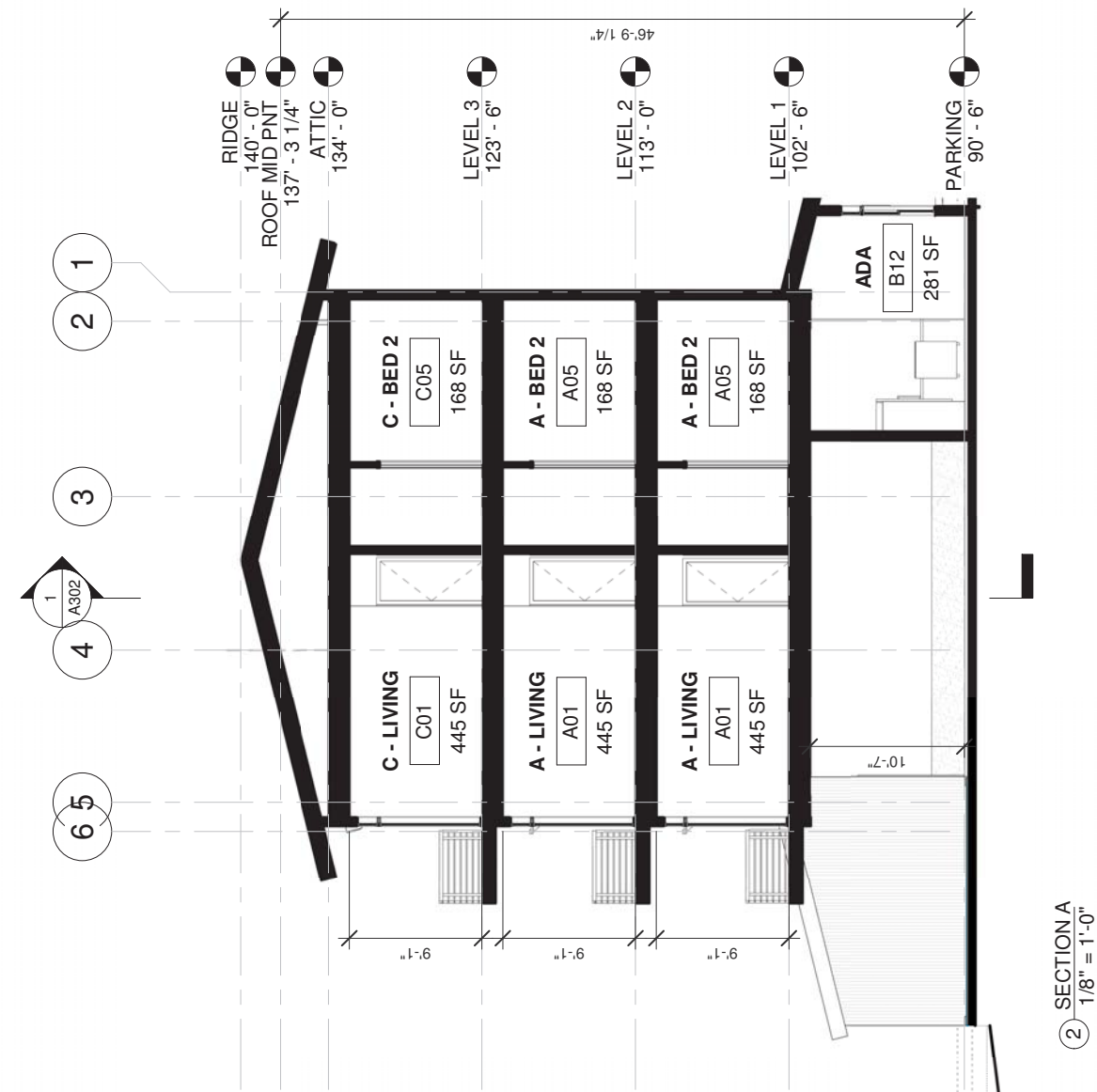
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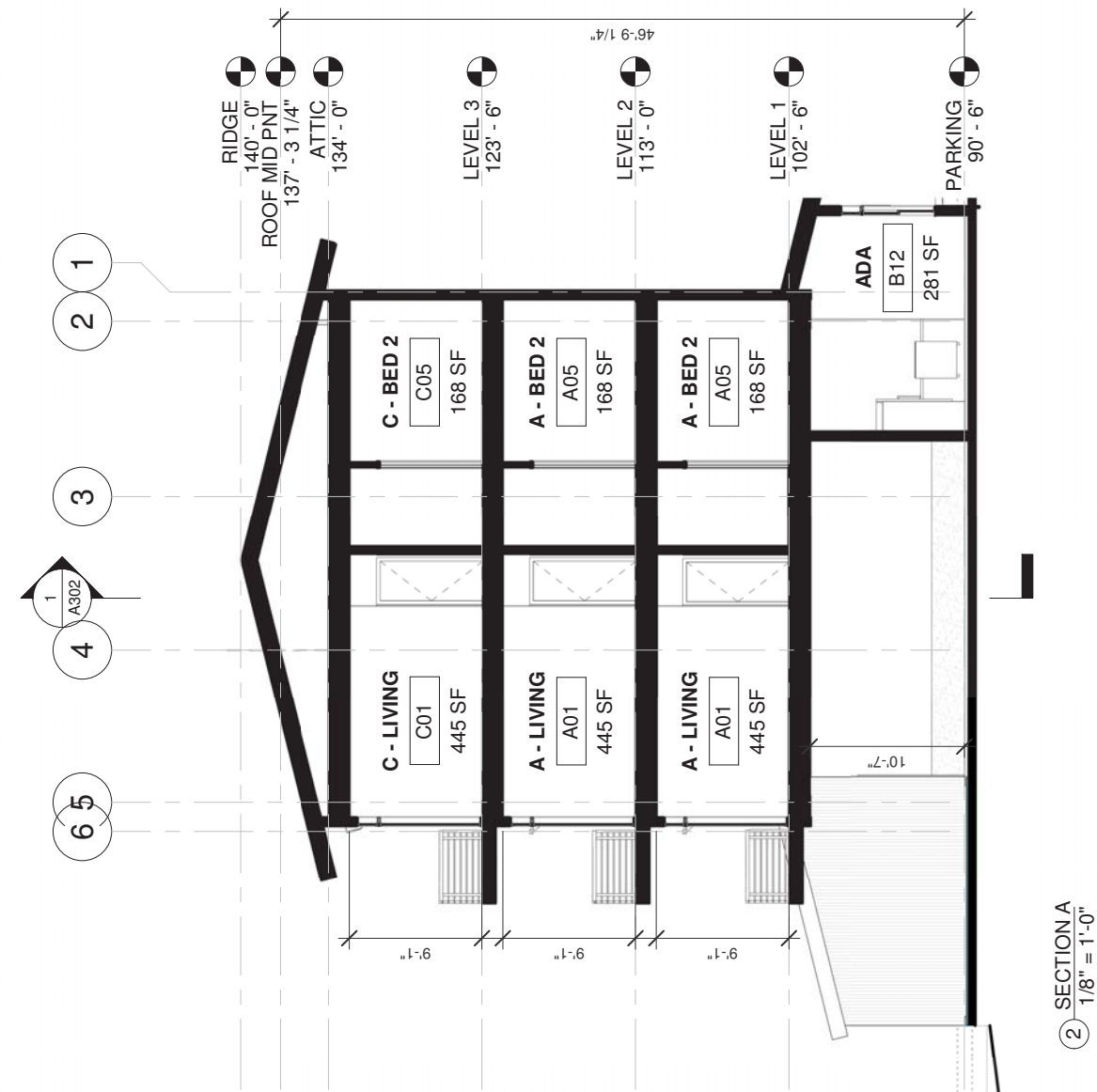
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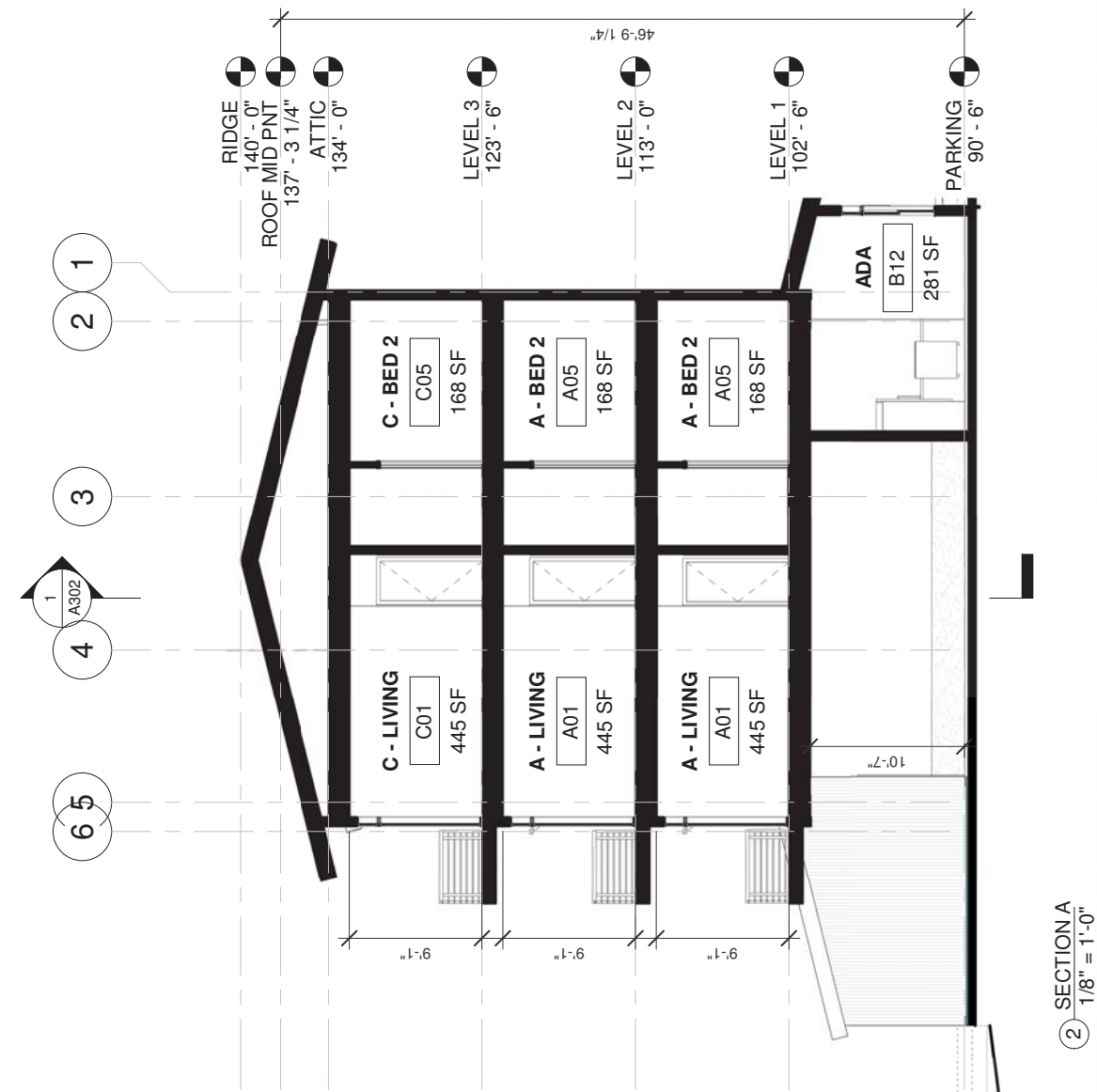
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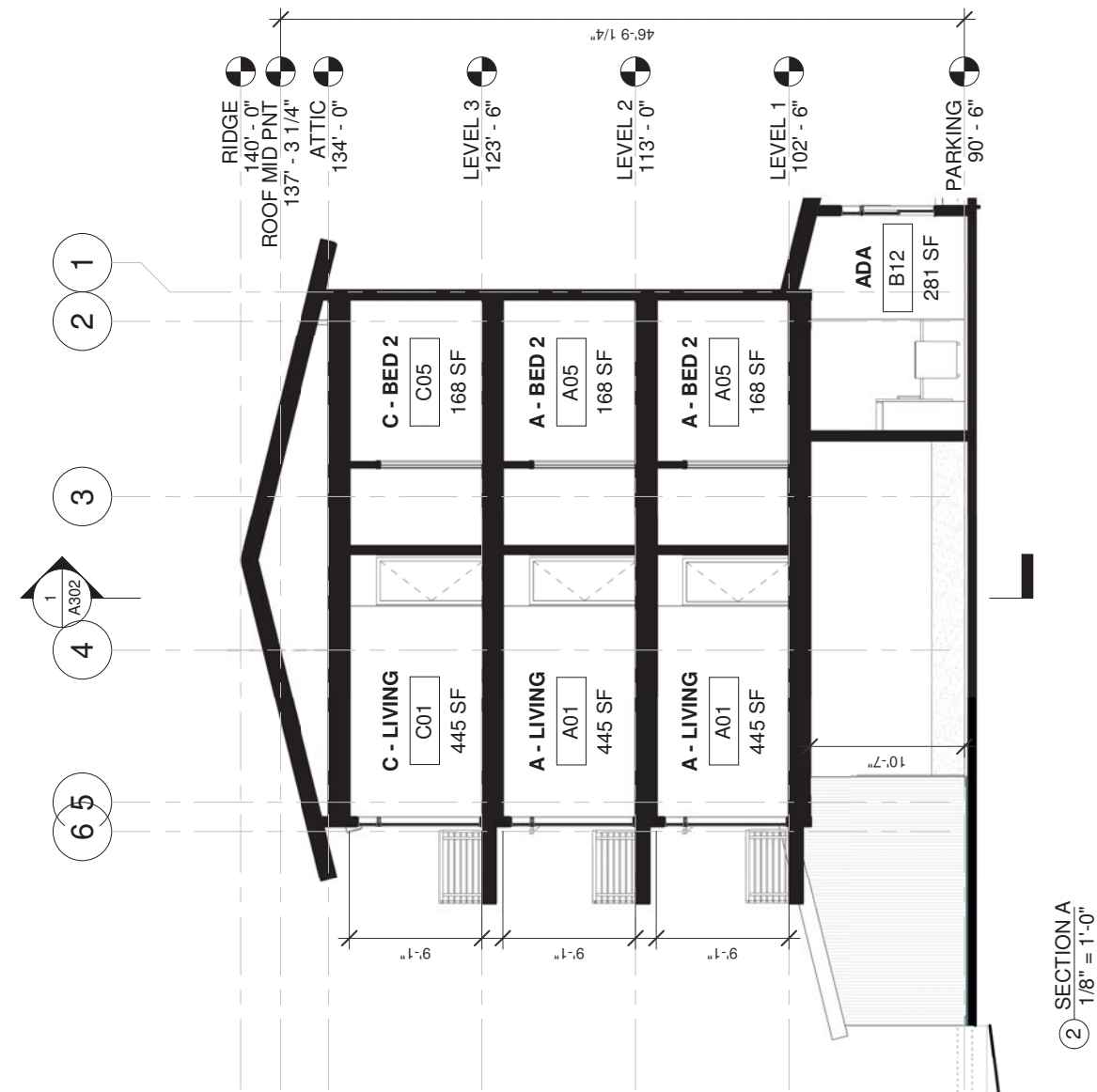
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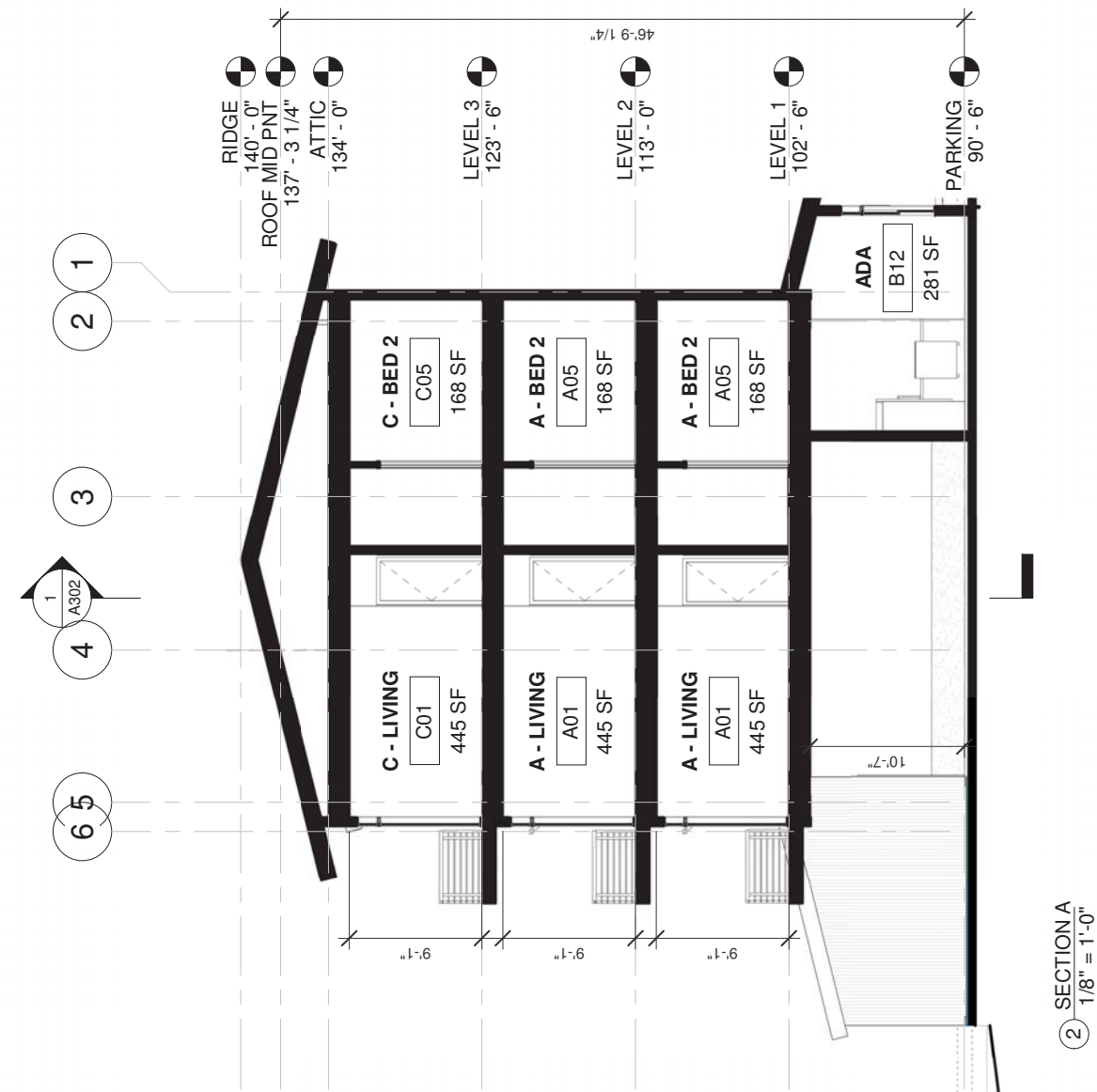
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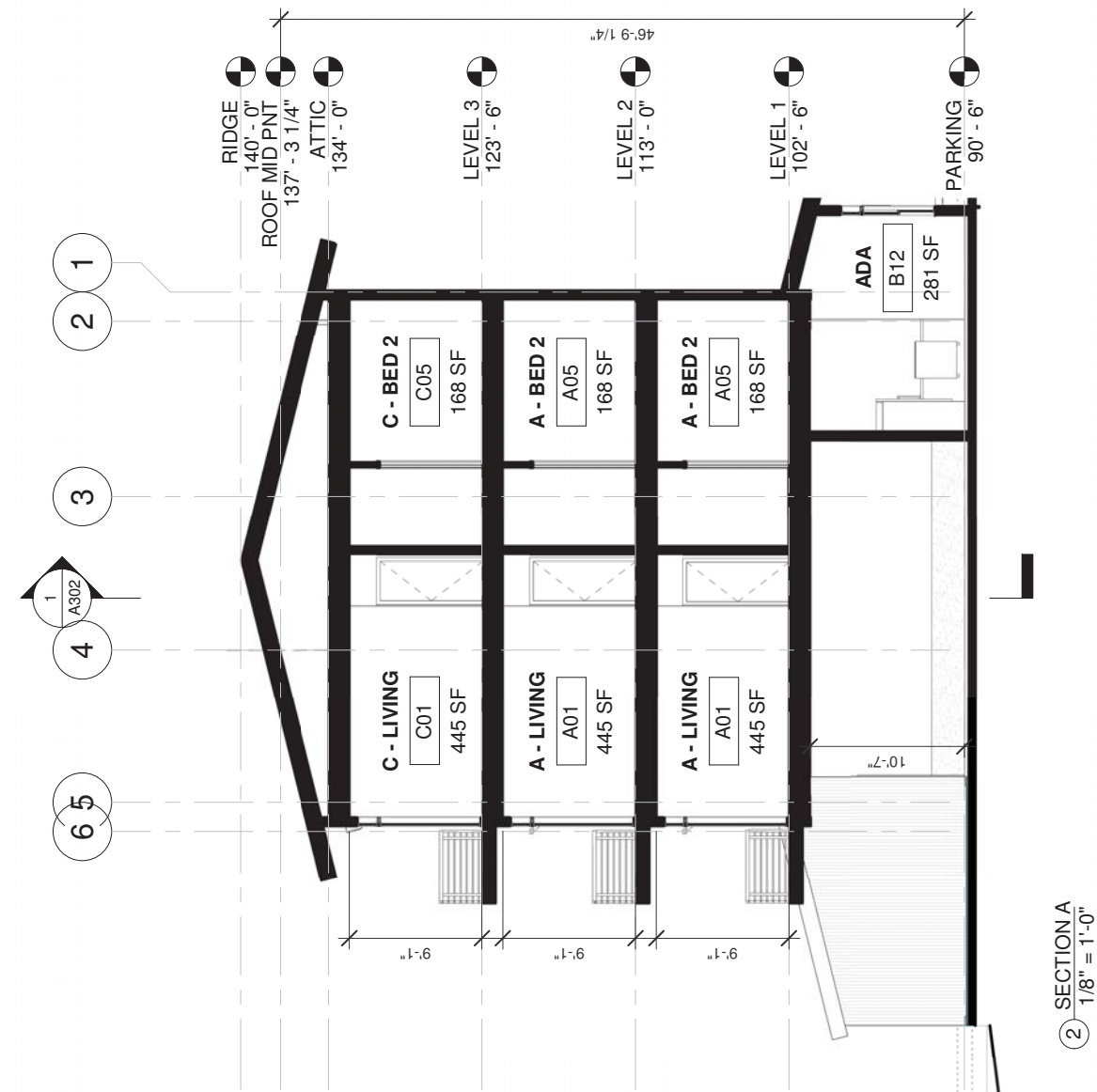
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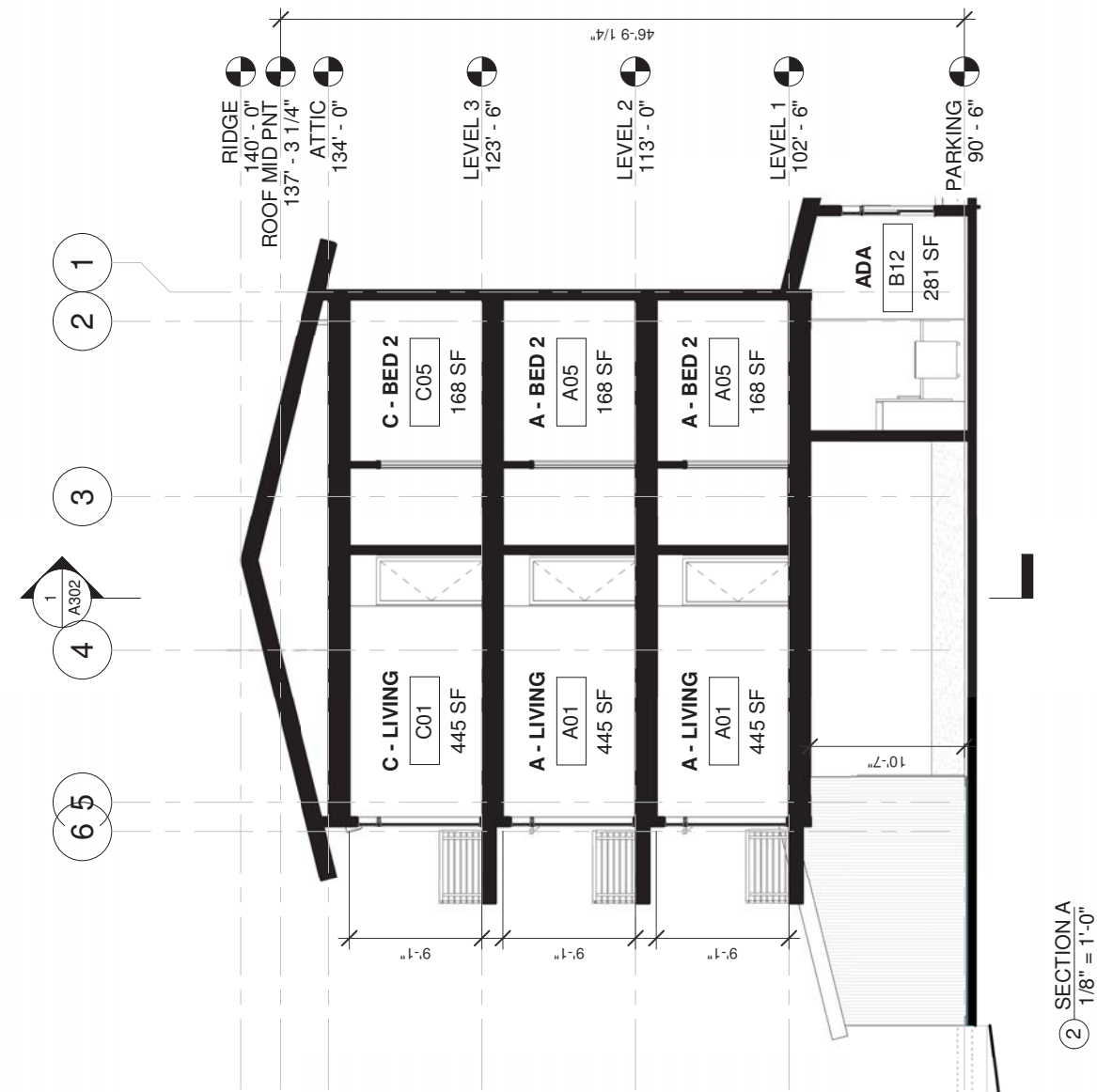
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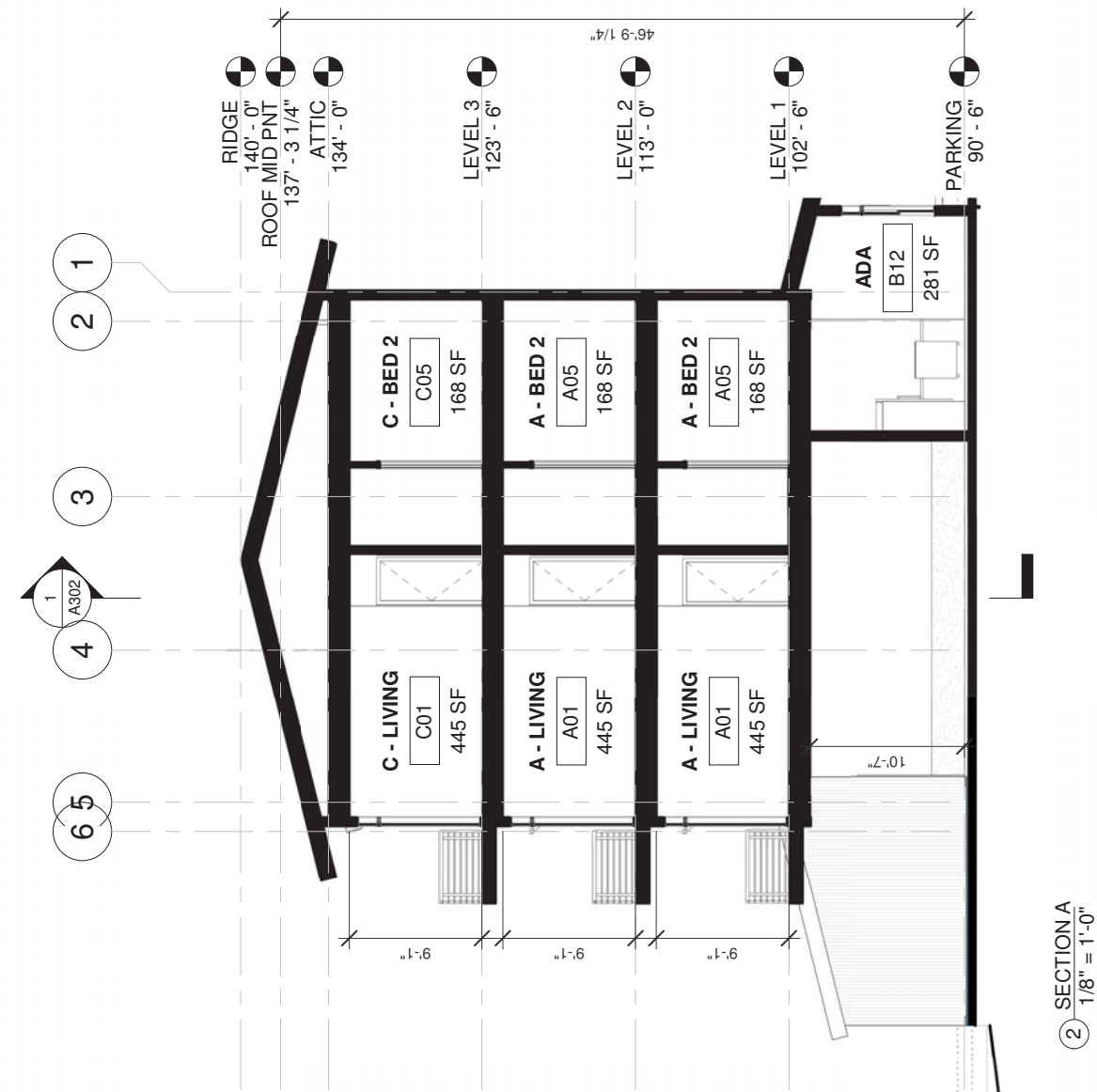
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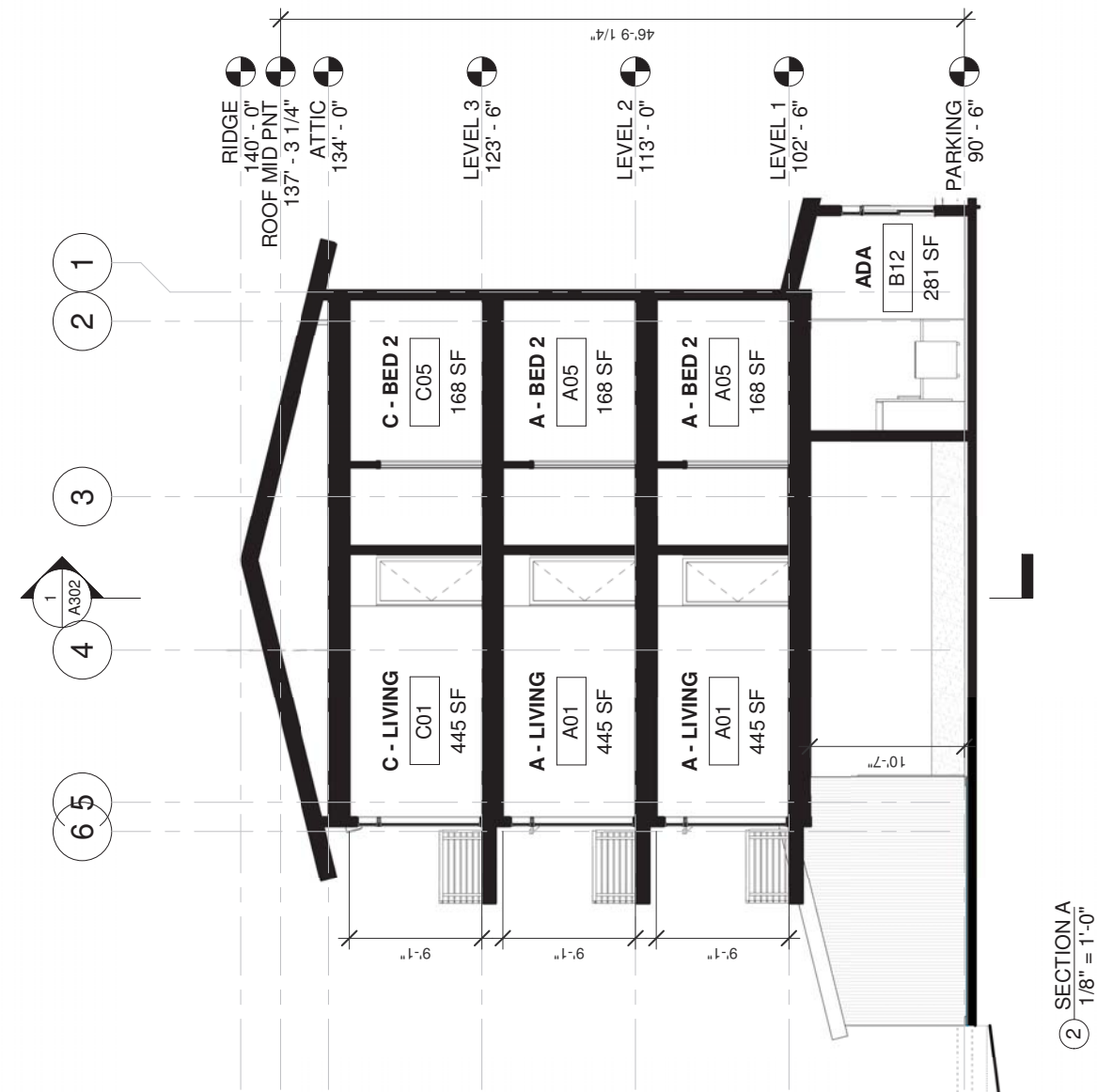
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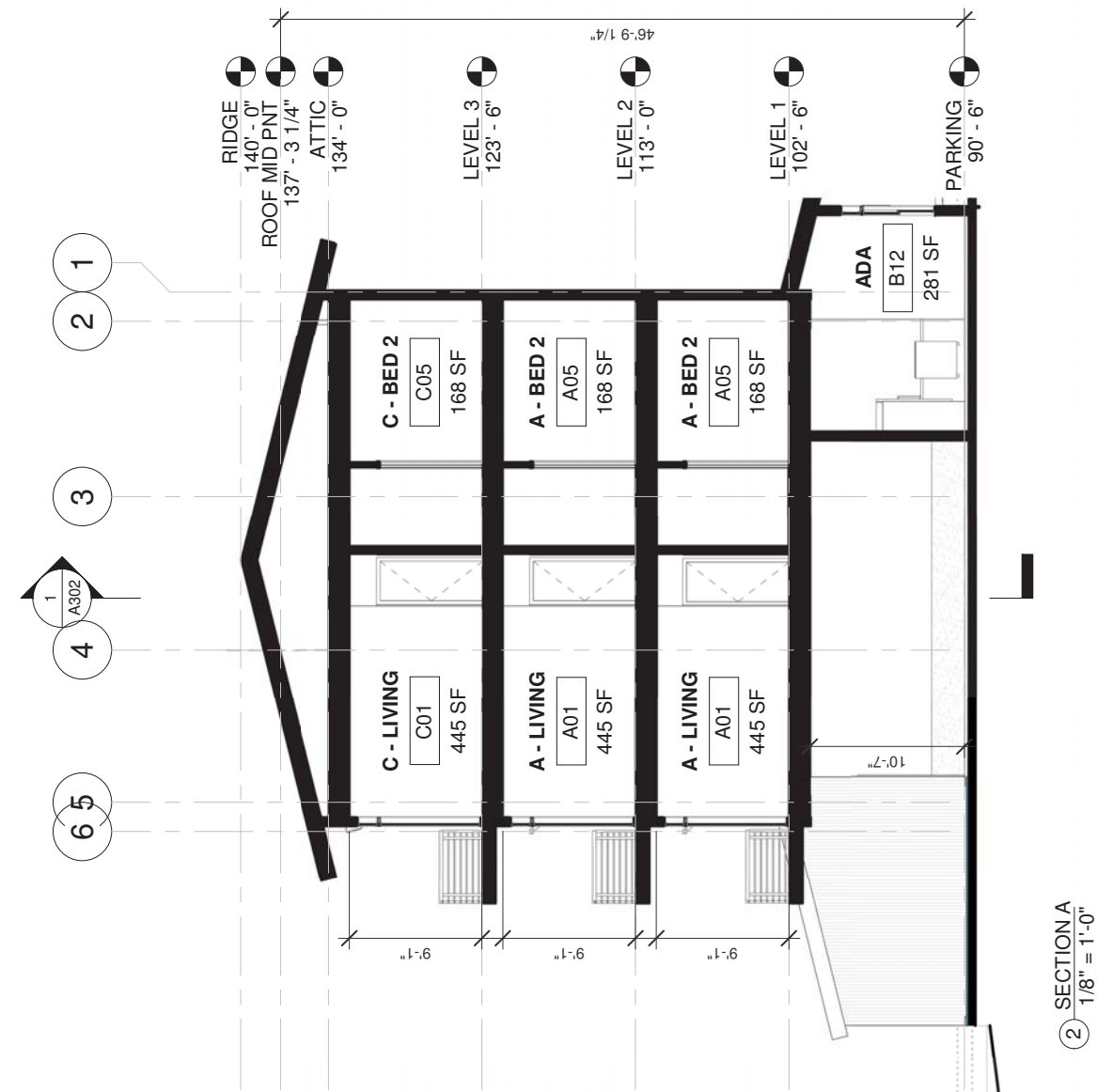
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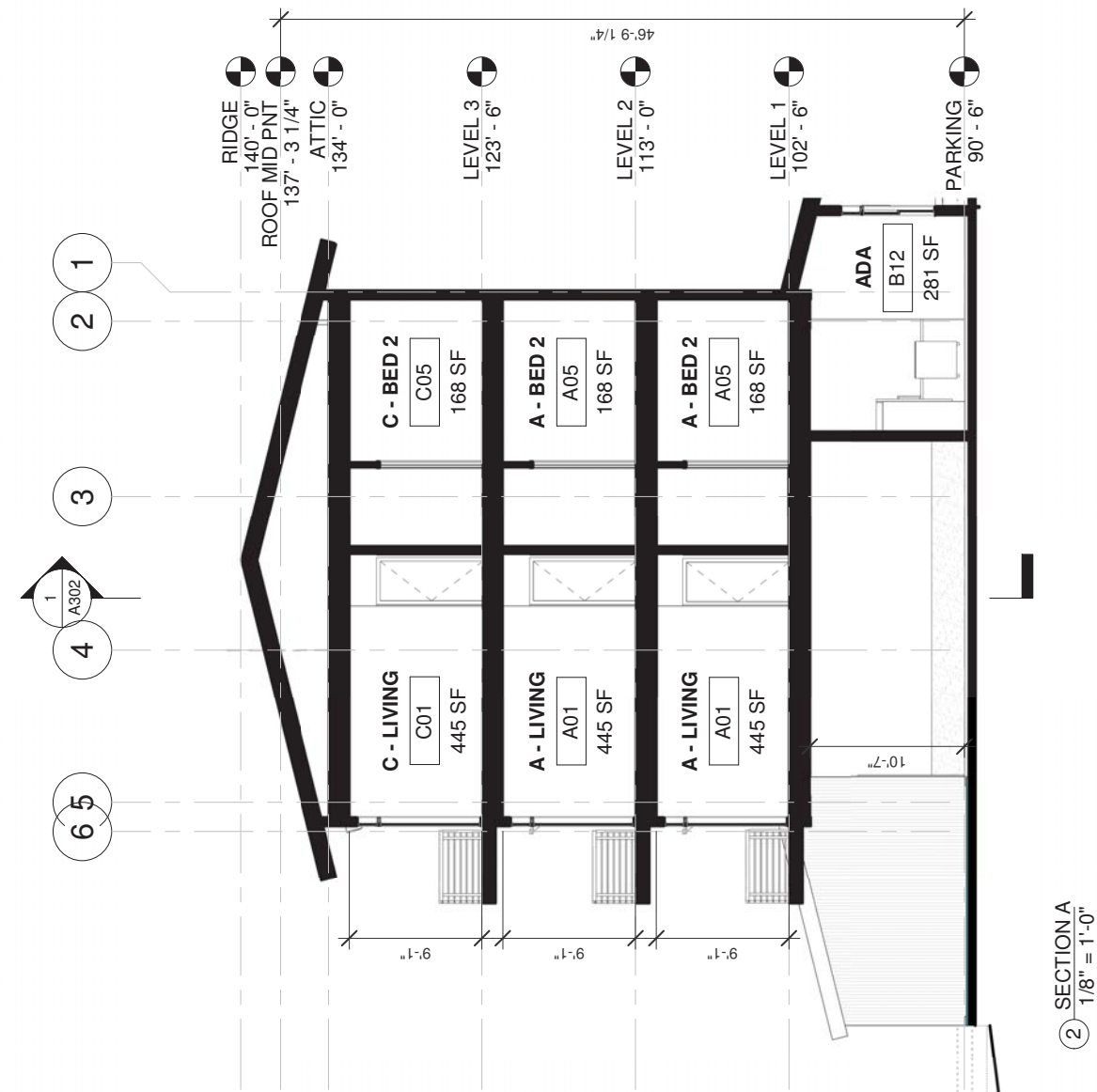
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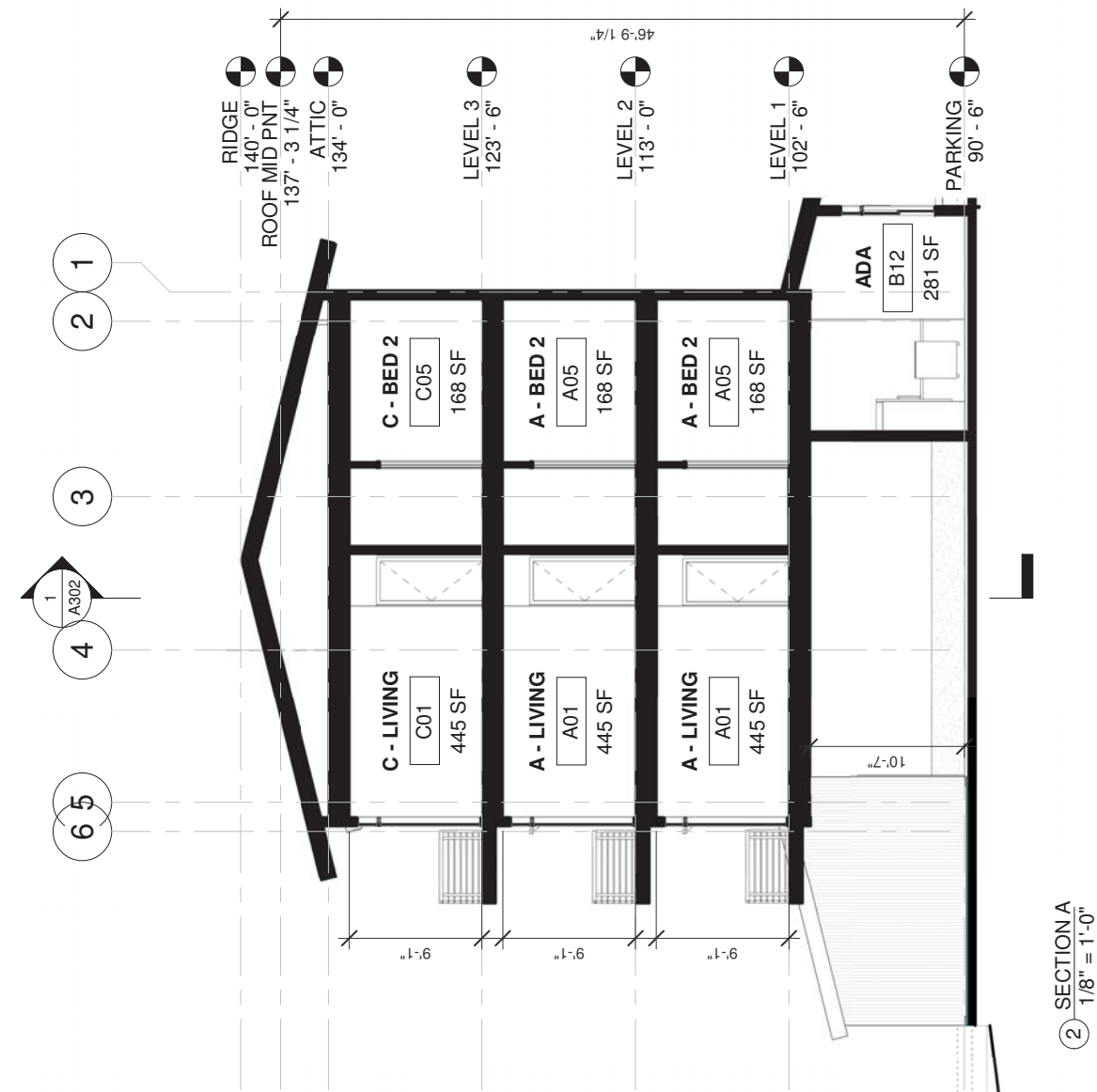
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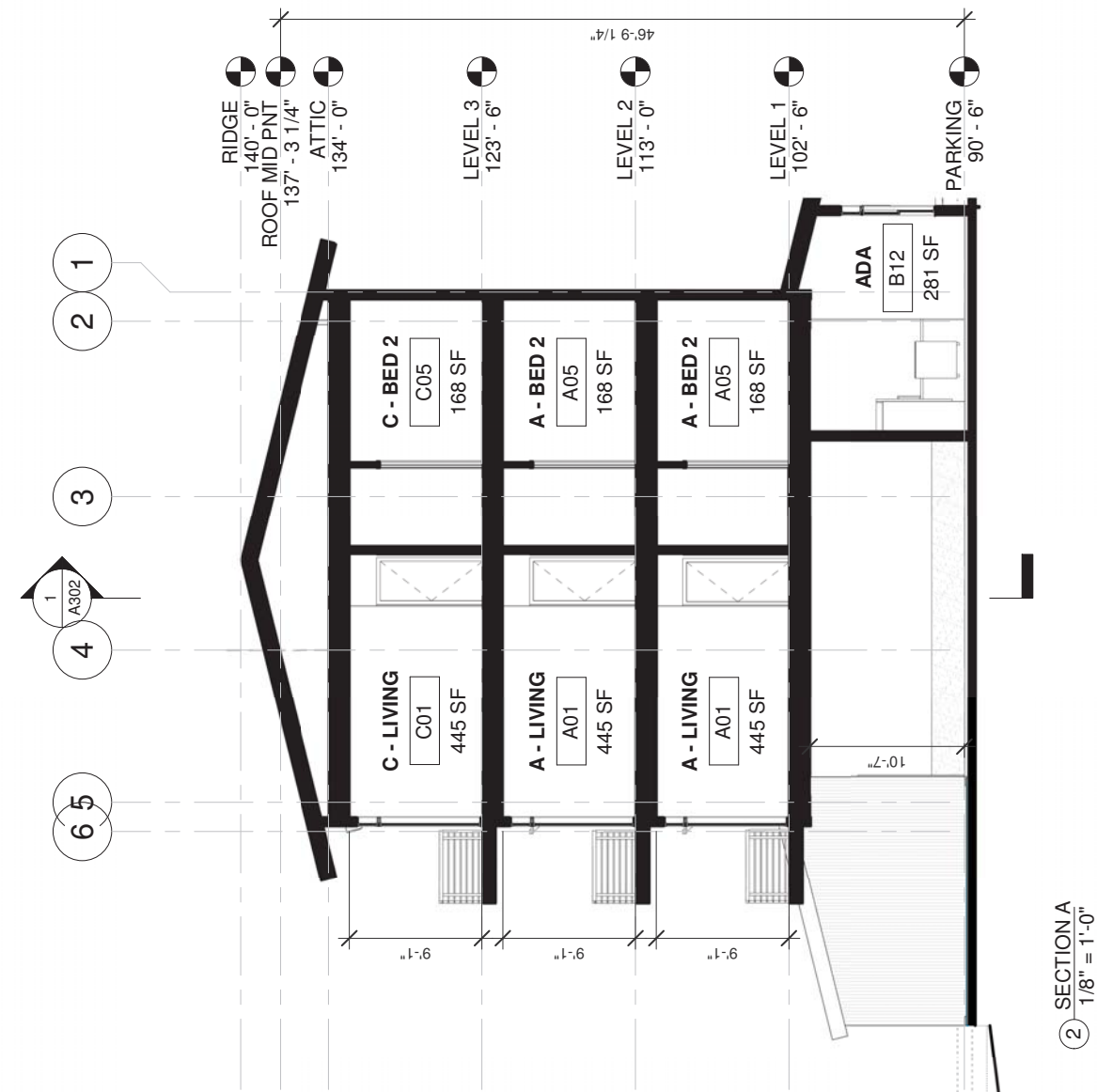
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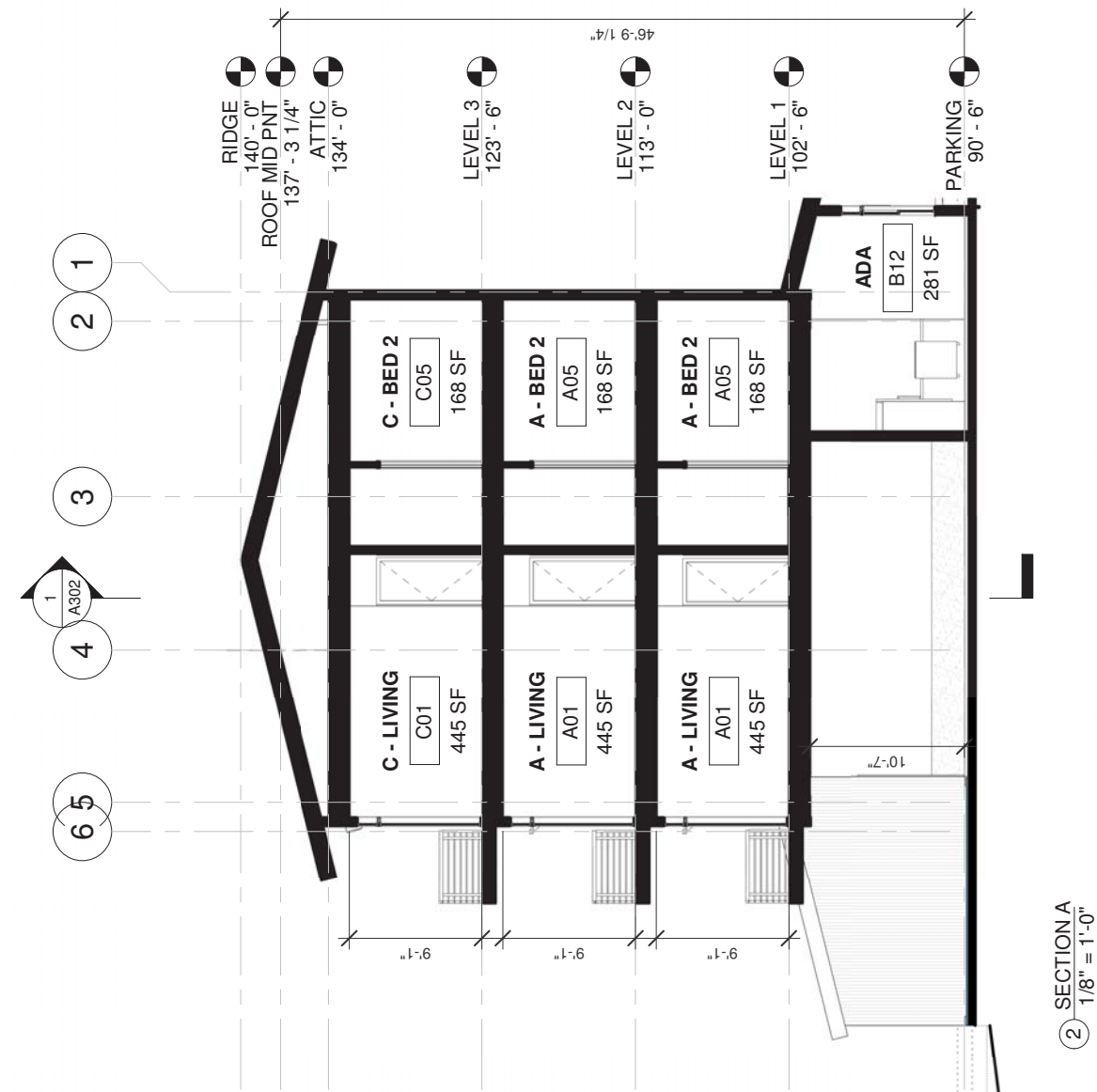
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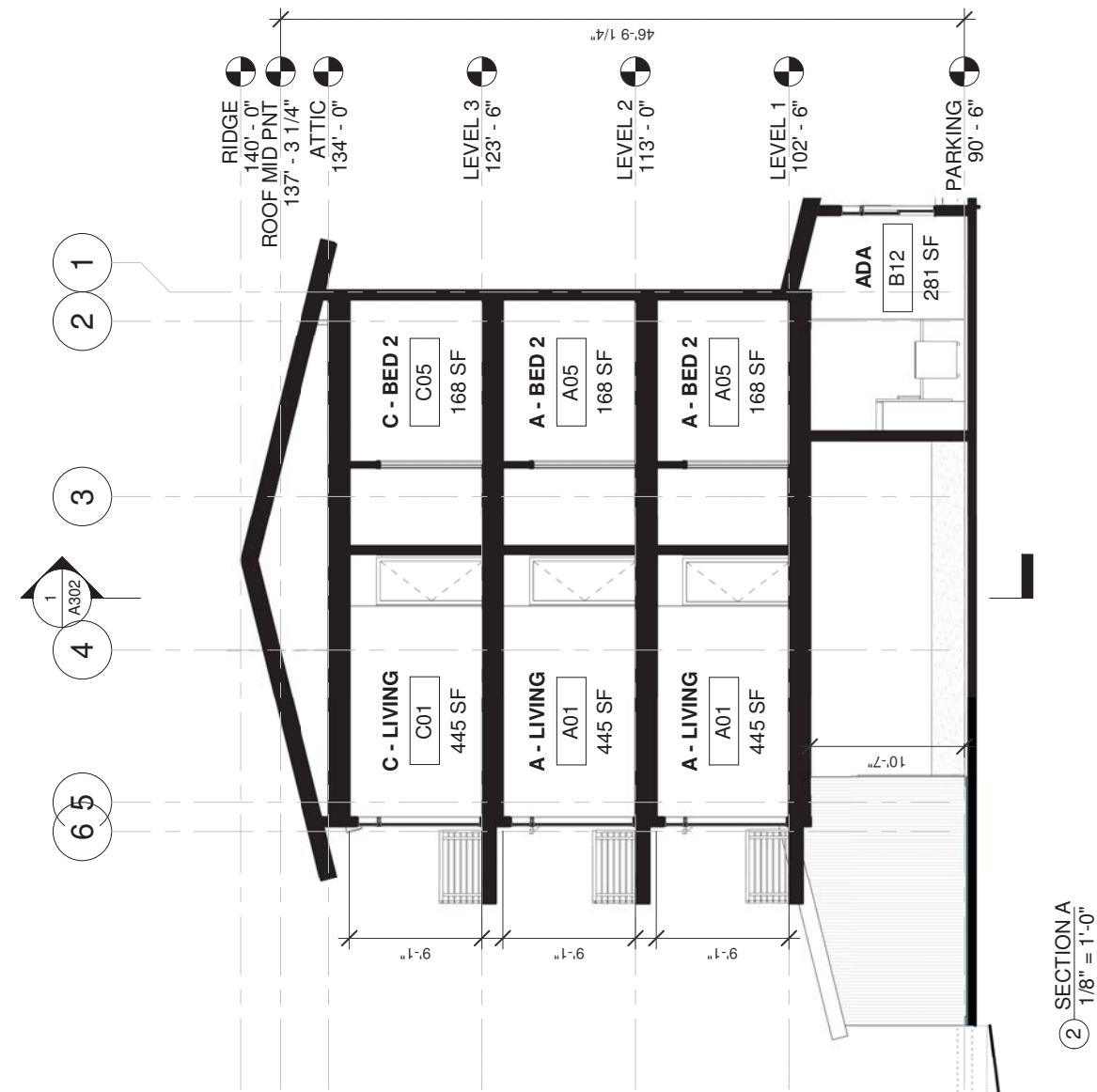
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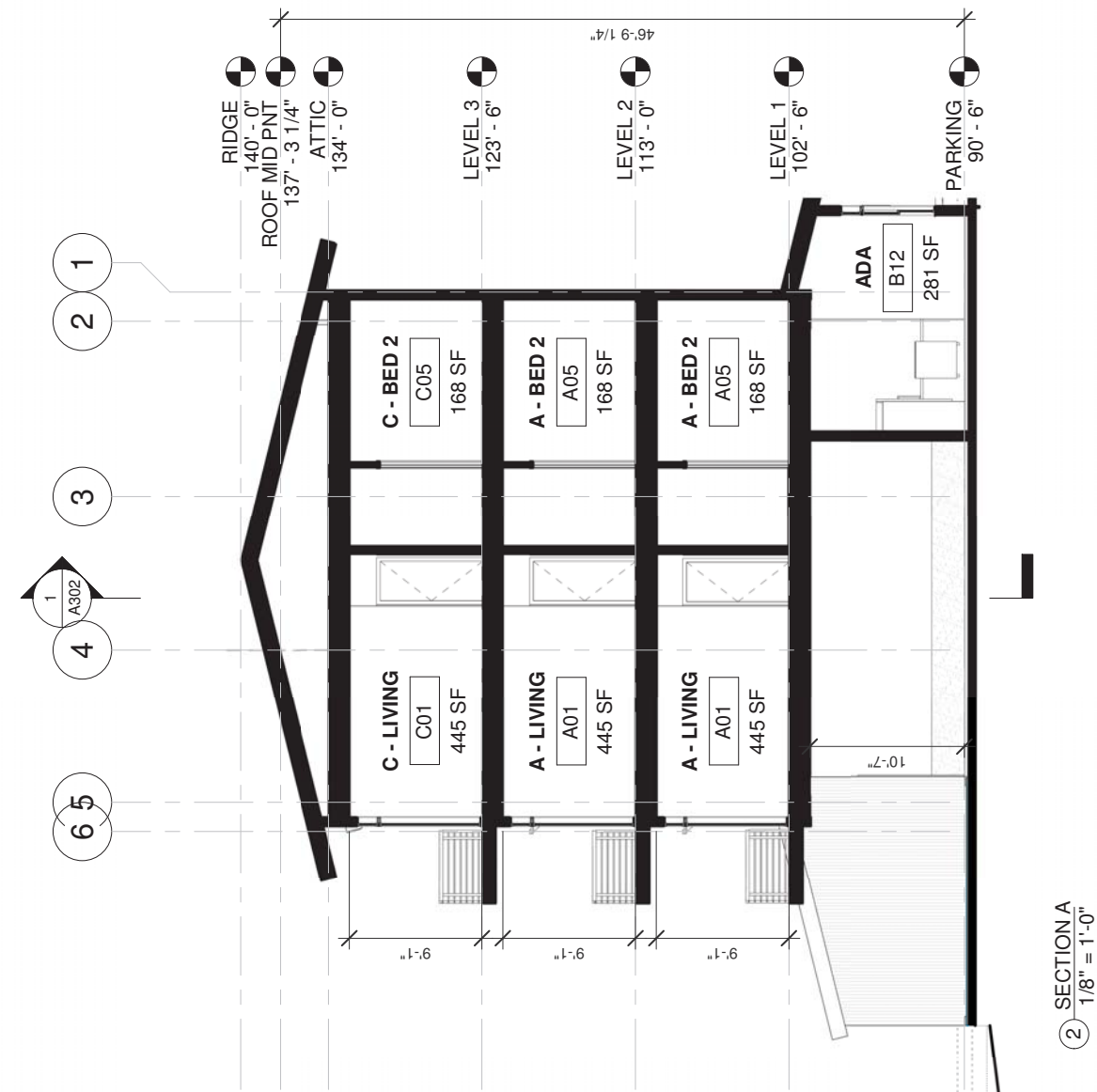
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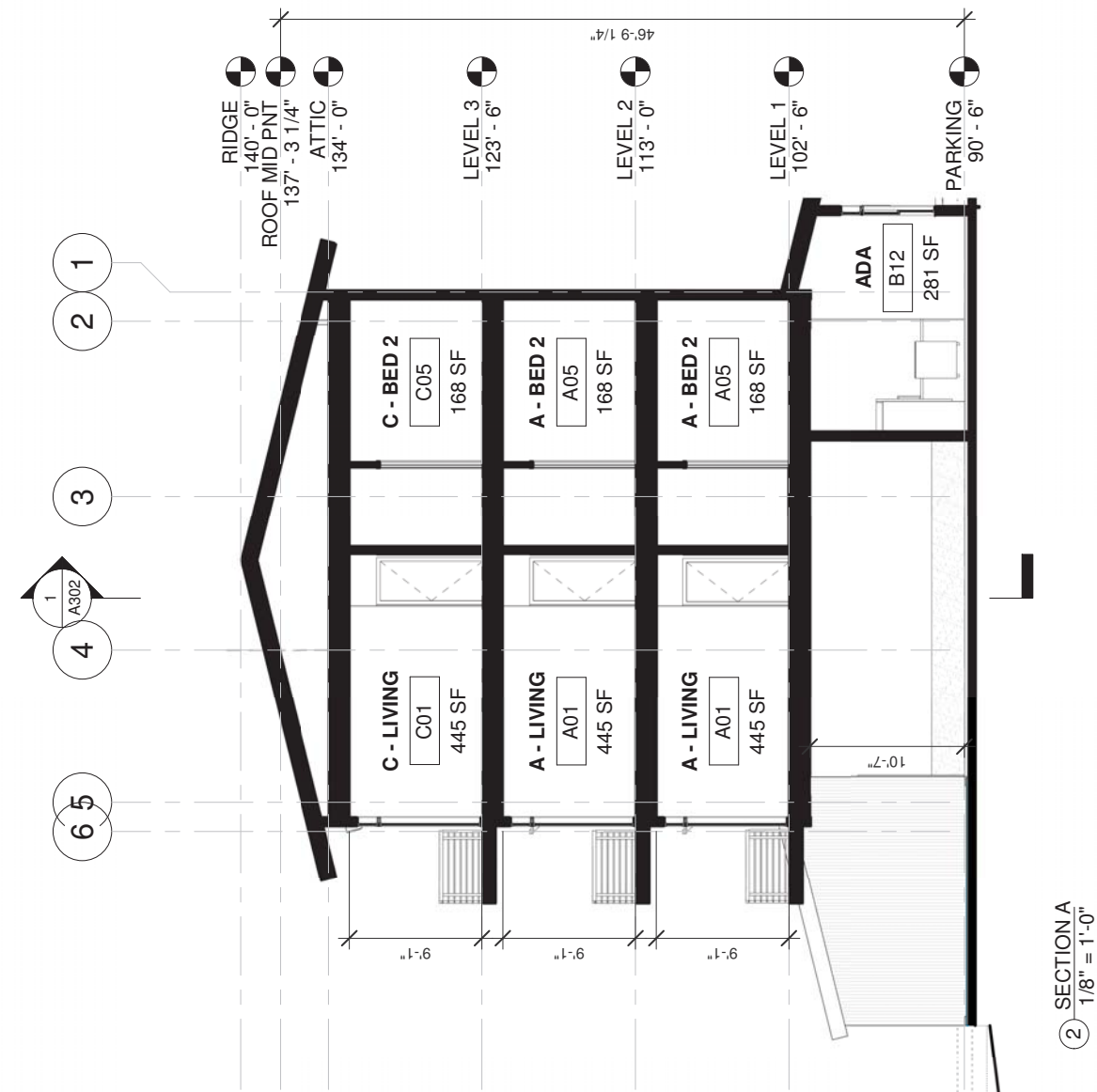
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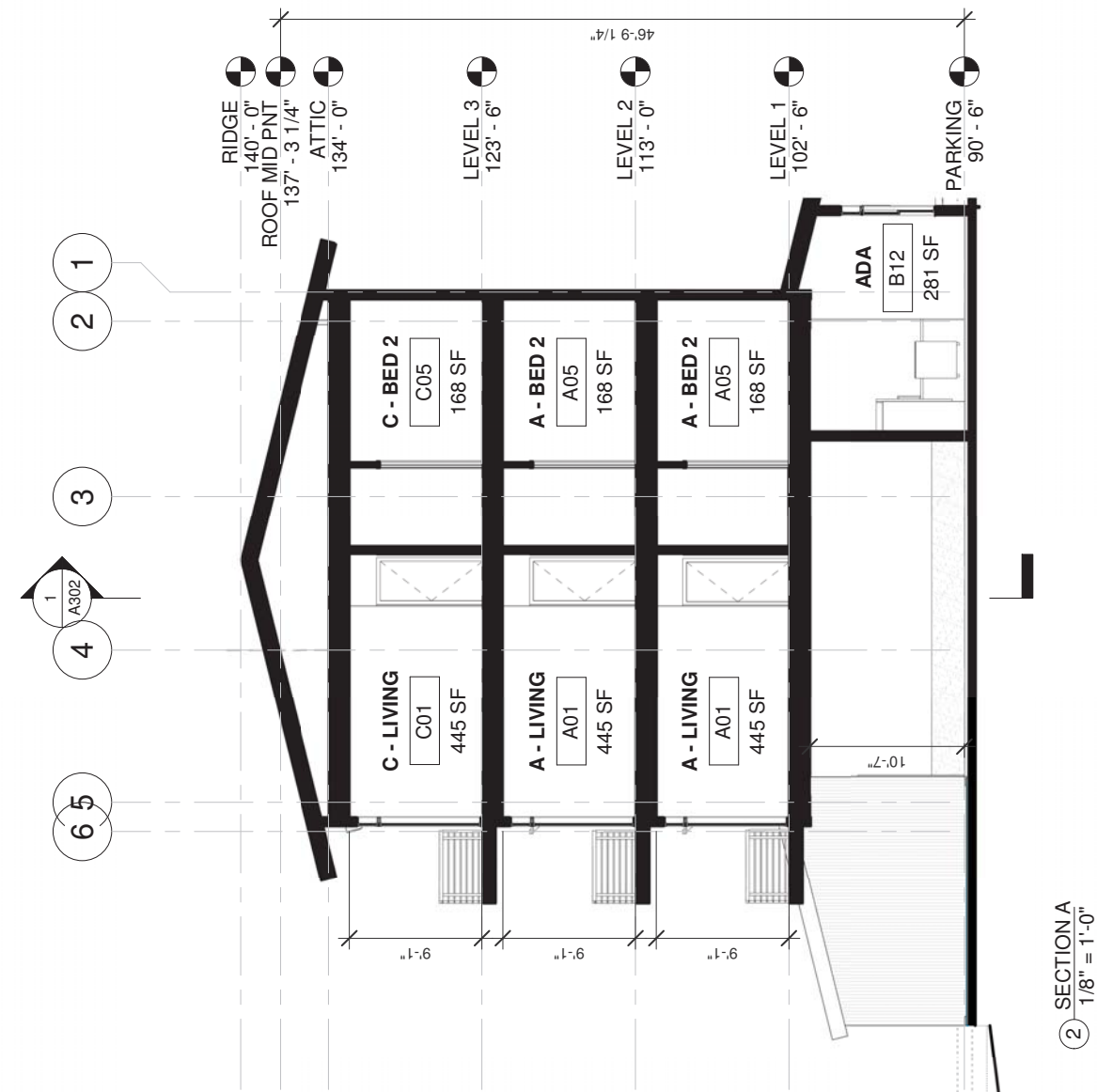
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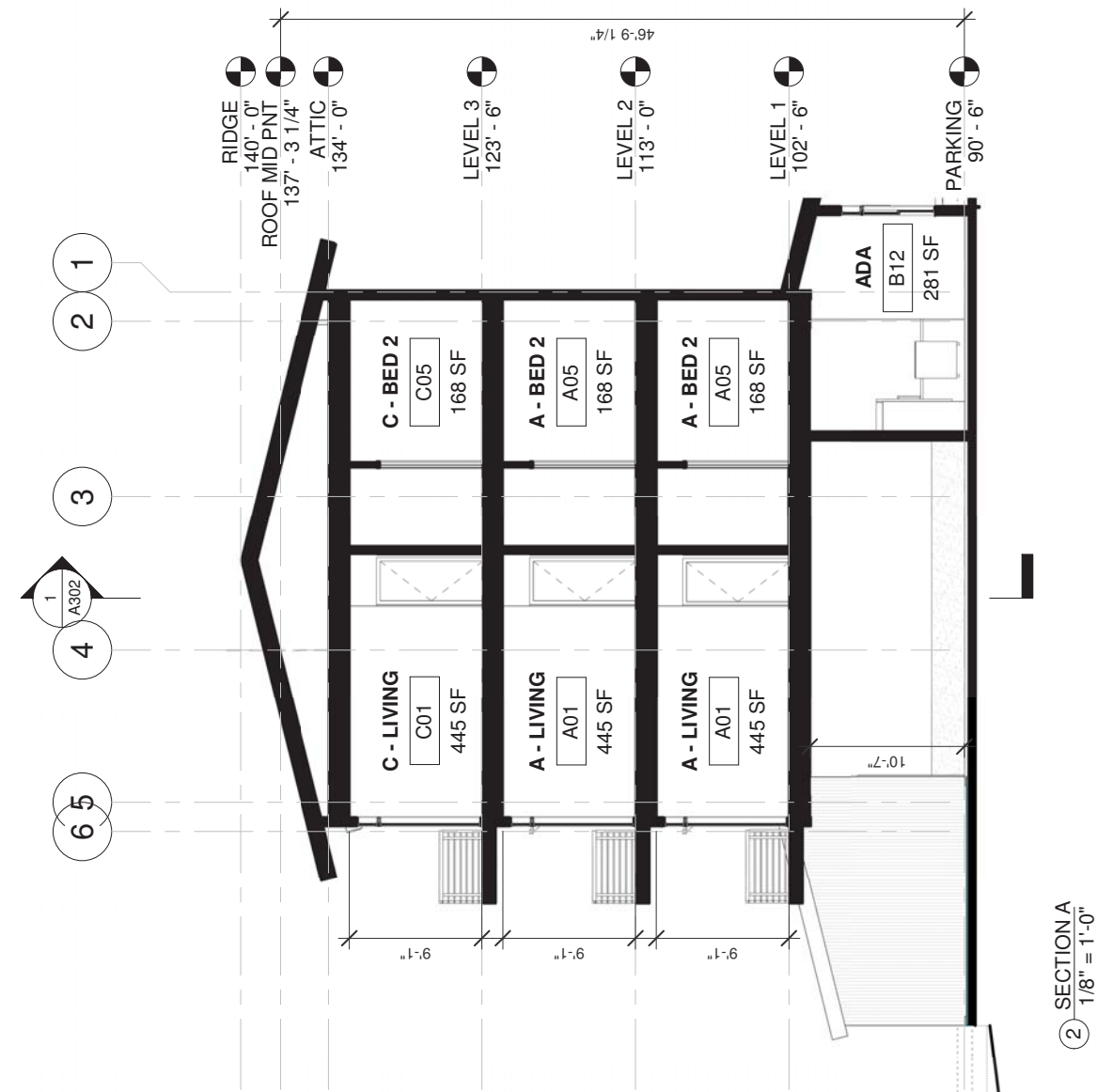
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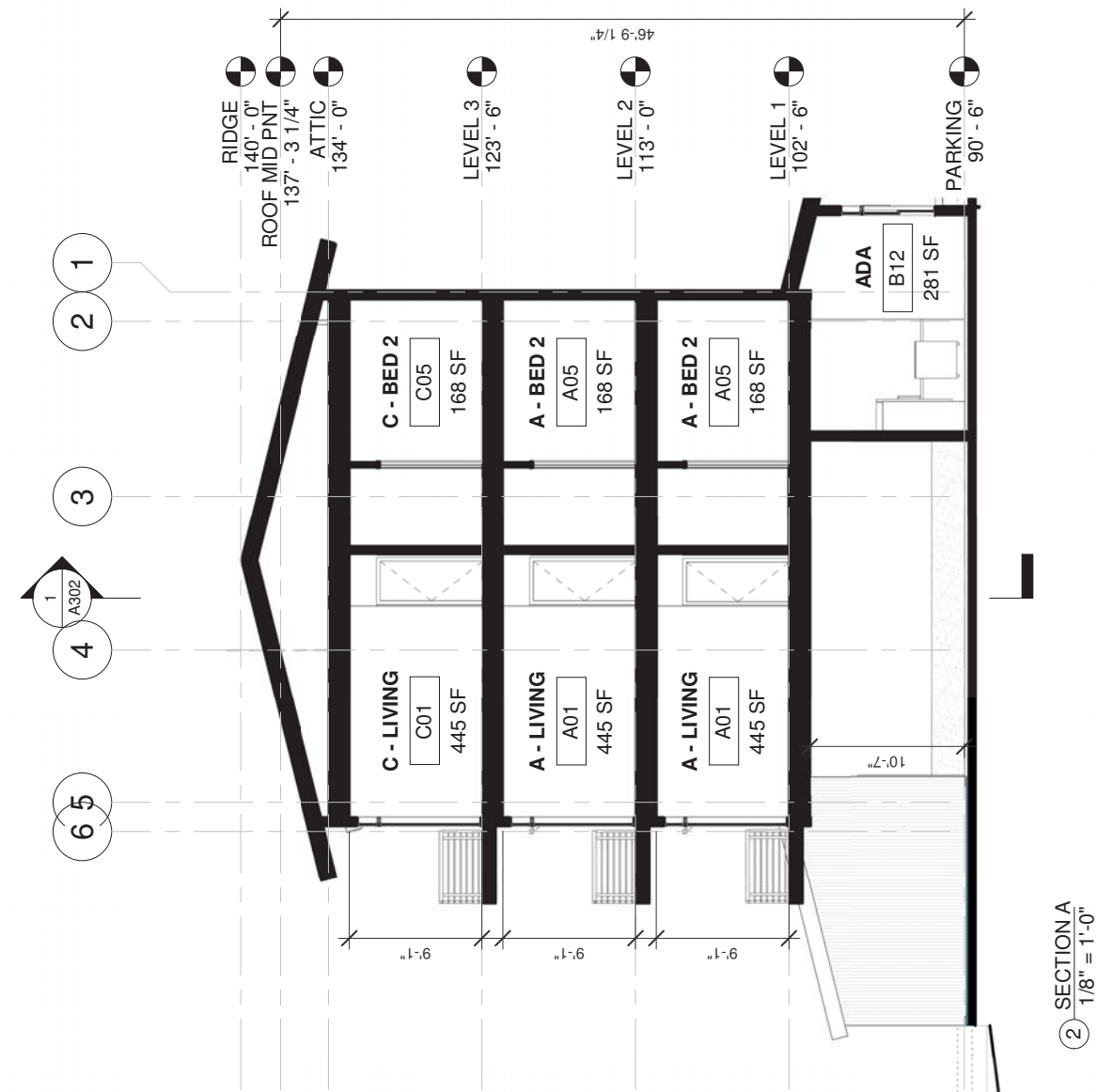
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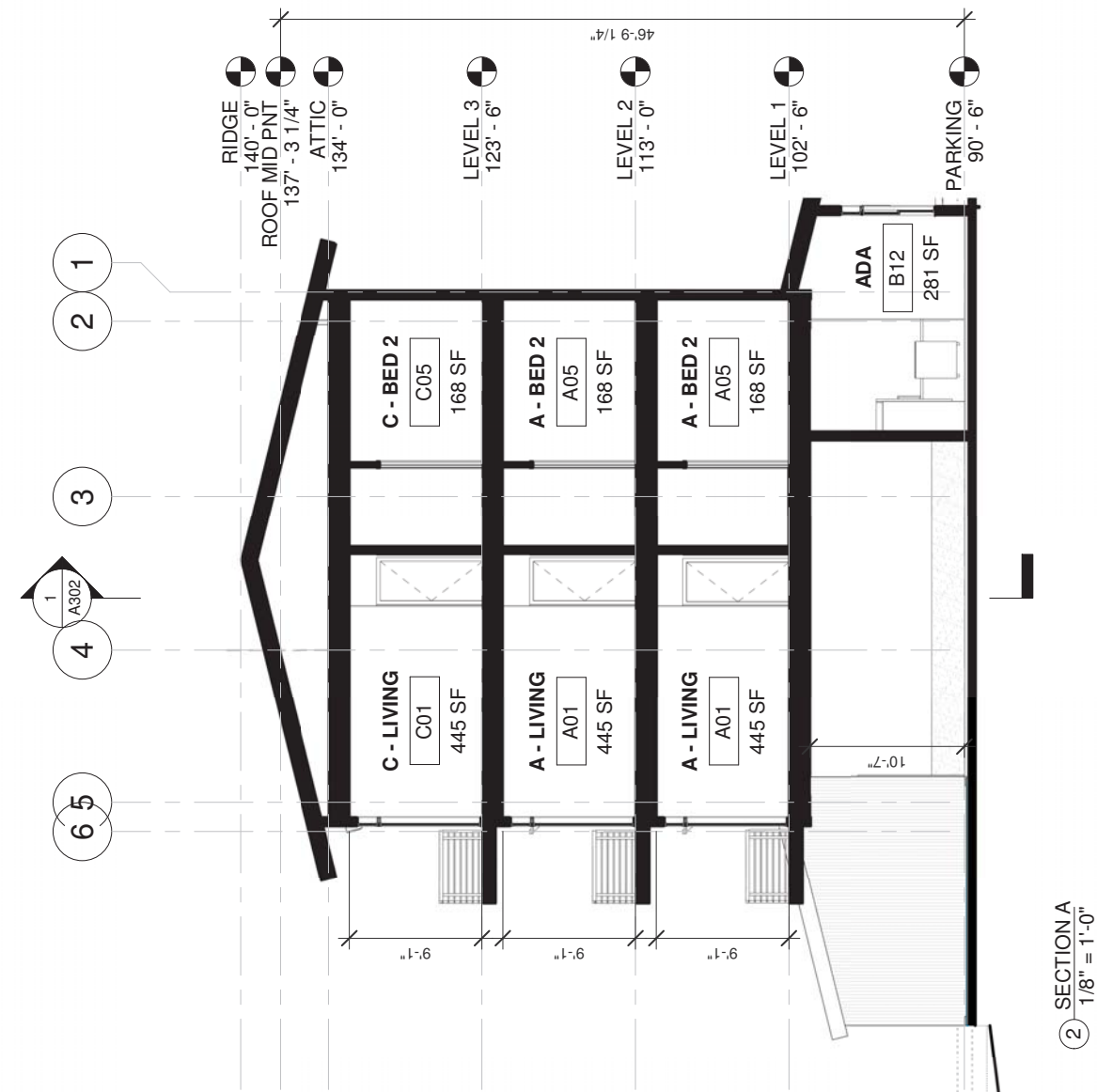
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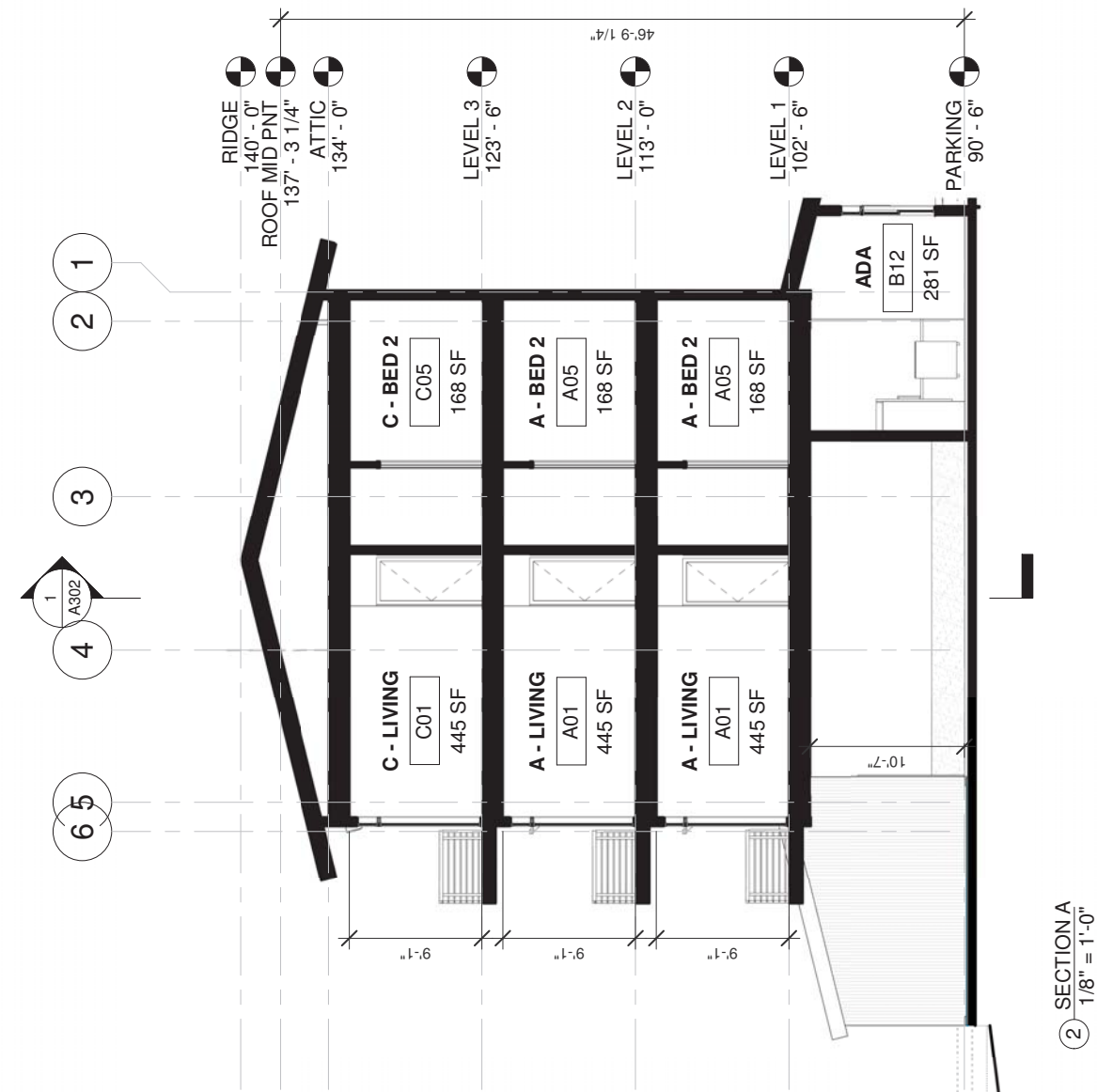
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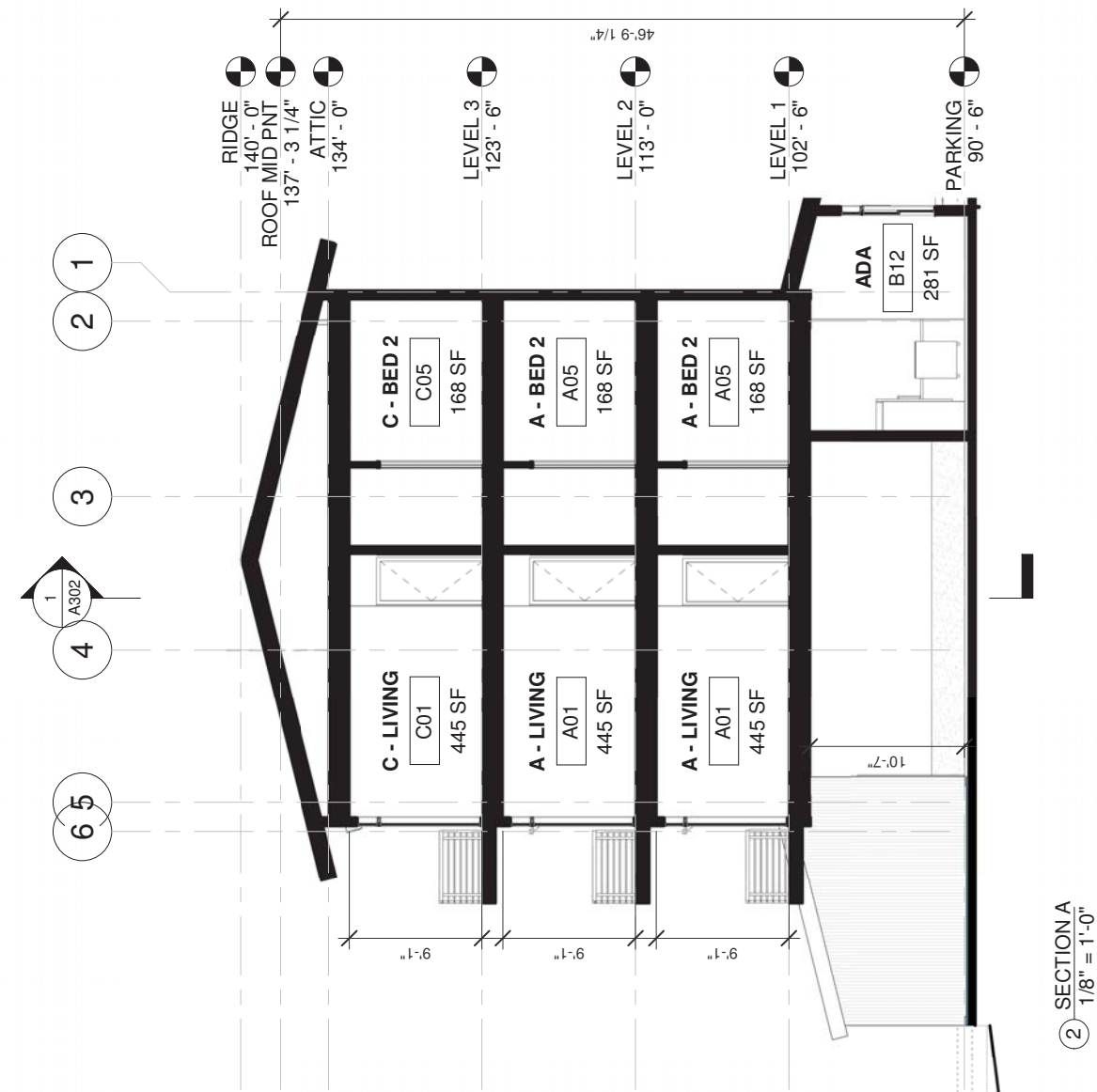
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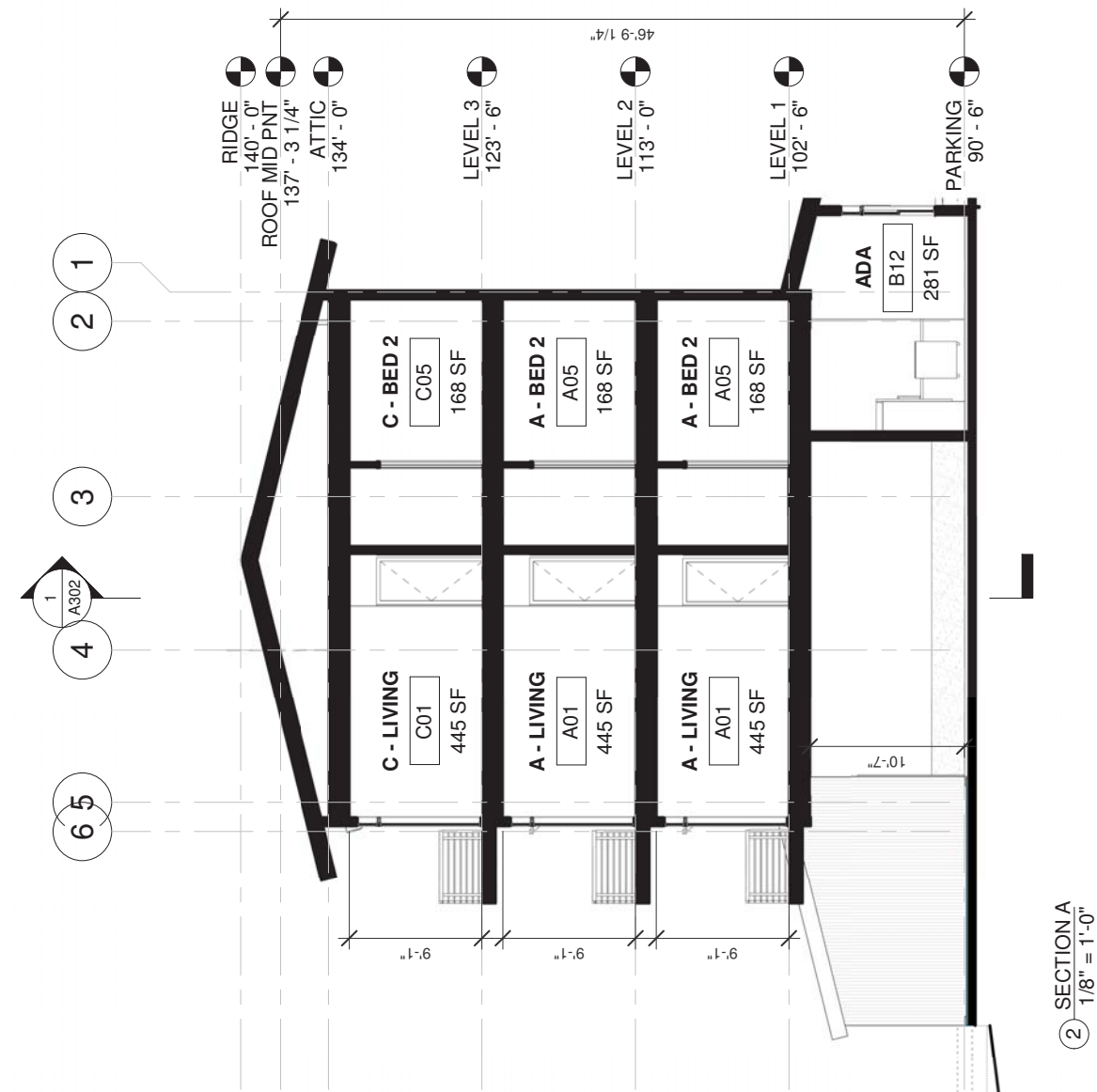
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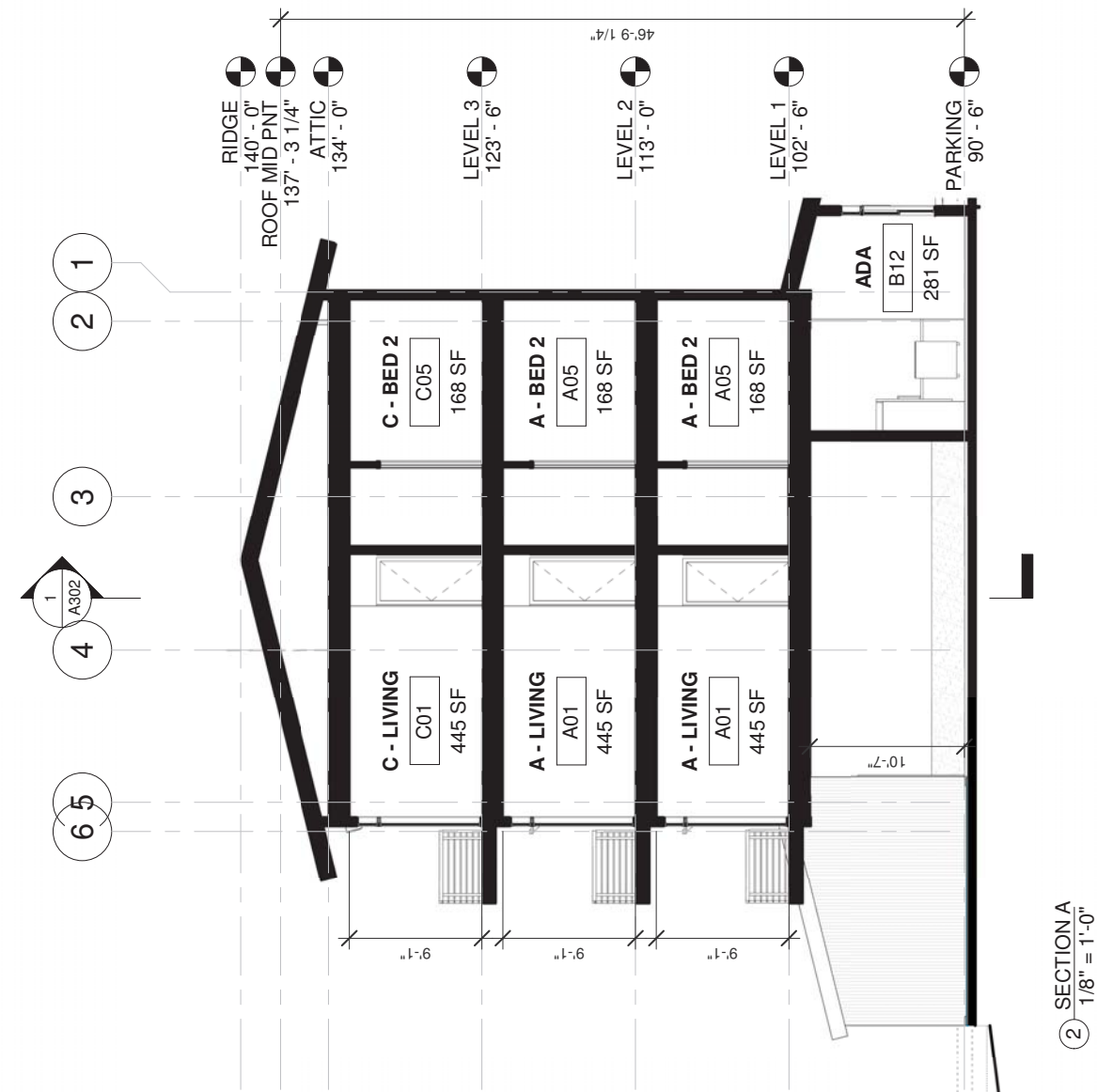
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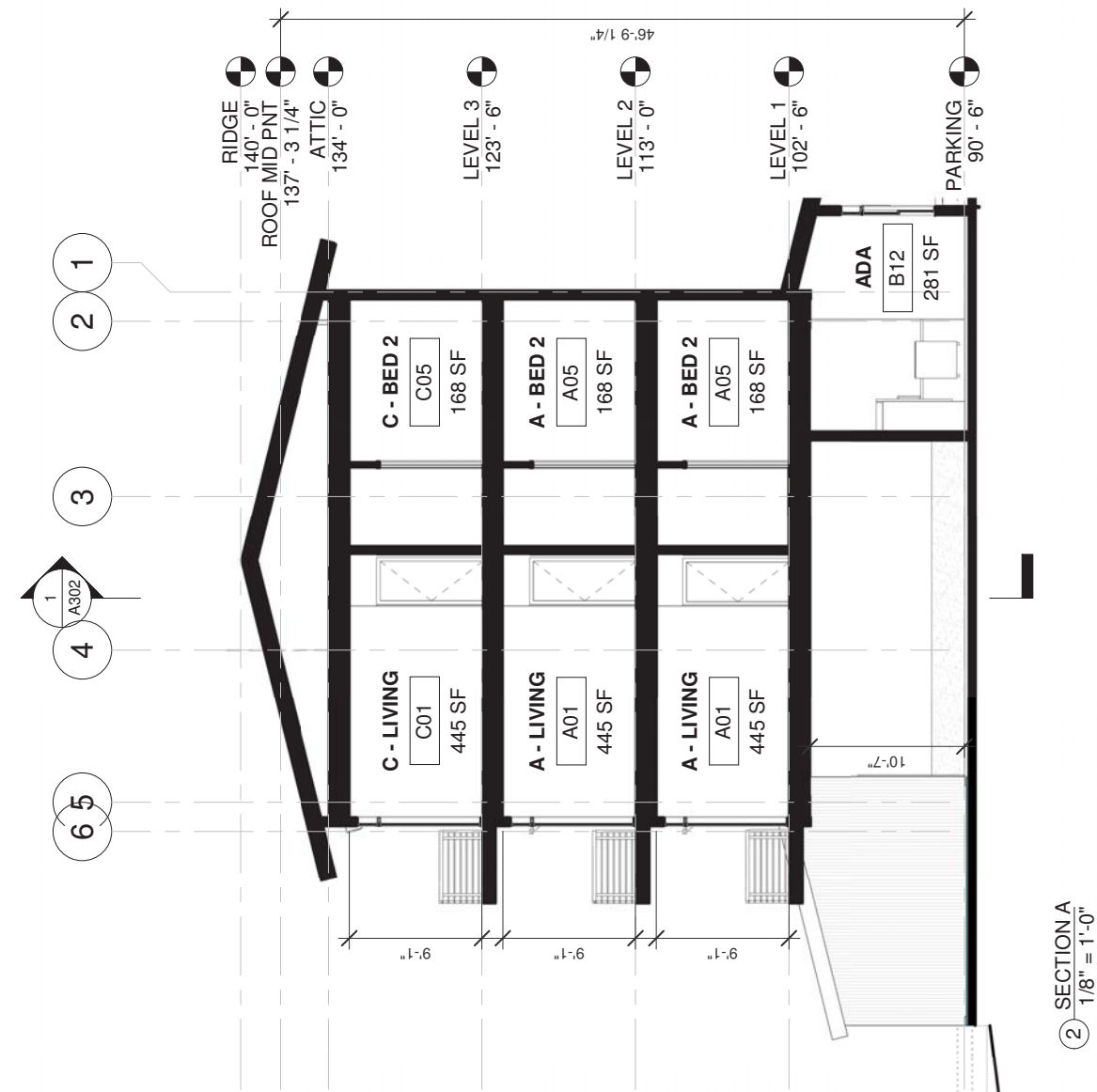
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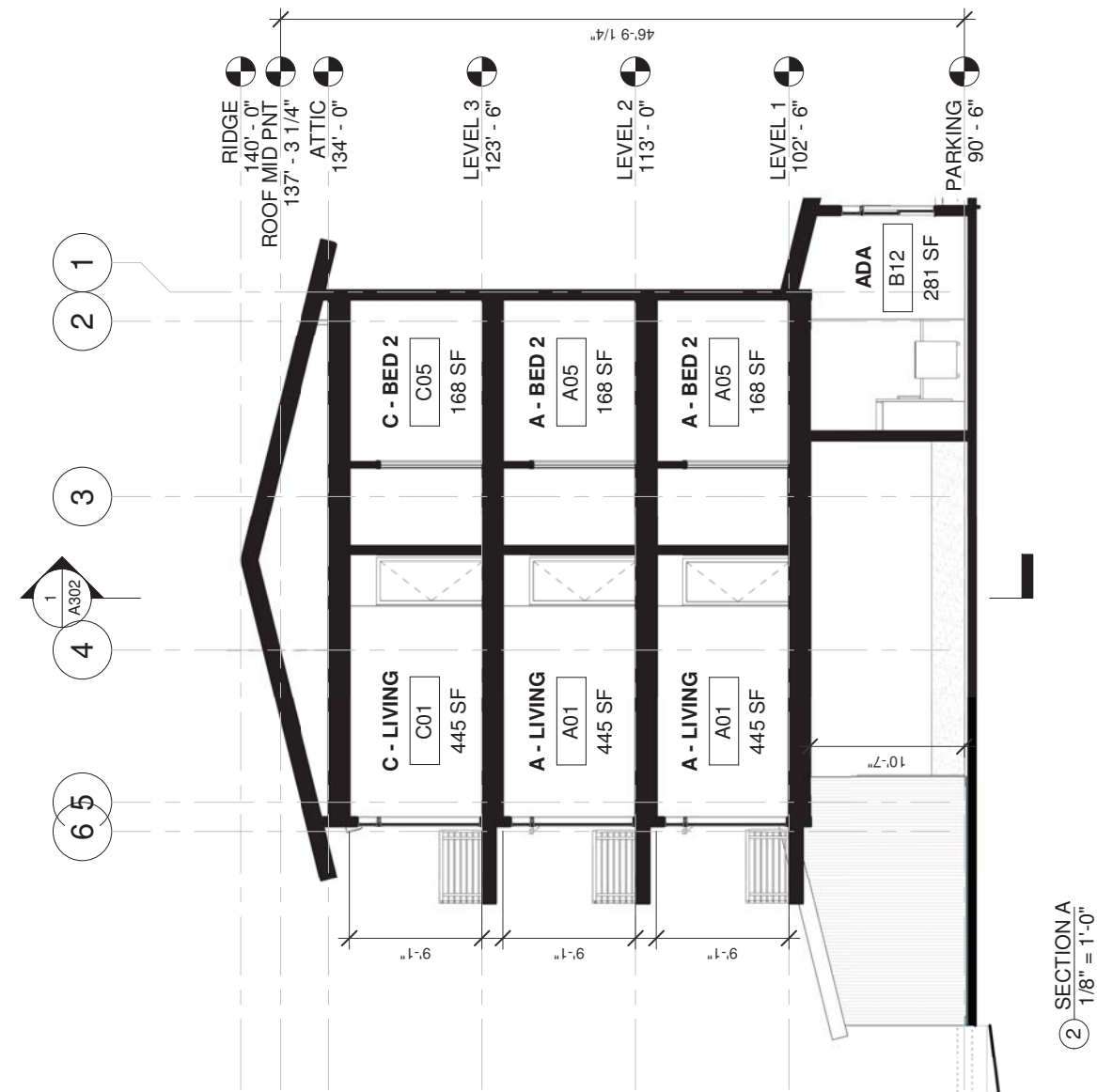
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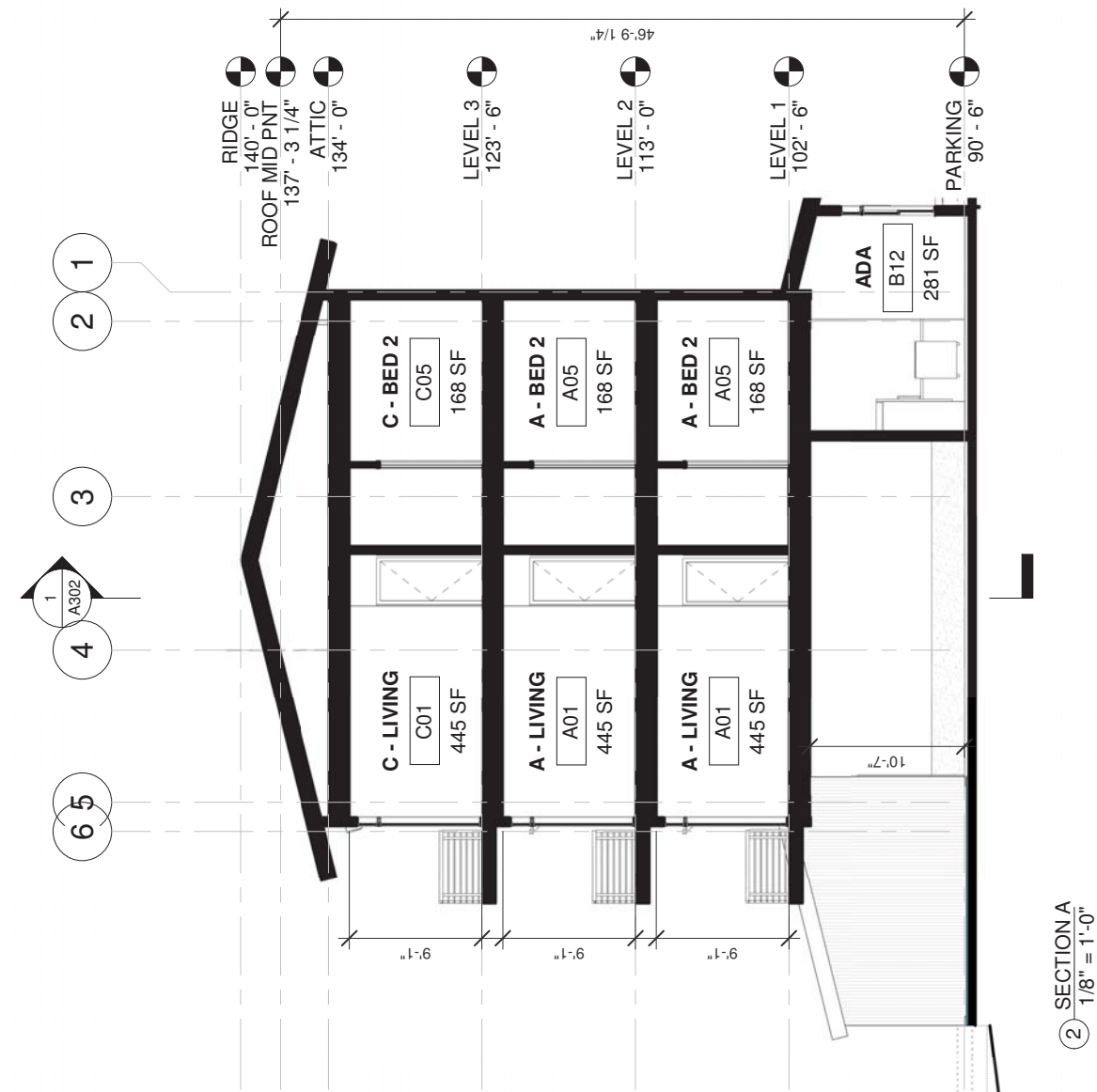
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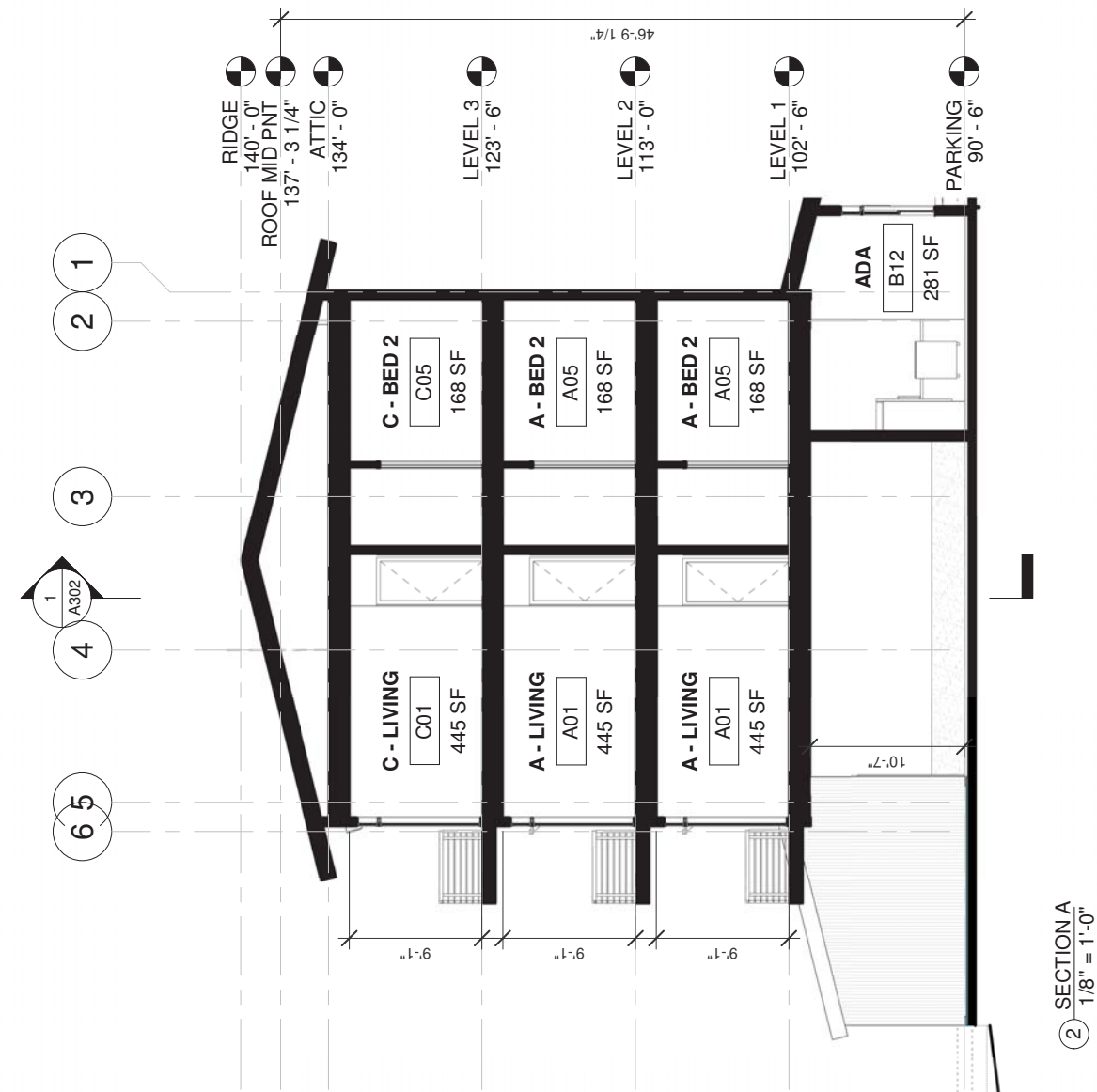
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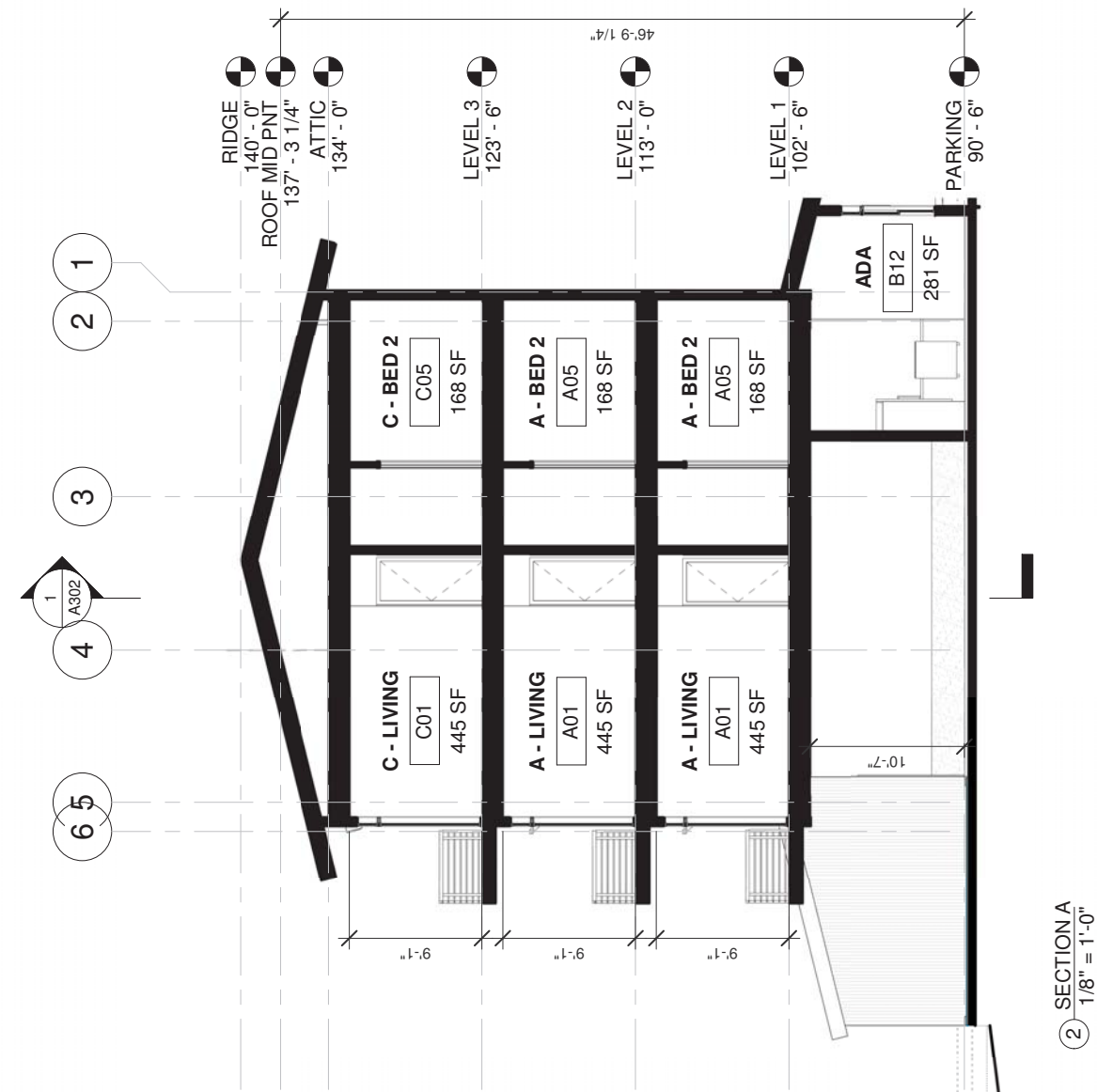
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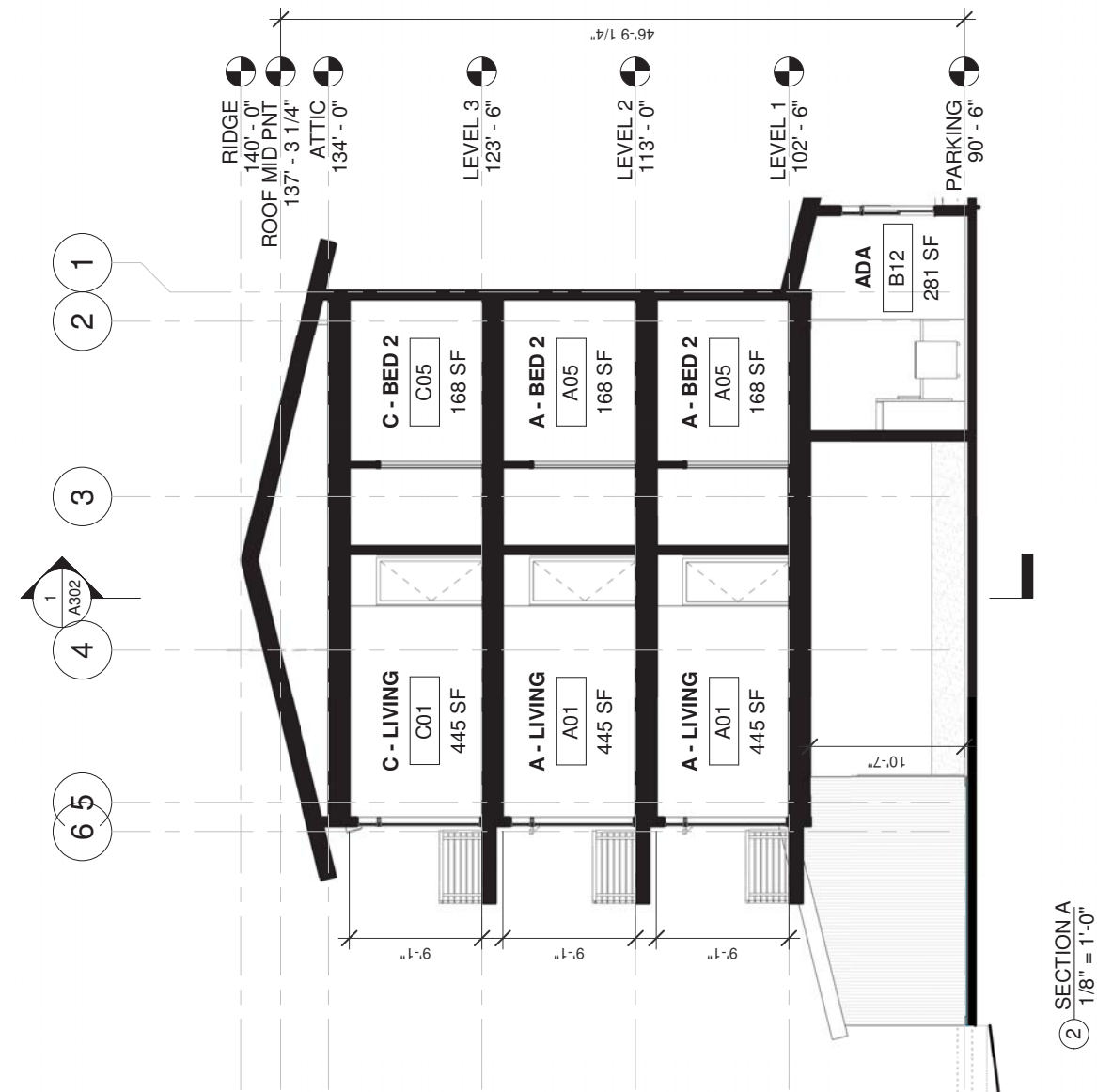
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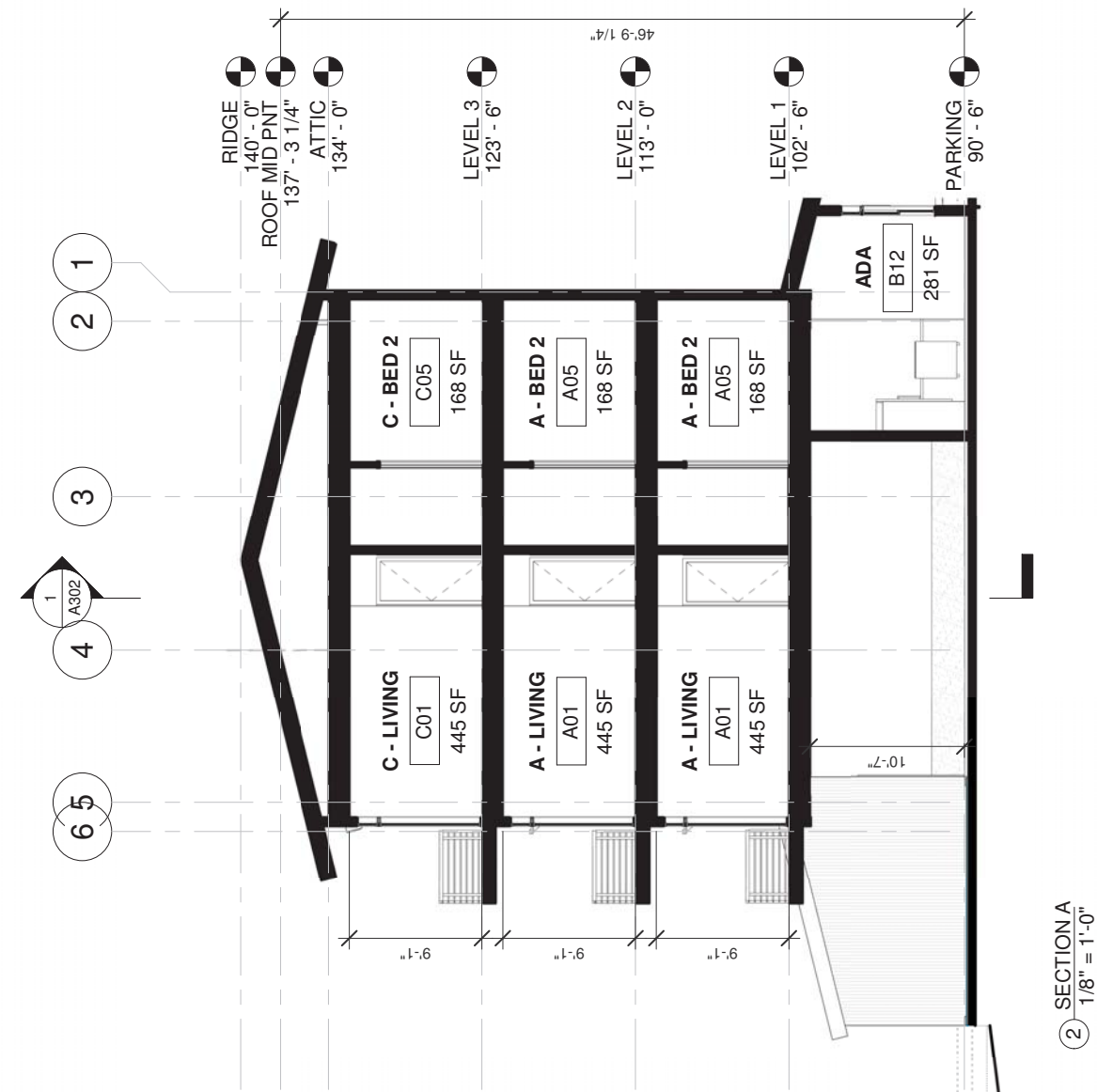
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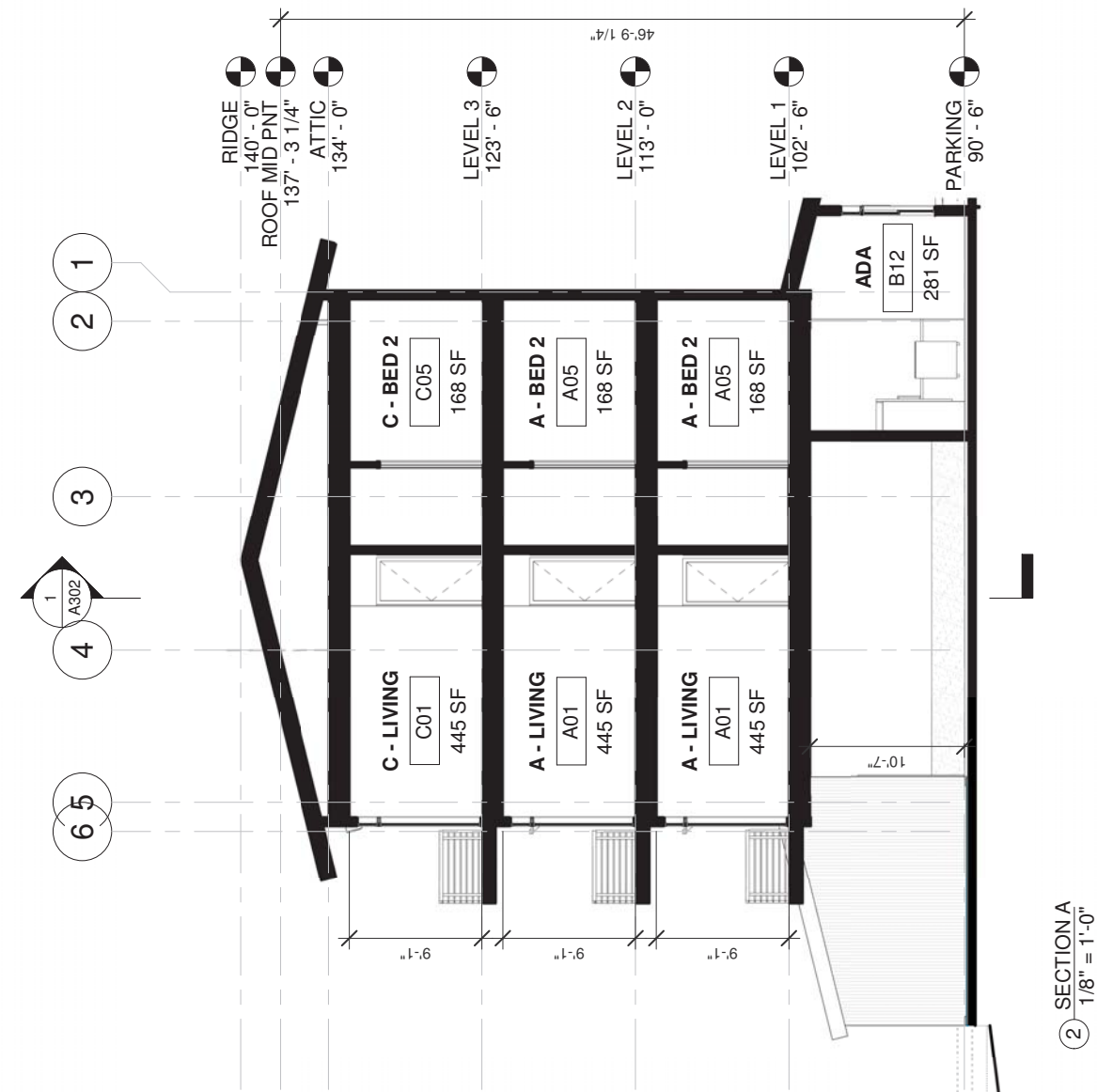
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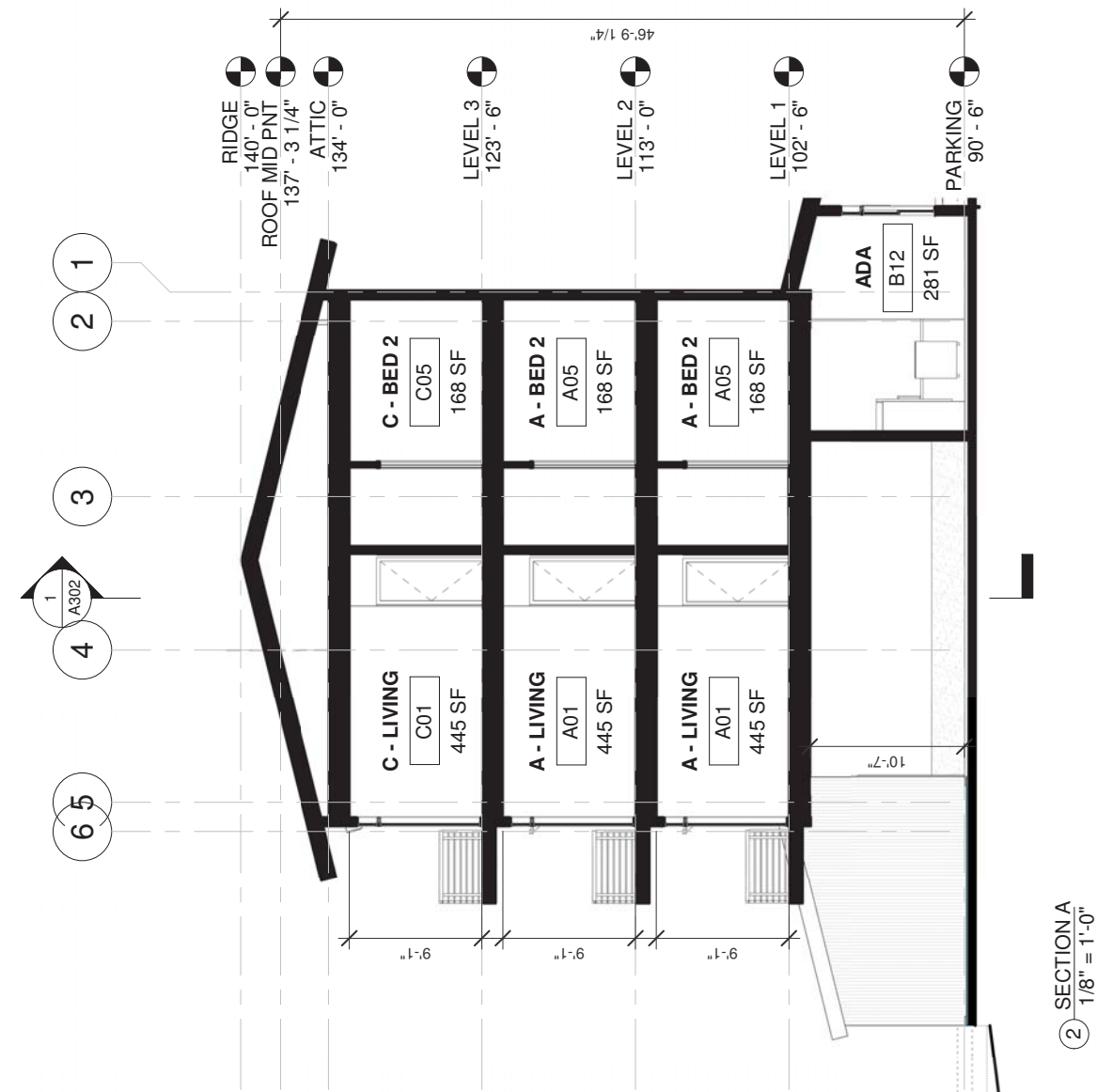
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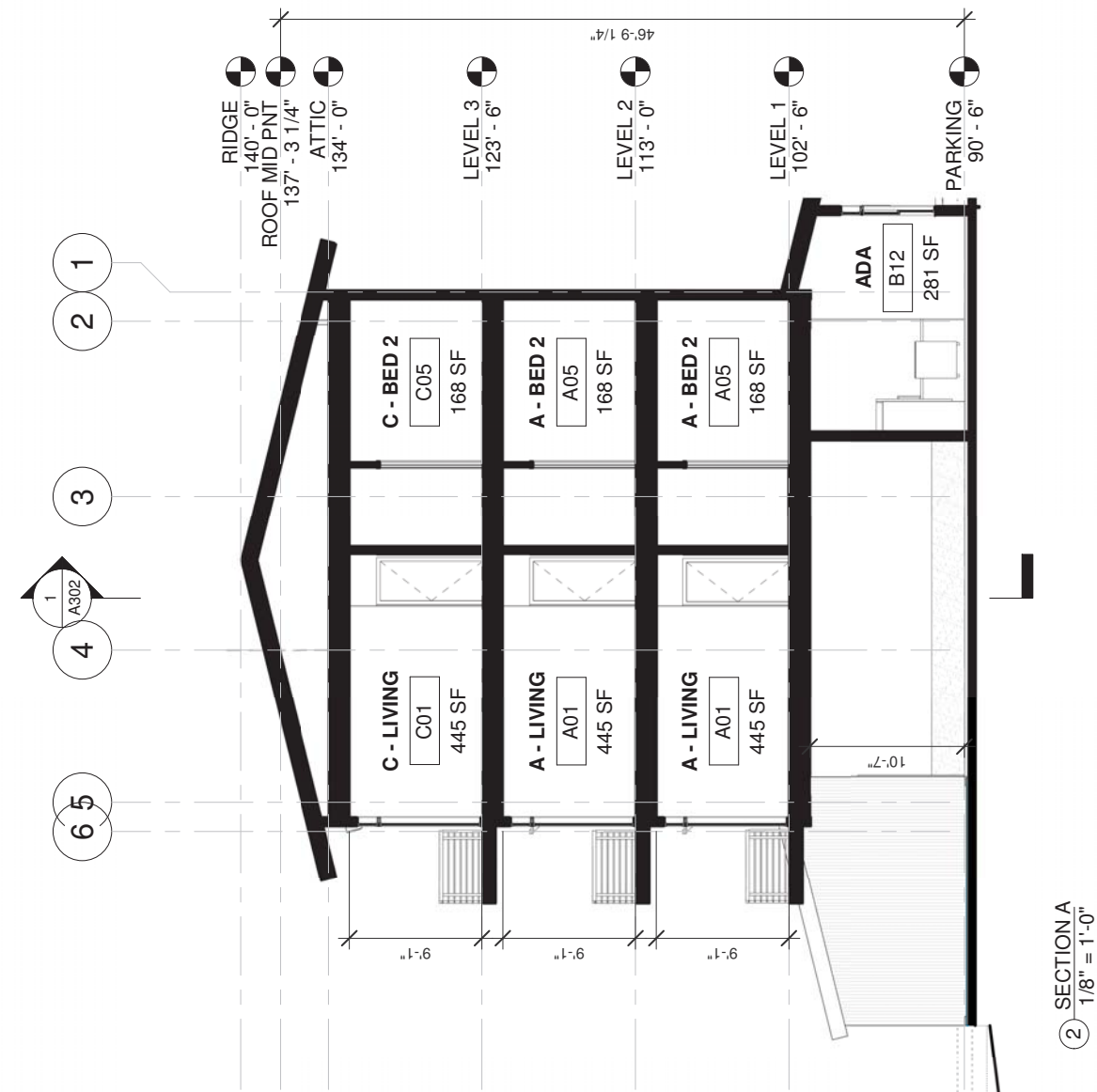
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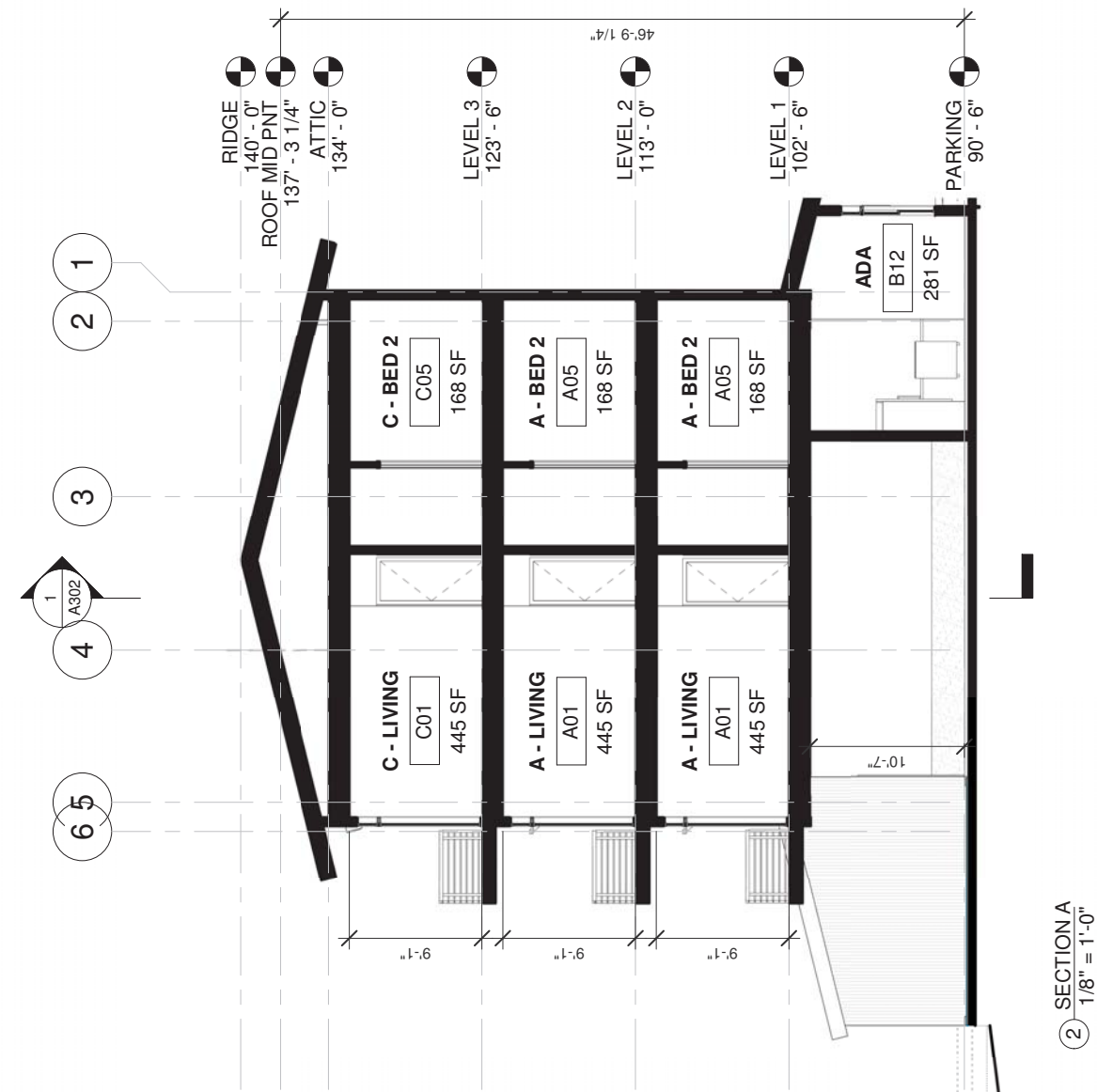
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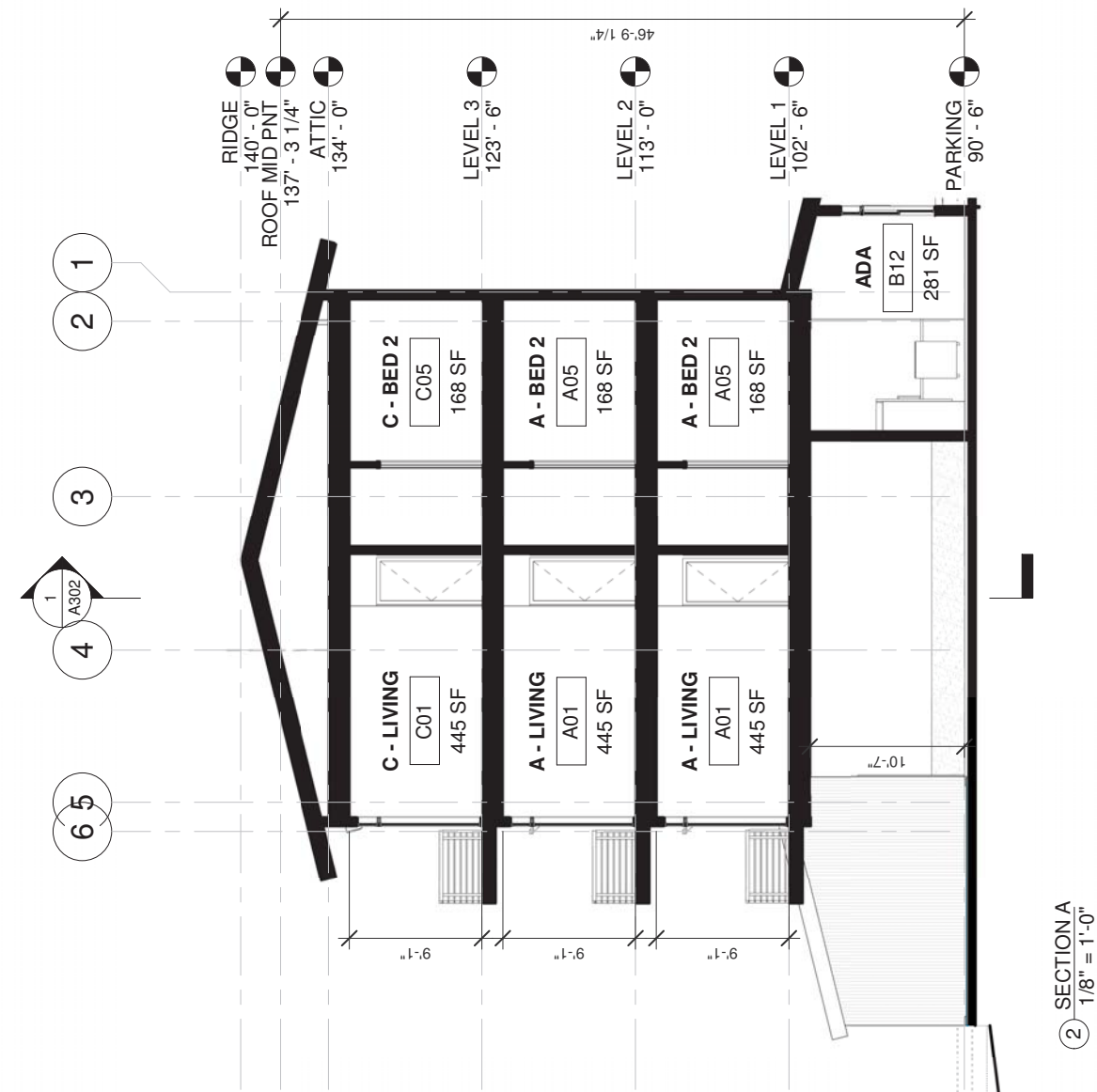
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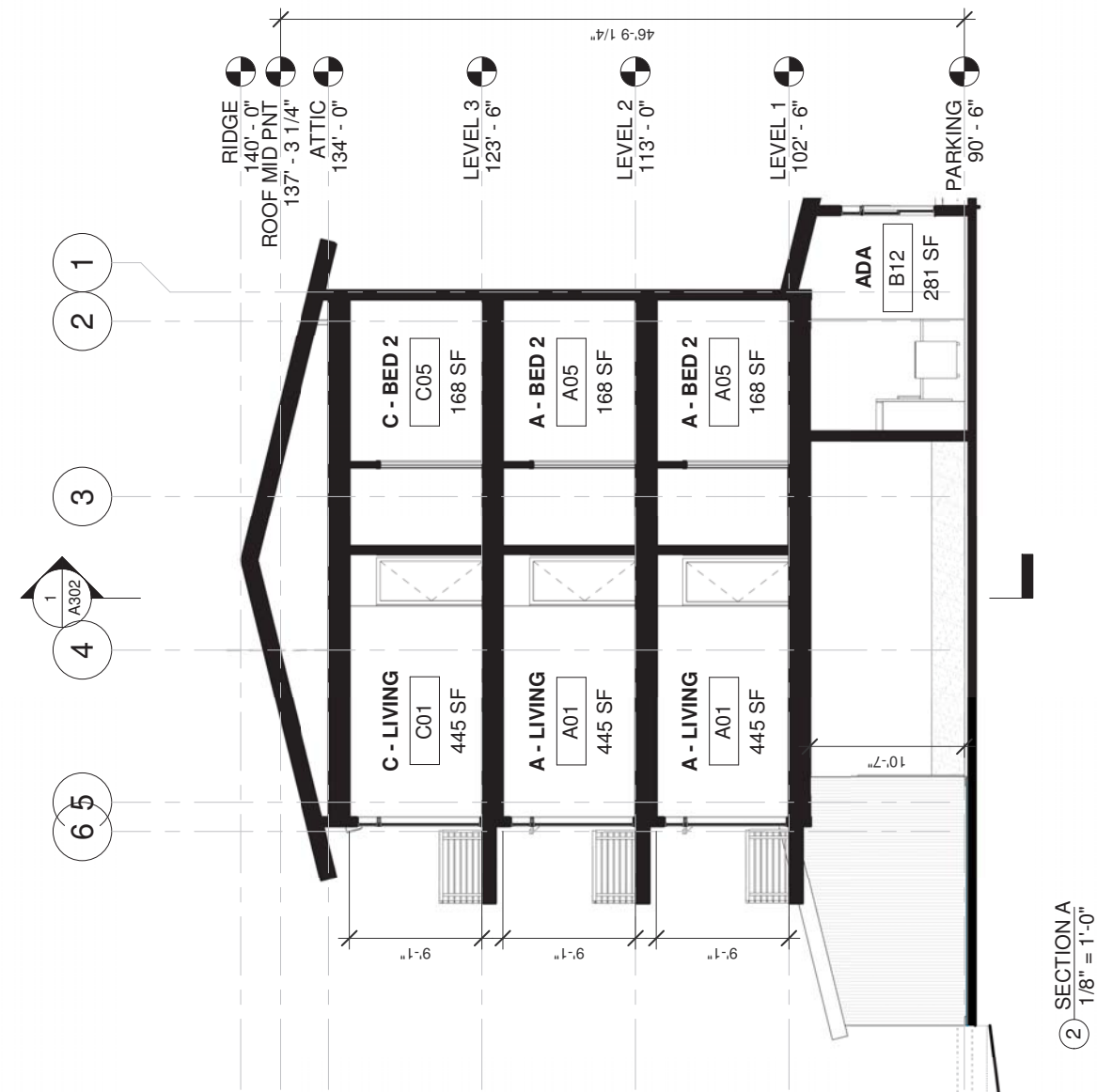
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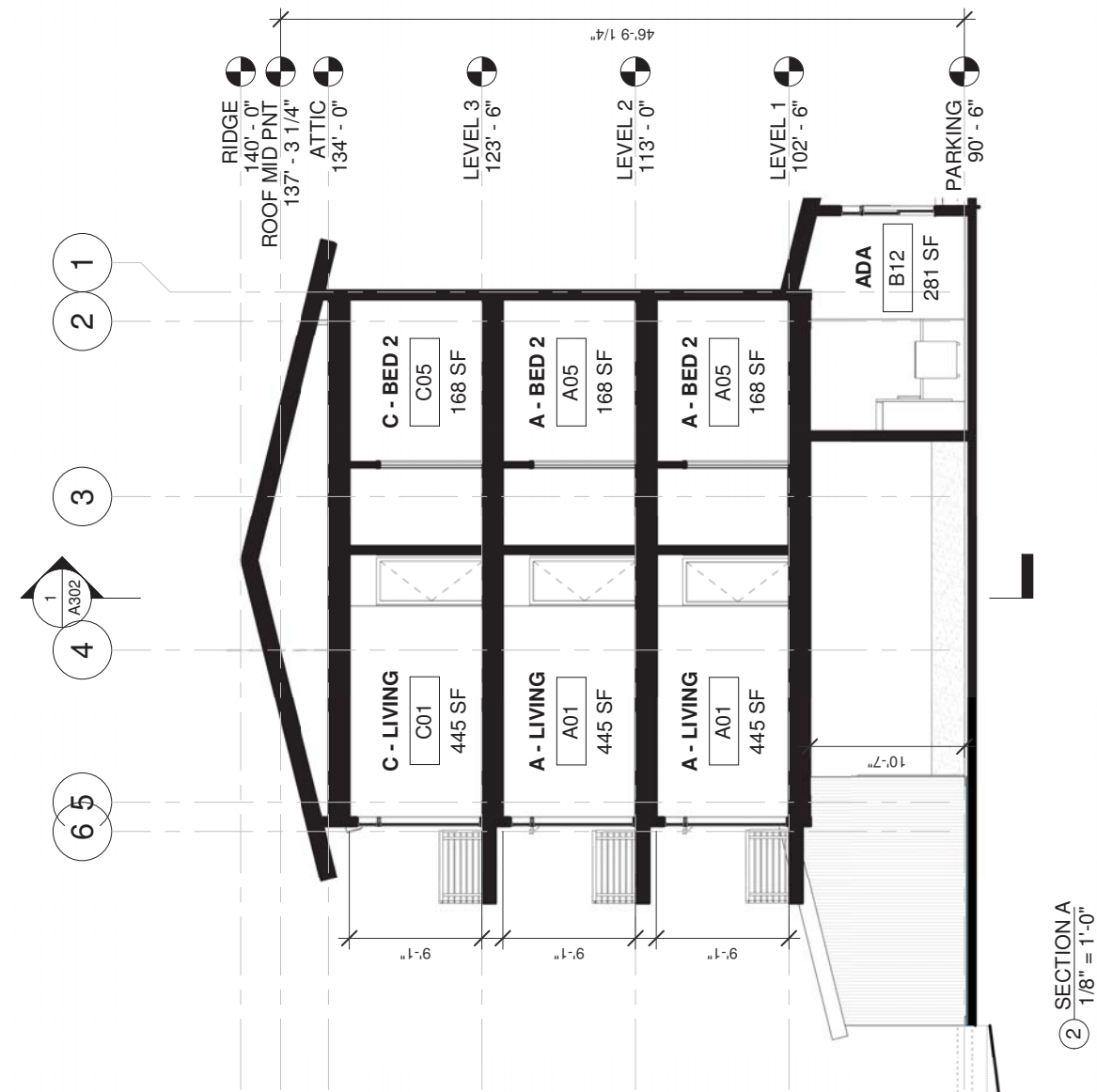
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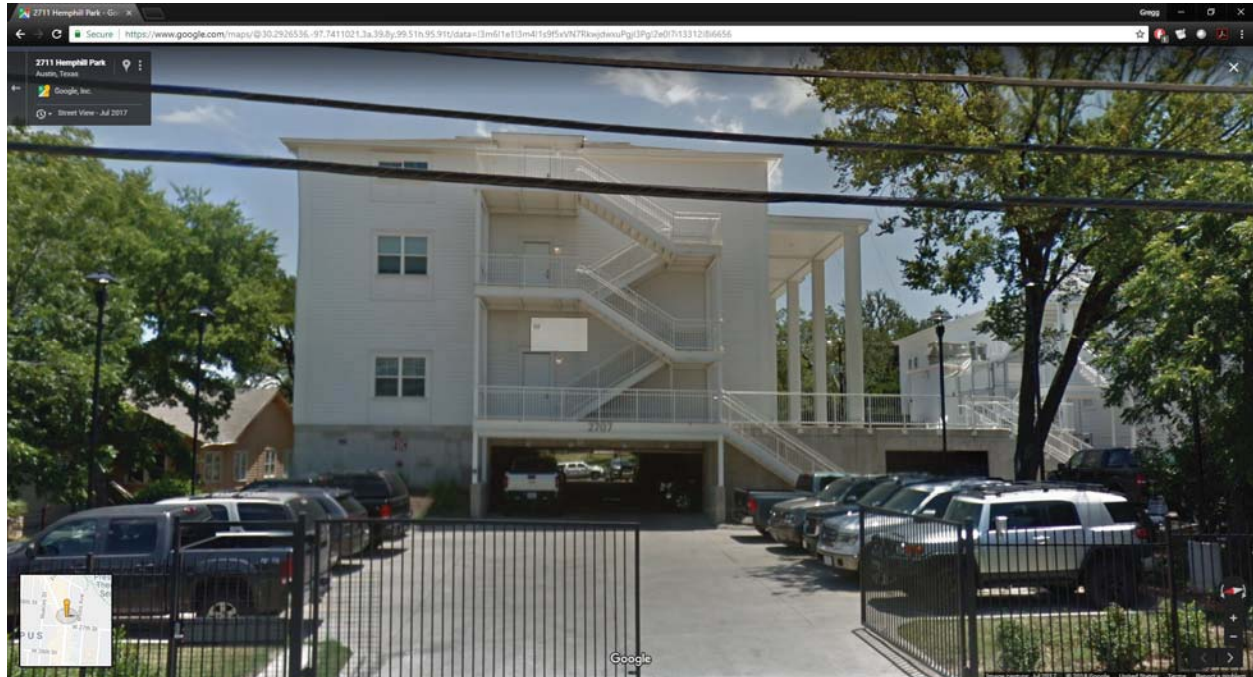
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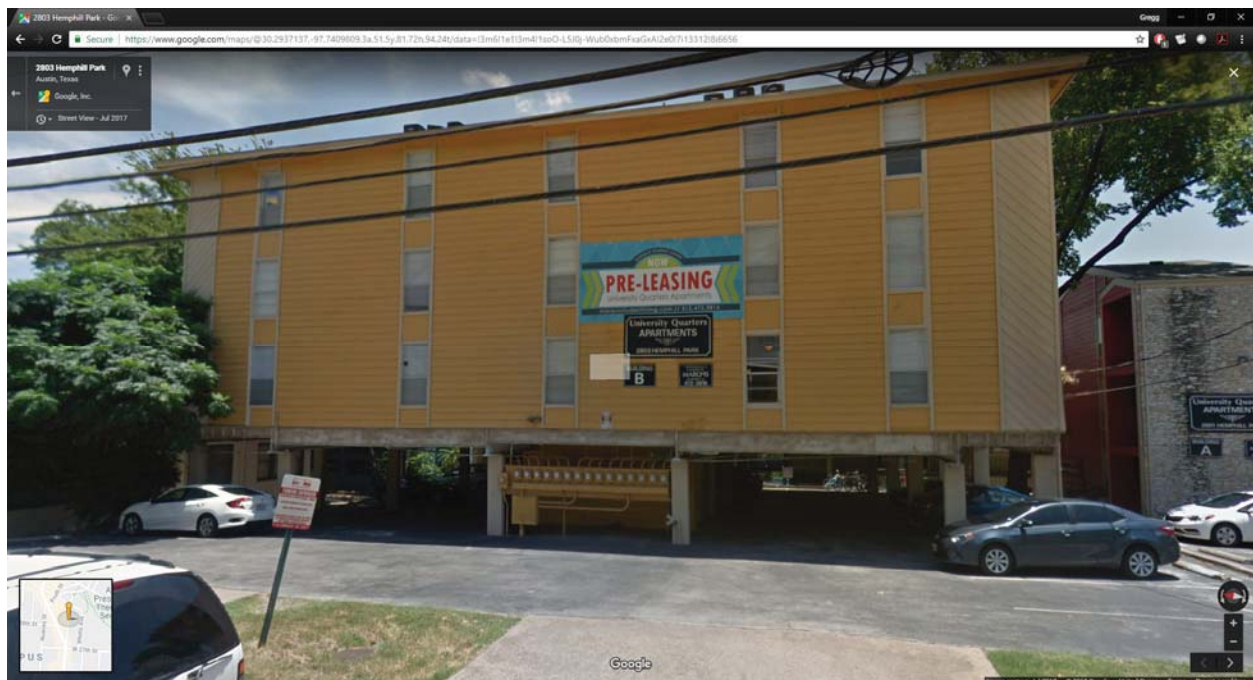
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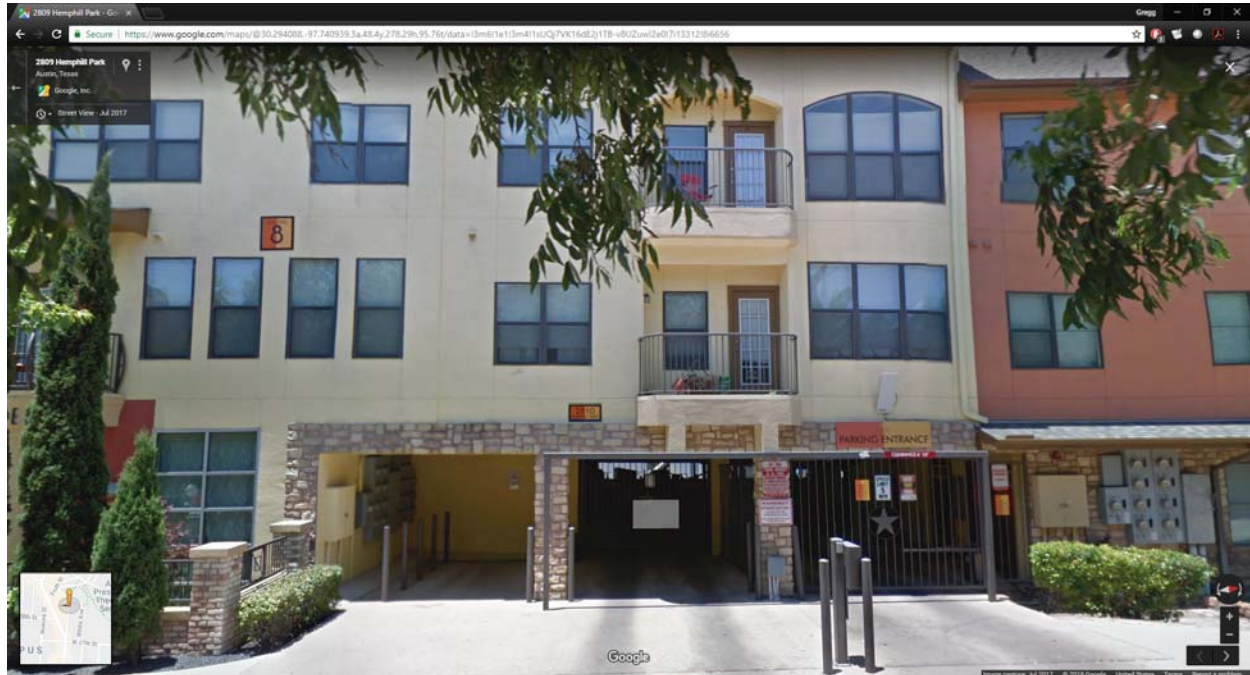
2707 HEMPHILL PARK



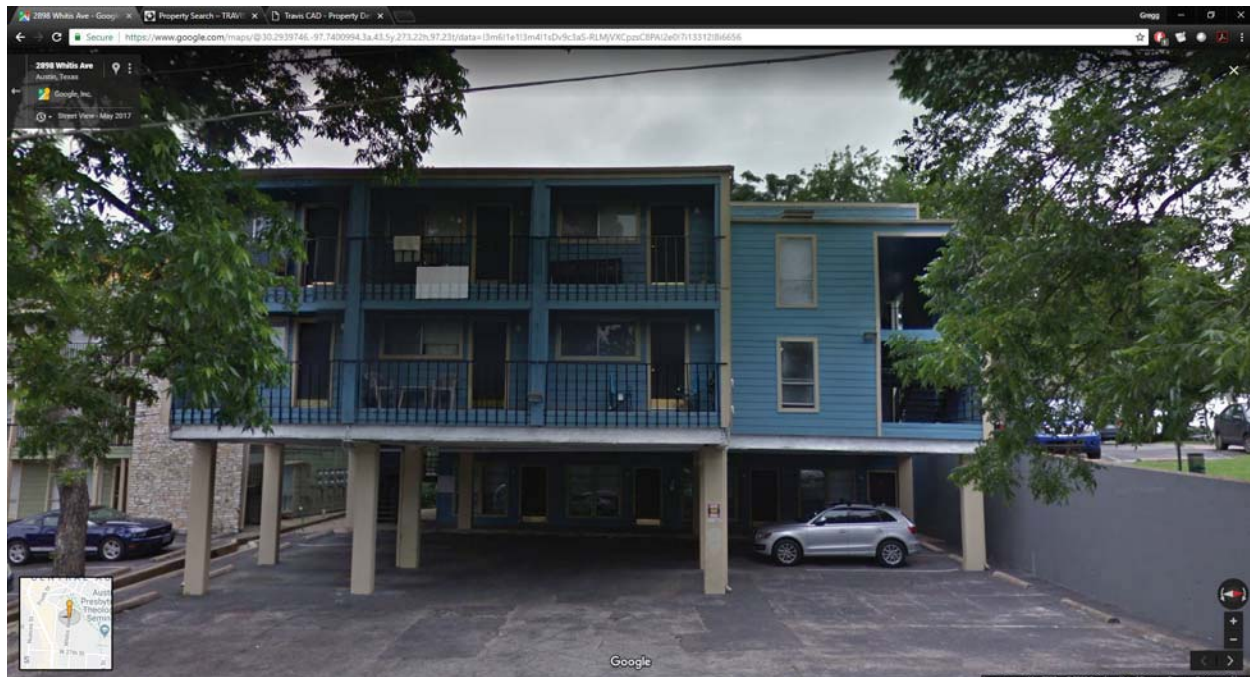
2803 HEMPHILL PARK



2810 HEMPHILL PARK



2808 WHITIS AVENUE



**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: Monday September 10, 2018

CASE NUMBER: C15-2018-0036

<input type="checkbox"/>	Brooke Bailey	OUT
<input checked="" type="checkbox"/>	William Burkhardt	
<input checked="" type="checkbox"/>	Christopher Covo	
<input checked="" type="checkbox"/>	Eric Golf	
<input checked="" type="checkbox"/>	Melissa Hawthorne	
<input checked="" type="checkbox"/>	Bryan King	
<input checked="" type="checkbox"/>	Don Leighton-Burwell	
<input checked="" type="checkbox"/>	Rahm McDaniel	
<input type="checkbox"/>	Martha Gonzalez (Alternate)	
<input type="checkbox"/>	Veronica Rivera	
<input checked="" type="checkbox"/>	James Valdez	
<input checked="" type="checkbox"/>	Michael Von Ohlen	
<input checked="" type="checkbox"/>	Kelly Blume (Alternate)	(for BB)
<input type="checkbox"/>	Pim Mayo (Alternate)	

APPLICANT: Gregg Andrulis

OWNER: 2713 Hemphill Park, LLC

ADDRESS: 2711 HEMPHILL PARK

VARIANCE REQUESTED: The applicant has requested variance(s) to Ordinance 040826-58 (North University Neighborhood Conservation Combining District – Neighborhood Plan) Part 7, (1) to decrease the minimum lot size from 8,000 square (required) to 7,772 square feet (requested, existing) in order to erect a multi-family residence in a “MF-5-NCCD-NP”, Multifamily Residence High Density – Neighborhood Conservation Combining District – Neighborhood Plan zoning district. (North University)

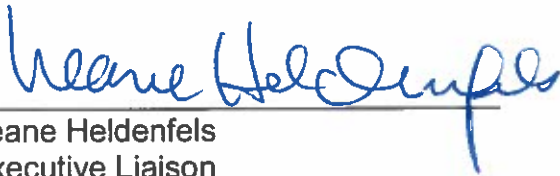
Note: no conflict exists between the Land Development Code and the NCCD in regard to MF-5 minimum lot size.

BOARD'S DECISION: BOA MEETING SEPT 10, 2018 The public hearing was closed on Board Member Michael Von Ohlen motion to postpone to October 8, 2018, Board Member Melissa Hawthorne second on a 10-0 vote; POSTPONED TO OCTOBER 8, 2018.

EXPIRATION DATE:

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:



Leane Heldenfels
Executive Liaison



William Burkhardt
Chairman

CIVIL INSITE, LLC

August 24, 2018

Ms. Leane Heldenfels
Board of Adjustment
City of Austin
505 Barton Springs Road
Austin, TX 78704

Re: Variance Request to 25-2-492 (D) MF-5 Minimum Lot Size for 2713 Hemphill Park

Ms. Heldenfels,

On behalf of 2713 Hemphill Park, LLC, we are requesting approval of a variance to develop a multi-family project on a lot zone MF-5-NCCD-NP that does not meet the minimum size requirements of LDC 25-2-492 (D) Site Development Regulation Table: "MF-5 Minimum Lot Size = 8,000 SF". The existing lot size is 7,772 SF.

Reasonable Use

LDC 25-2-492 (D) states that for the MF-5 base zoning district the minimum lot size is 8,000 SF. The subject property is comprised of 7,772 SF.

Hardship

The property was zoned for a dense multi-family use (MF-5) but lacks the minimum required area to develop the property for a multi-family use. Other properties on Hemphill Park between Guadalupe and 29th St are zoned MF-5 and MF-6, are less than 8,000 SF, and are currently supporting multi-family use.

Area Character

The property's proximity to the University of Texas makes it an excellent candidate for high density student housing. The vast majority of properties on Hemphill Park between 27th St and 29th St are currently supporting multi-family uses similar to the proposed project.

Please feel free to contact me if you have any questions.

Sincerely,



Gregg Andrulis, P.E.

SCALE 1" = 20'

Legend

- Iron Rod Found
- Iron Rod Set with plastic cap
- Imprinted with "Holt Carson Inc."
- Chiseled "X" Found
- Wire Fence
- Wood Board Fence
- Surveyed Boundary Line (Record Bearing and Distance)



NOTES:

- This map was prepared without the benefit of a current title commitment, and therefore this map may be subject to easements and/or restrictions in the title of the property shown hereon.
- Elevations shown hereon are not based upon sea-level datum.
- Tree "crowns" shown hereon are drawn as a function of one inch of trunk diameter equals one foot of "crown" radius. Trees with multiple trunks are calculated by adding the diameter of the largest trunk plus half the diameter of the smaller trunks.

TREE LIST	
5565	Two-6, 7" and 8" Tree Of Heaven (17.5" total)
5566	12" Tree Of Heaven
5567	11" Pecan
5568	8" Pecan
5569	28" Pecan
5570	14" Pecan
5571	20" Pecan
5572	13" Pecan
5573	19" Pecan
5574	12" Pecan (21.5" total)
5575	12" Pecan
5576	10" American Elm
5577	19" Pecan

TOPOGRAPHIC SURVEY MAP:

75 FEET BY 103.50 FEET OF LOTS 7 AND 8, BLOCK 13, RAYMOND & WHITIS SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1 PAGE 11 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING ALL THAT CERTAIN TRACT OF LAND AS CONVEYED TO BROOKHOLLOW MANAGEMENT, INC. BY GENERAL WARRANTY DEED RECORDED IN DOCUMENT NO. 2004192583 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, LOCATED AT 2713 AND 2715 HEMPHILL PARK.

PREPARED: March 22nd, 2016

BY:

Holt Carson
Registered Professional Surveyor No. 5166
HOLT CARSON, INC.
1904 Fortview Road Austin, Texas 78704
(512) 442-0950
Firm Registration Number 10050700

001/21

FOR RENT
312 431 2520

2713



NOT FOR CONSTRUCTION



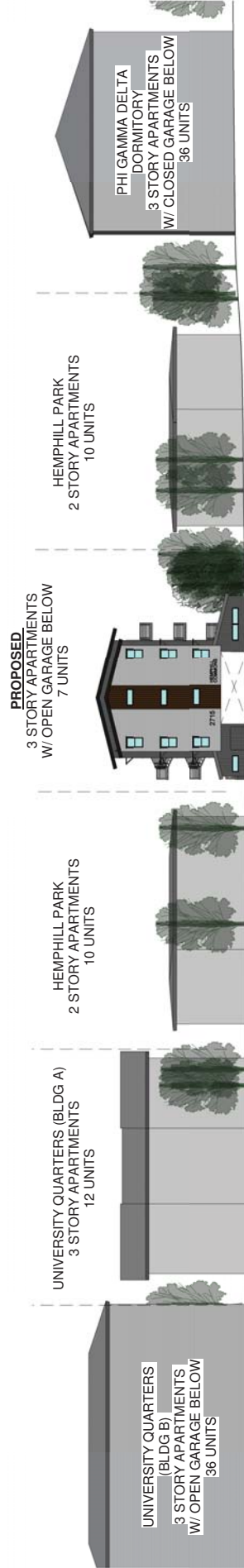
③ SW AXON



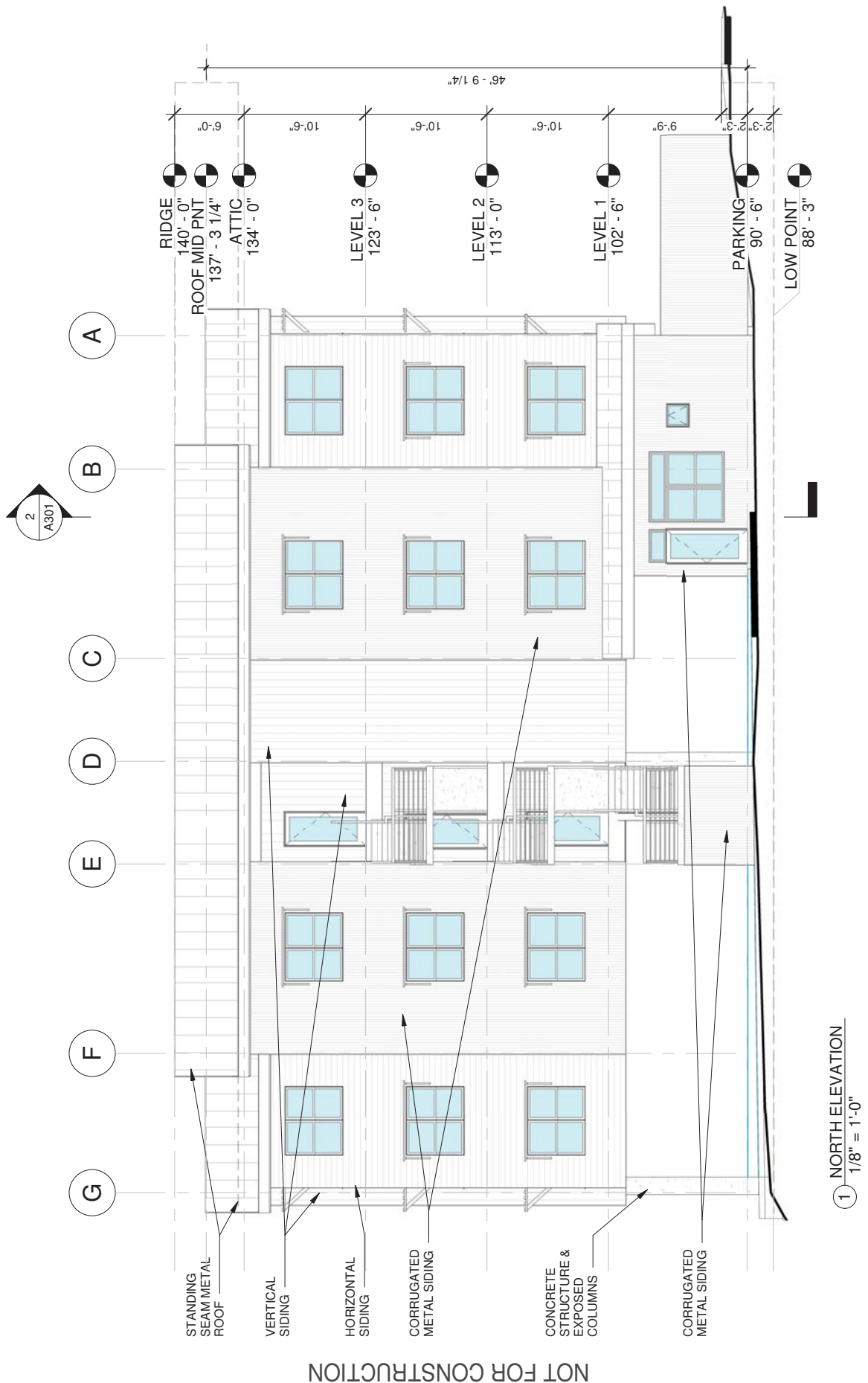
② NW AXON



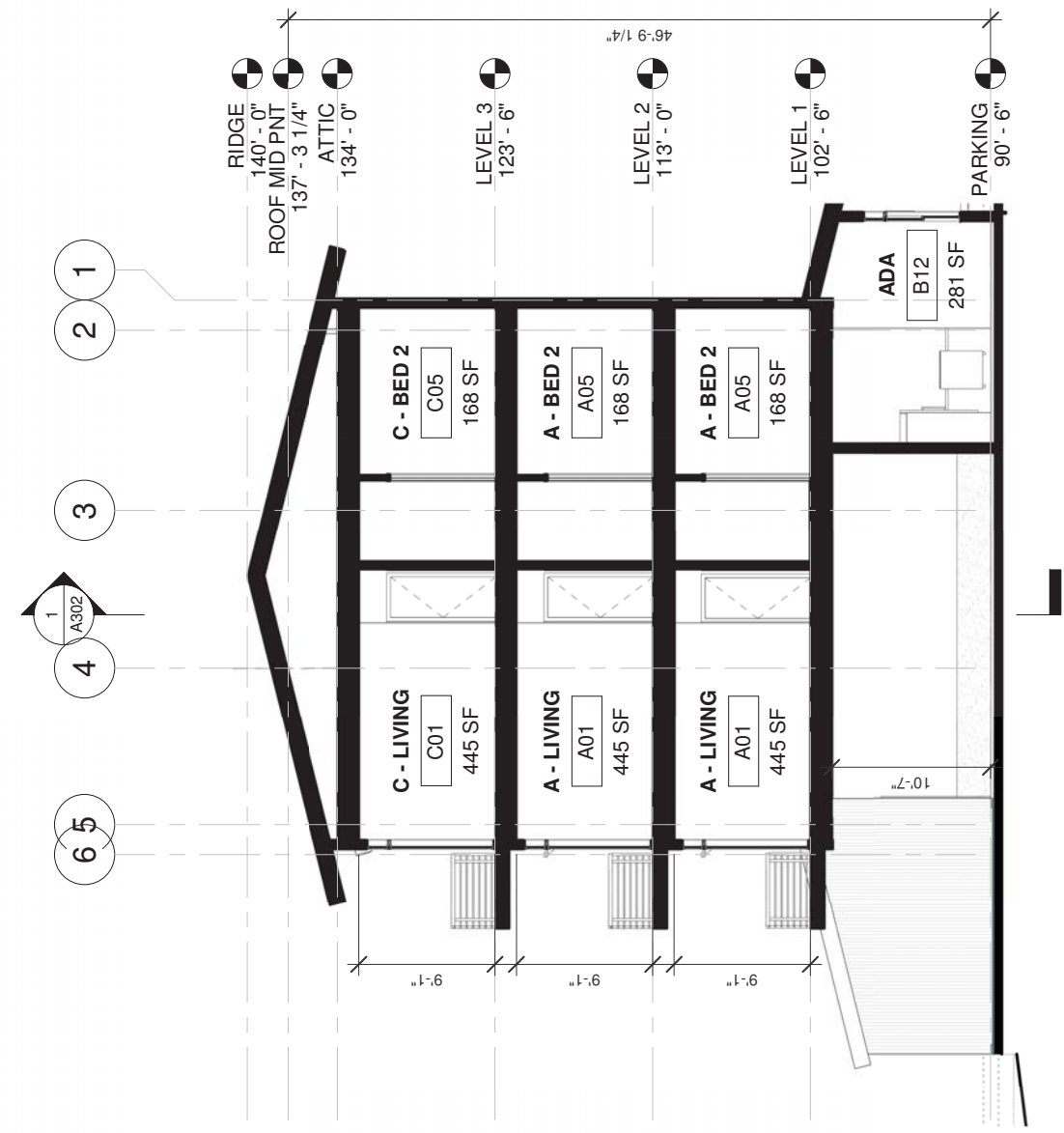
① ENTRY AXON



④ WEST ELEVATION PANORAMIC
1/32" = 1'-0"

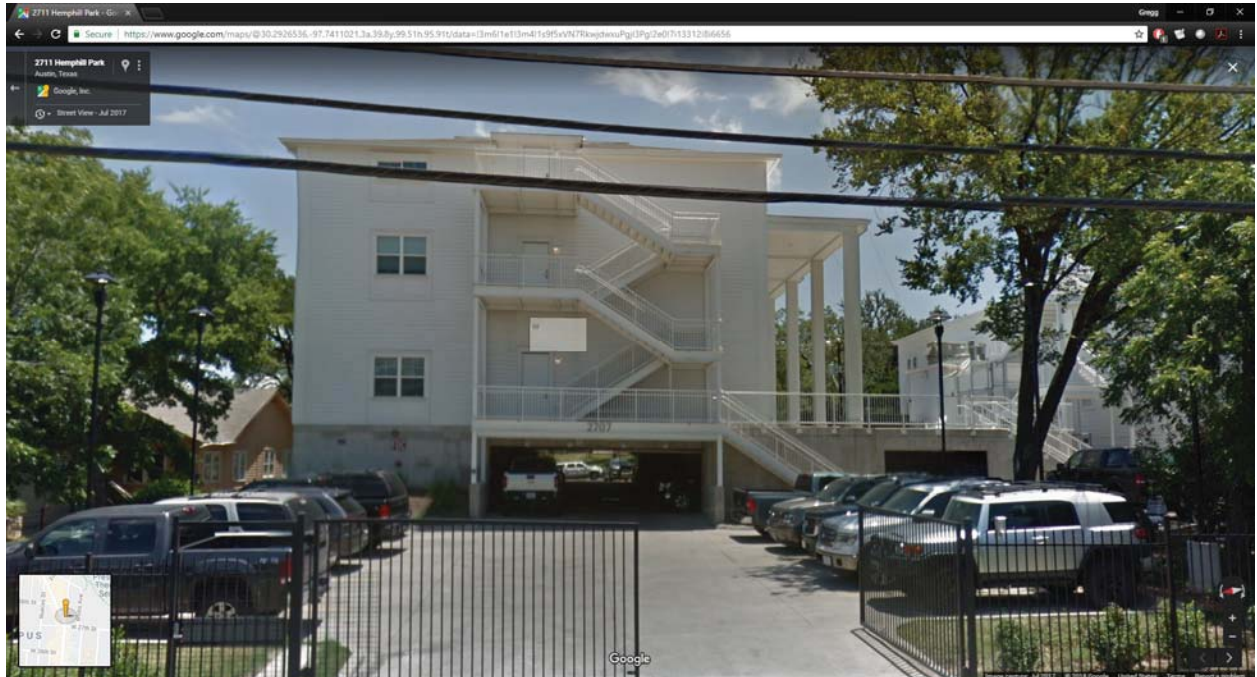


NOT FOR CONSTRUCTION

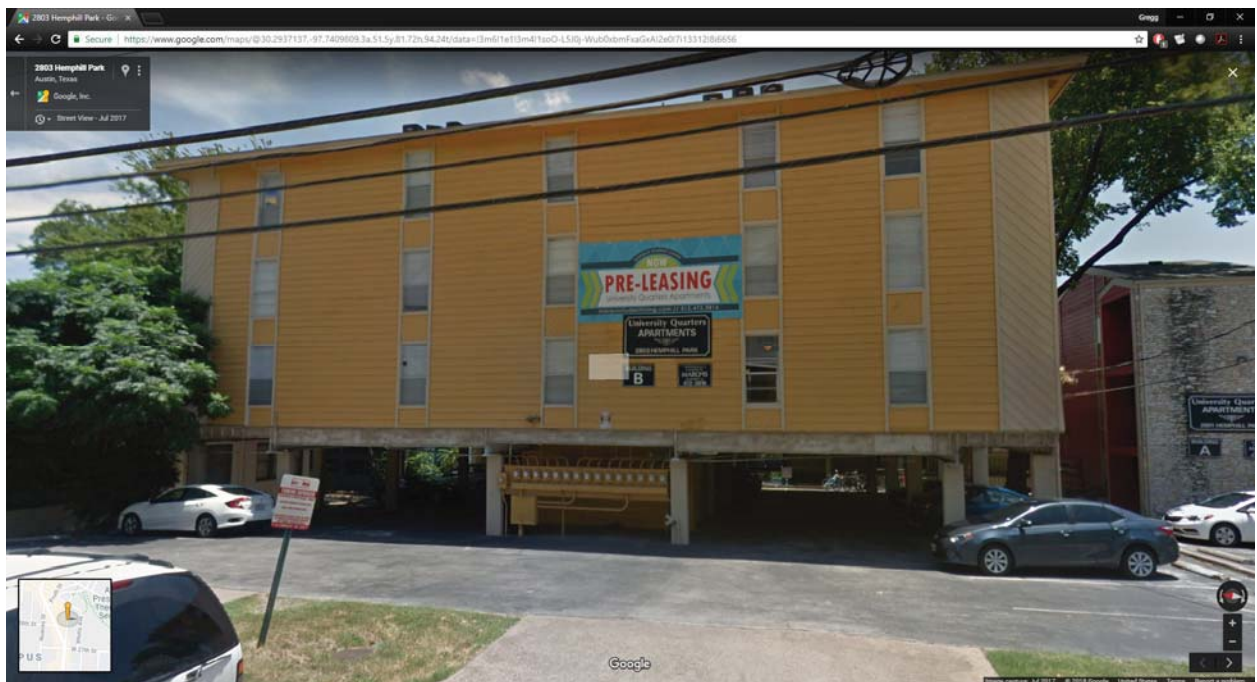


SECTION A
1/8" = 1'-0"

2707 HEMPHILL PARK



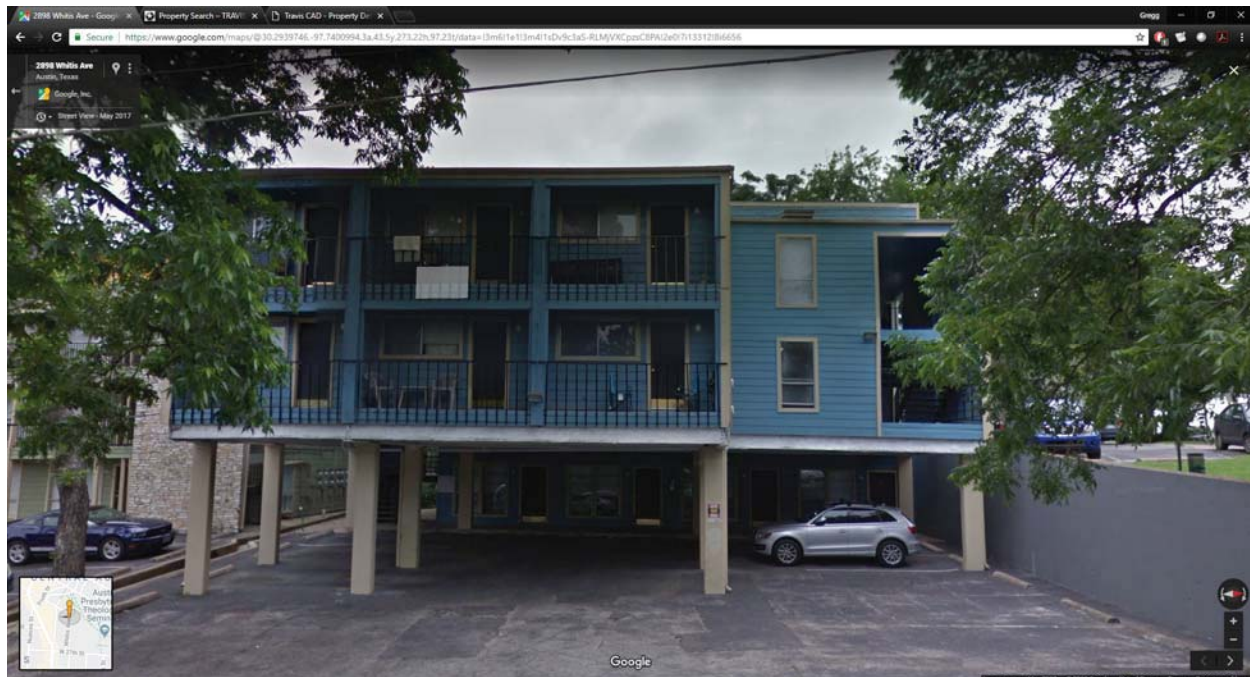
2803 HEMPHILL PARK



2810 HEMPHILL PARK



2808 WHITIS AVENUE



001/29



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: C15-2018-0036

LOCATION: 2713 HEMPHILL PARK



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 250'



CITY OF AUSTIN

Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

001/30 H01/2

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. *If more space is required, please complete Section 6 as needed.* All information is required (if applicable).

For Office Use Only

Case # 015-2018-0036 ROW # 12005839 Tax # 0215030114

Section 1: Applicant Statement

Street Address: 2713 & 2715 Hemphill Park, Austin, TX 78705

Subdivision Legal Description:

N 25FT OF W 1/2 OF LOT 7 & W 1/2 OF LOT 8 BLK 13 OLT 13 DIV D WHITIS SUBD

Lot(s): 7, 8

Block(s): 13

Outlot: 13

Division: D WHITIS SUBDIVISION

Zoning District: MF-5-NCCD-NP

I/We GREGG ANDRULIS on behalf of myself/ourselves as
authorized agent for 2713 HEMPHILL, LLC affirm that on
Month July, Day 18, Year 2018, hereby apply for a hearing before the
Board of Adjustment for consideration to (select appropriate option below):

☒ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other: _____

Type of Structure: Multi-family Residence

Portion of the City of Austin Land Development Code applicant is seeking a variance from.

We are seeking a variance from LDC 25-2-492 (D) Site Development Regulation Table: "MF-5 Minimum Lot Size = 8,000 SF".

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

LDC 25-2-492 (D) states that for the MF-5 base zoning district the minimum lot size is 8,000 SF. The subject property is comprised of 7,772 SF.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

The property was zoned for a dense multi-family use (MF-5) but lacks the minimum required area to develop the property for a multi-family use.

b) The hardship is not general to the area in which the property is located because:

Other properties on Hemphill Park between Guadalupe and 29th St are zoned MF-5 and MF-6, are less than 8,000 SF, and are currently supporting multi-family use.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The property's proximity to the University of Texas makes it an excellent candidate for high density student housing. The vast majority of properties on Hemphill Park between 27th St and 29th St are currently supporting multi-family uses similar to the proposed project.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

Section 3: Applicant Certificate

001/33 H01/5

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature:  Date: 07/18/2018

Applicant Name (typed or printed): Gregg Andrulis / Civil Insite, LLC

Applicant Mailing Address: 12600 Hill County Blvd, Suite R-275

City: Austin State: TX Zip: 78738

Phone (will be public information): (512) 820-0643

Email (optional – will be public information): [REDACTED]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 8/8/2018

Owner Name (typed or printed): 2713 Hemphill, LLC

Owner Mailing Address: 16105 Chateau Ave

City: Austin State: TX Zip: 78734

Phone (will be public information): (512) 820-0643

Email (optional – will be public information): [REDACTED]

Section 5: Agent Information

Agent Name: Gregg Andrulis / Civil Insite, LLC

Agent Mailing Address: SEE SECTION 3

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

CIVIL INSITE, LLC
AGENT DESIGNATION LETTER

001/34

July 17, 2017

City of Austin
505 Barton Springs Road
One Texas Center
Austin, TX 78704

Re: Letter Appointing Agent for 2713 & 2715 Hemphill Park, Austin, TX 78705 (the "Property")

To Whom it May Concern:

The undersigned, as the Property Owner of the above referenced Property, hereby appoints Civil Insite, LLC (Gregg Andrulis), as agent for the Property, and authorizes agent to apply for, sign for, and conduct business for permits, plans and/or other legal documents with the City of Austin Development Services Department.

Name of agent: GREGG ANDRULIS

Signature of agent: [Signature]

Date: 7/17/18

Name of Property Owner: DEBBIE OUTLAW PROPERTIES LLC

Signature of Property Owner: [Signature]

Date: 8/8/2018

August 24, 2018

Ms. Leane Heldenfels
Board of Adjustment
City of Austin
505 Barton Springs Road
Austin, TX 78704

Re: Variance Request to 25-2-492 (D) MF-5 Minimum Lot Size for 2713 Hemphill Park

Ms. Heldenfels,

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Area Character

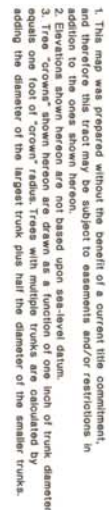
The property's proximity to the University of Texas makes it an excellent candidate for high density student housing. The vast majority of properties on Hemphill Park between 27th St and 29th St are currently supporting multi-family uses similar to the proposed project.

Please feel free to contact me if you have any questions.

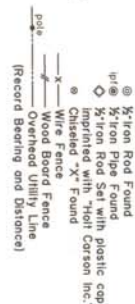
Sincerely,



Gregg Andrulis, P.E.



— Legend —



WHITIS AVEUNE (60')

PREPARED: March 22nd, 2016

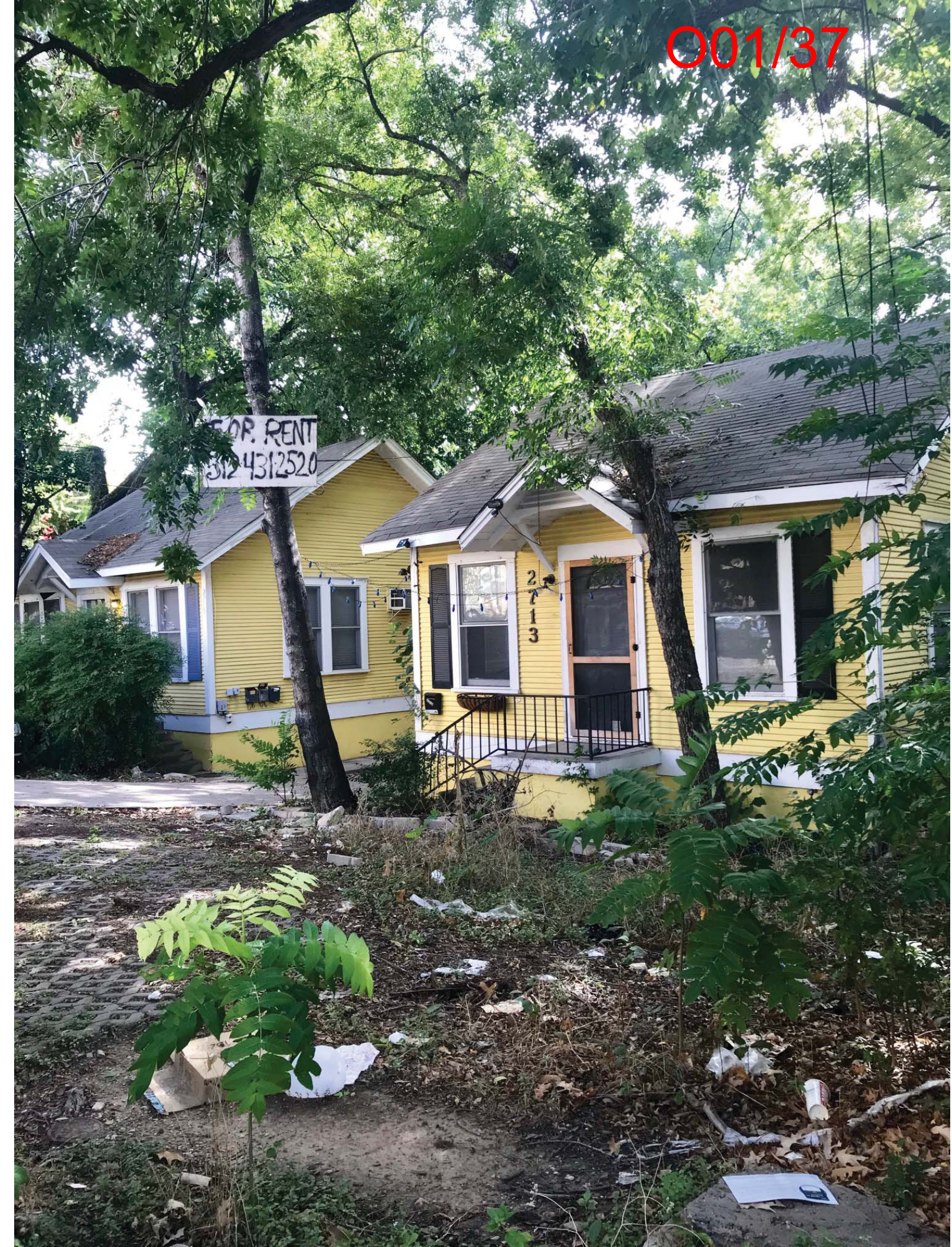
BY:

Holt Carson
Registered Professional Land Surveyor No. 5166
HOLT CARSON, INC.
1804 Fortview Road Austin, Texas 78704
(512) 442-0990
Firm Registration Number 10050700

001/37

FOR RENT
312 431 2520

2713





3 SE AXON



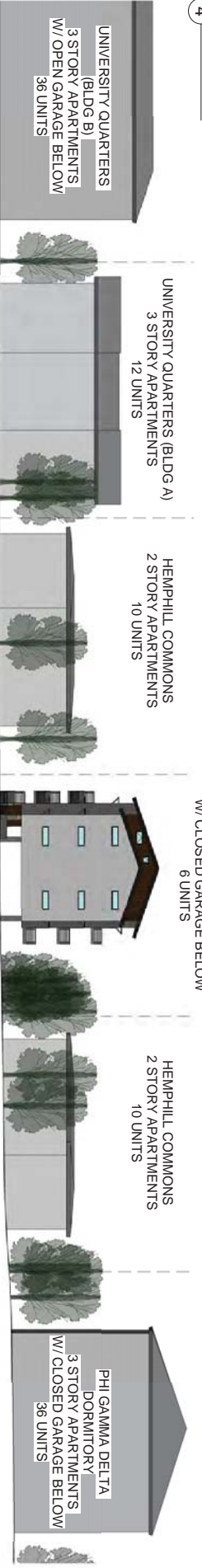
2 NW AXON



1 ENTRY AXON



4 SW AXON



5 WEST ELEVATION PANORAMIC
1/32" = 1'-0"



HEMPHILL APARTMENTS

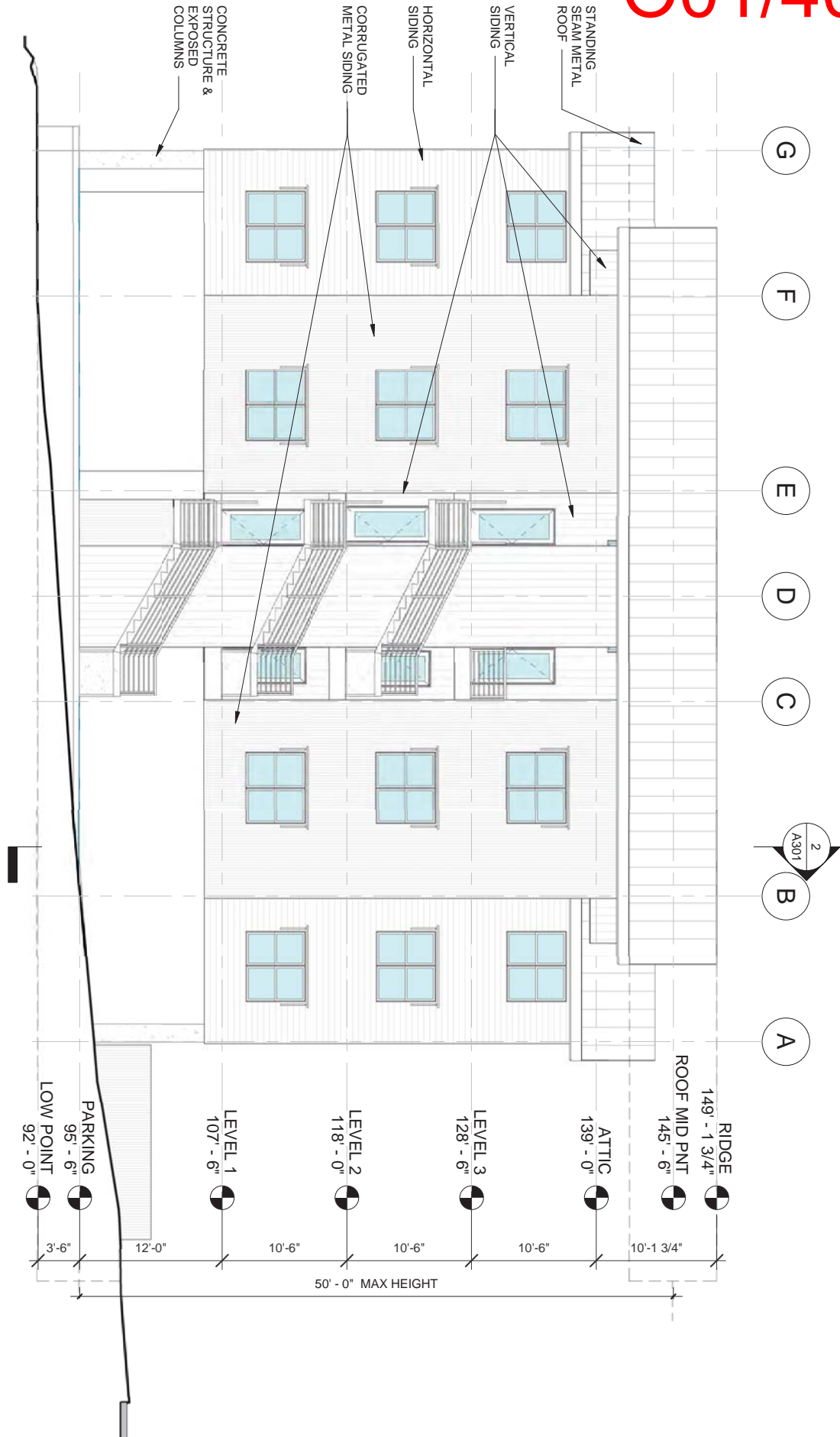
2713 & 2715 HEMPHILL PARK
AUSTIN, TX 78705

BIRDS
EYE
AXON

SHEET
NUMBER

A902

① NORTH ELEVATION
1/8" = 1'-0"



HEMPHILL APARTMENTS

2713 & 2715 HEMPHILL PARK
AUSTIN, TX 78705

ELEVATIONS

A201

8/12/2018 6:03:18 PM

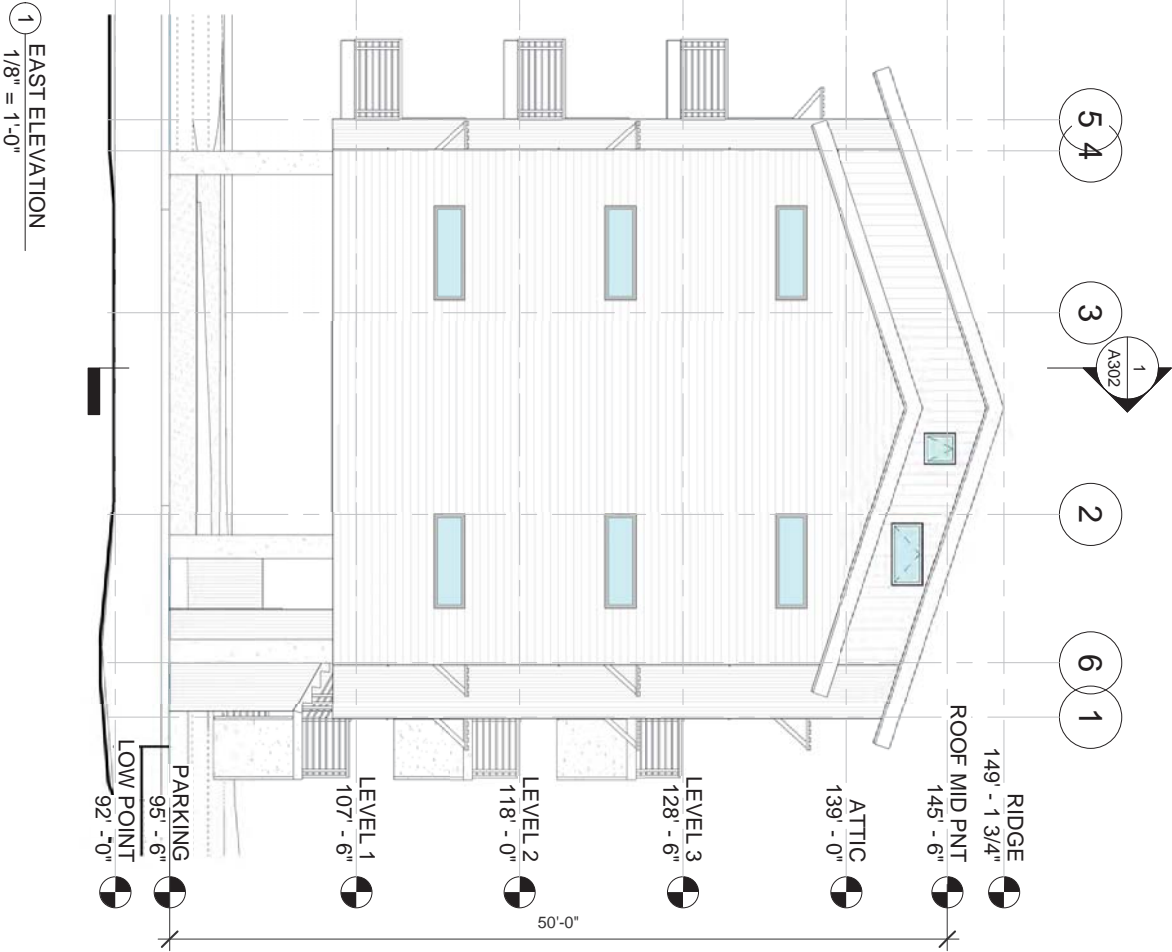
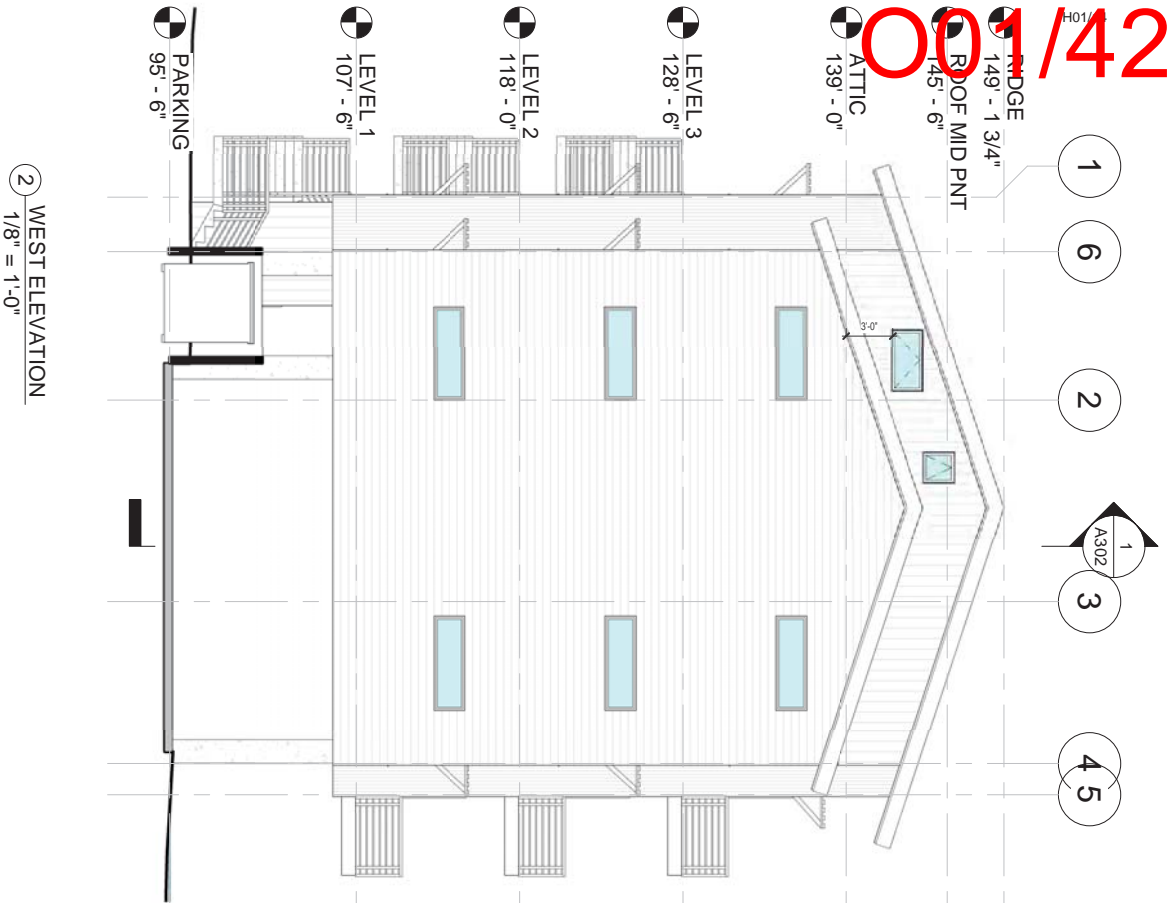
DATE:
2018.08.12 ZONING
REVIEW

PO Box 11075
Palm City, FL 32909
P 305.666.7145
countryside@gmail.com

ARCHITECTURAL²

① SOUTH ELEVATION
1/8" = 1'-0"





*Tree to be removed

LOCATED AT 2713 AND 2715 HEMPHILL PARK

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5166

HEMPHILL PARK (60' R.O.W.)
31' PAVEMENT WIDTH, ONE-WAY NORTH

CONSULTING ENGINEERS

12600 HILL COUNTRY BLVD, SUITE K-27
AUSTIN, TX 78738
512.820.0643
FIRM REGISTRATION NO. F-19483

HEMPHILL COMMONS
2713 HEMPHILL PARK

EXISTING CONDITIONS & DEMOLITION PLAN

SITE PLAN RELEASE
Sheet 03 of 12

FILE NUMBER: _____ EXPIRATION DATE: _____
CASE MANAGER: TBO

APPLICATION DATE: August 22, 2018

APPROVED ADMINISTRATIVELY ON:

APPROVED BY PLANNING COMMISSION ON: _____

APPROVED BY CITY COUNCIL ON: _____
under Section _____ of Chapter _____ of the Austin City Code

	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2
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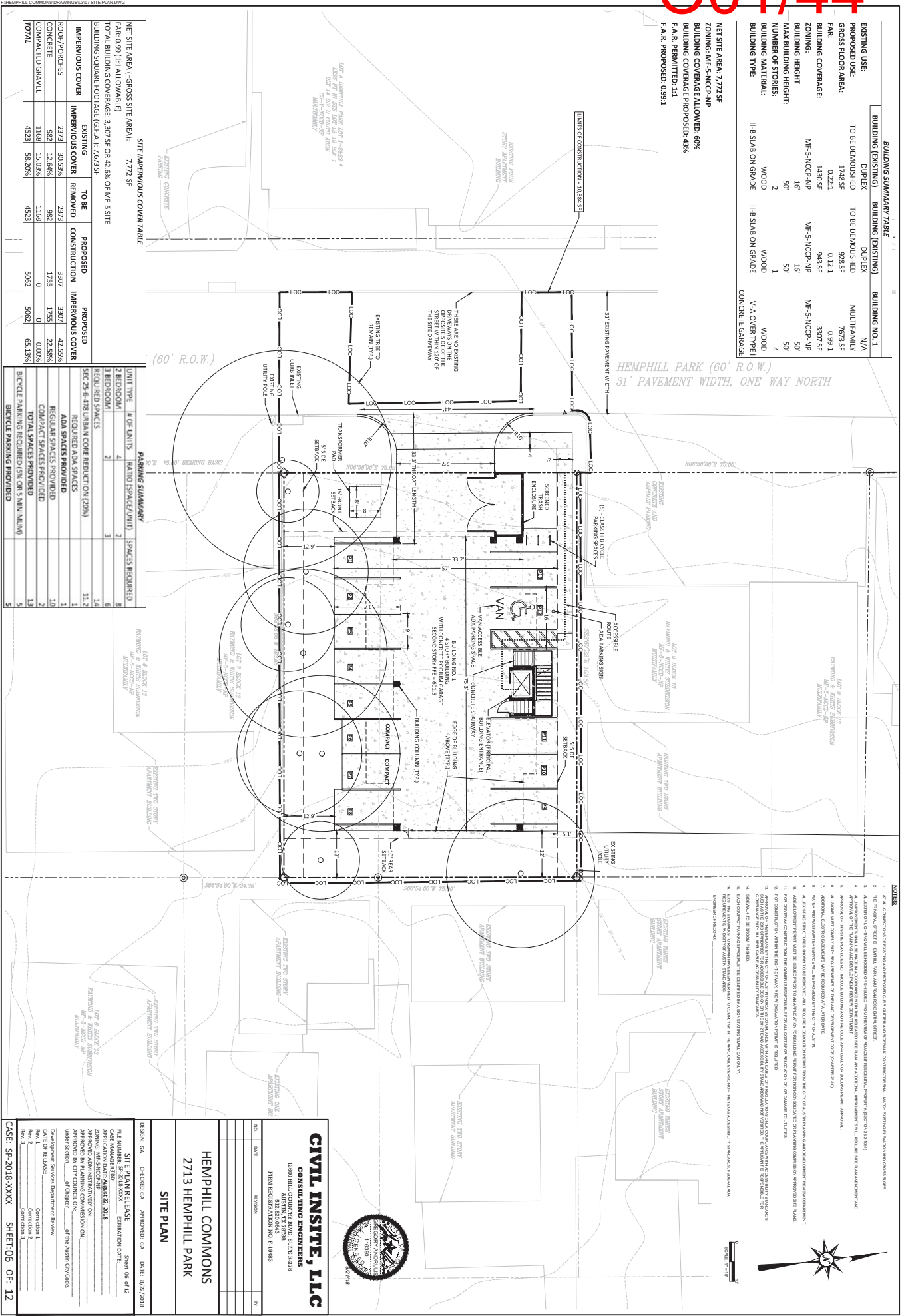
Development Services Department Review
DATE OF RELEASE:

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

[illegible]

CASE: SP-2018-XXXX SHEET: 03 OF: 12



BUILDING SUMMARY TABLE			
EXISTING USE:	BUILDING (EXISTING)	BUILDING (EXISTING)	BUILDING NO. 1
PROPOSED USE:	TO BE DEMOLISHED	TO BE DEMOLISHED	N/A
GROSS FLOOR AREA:	1748 SF	928 SF	7673 SF
FAR:	0.221	0.121	0.2991
BUILDING COVERAGE:	1430 SF	943 SF	3307 SF
ZONING:	MF-5-NCP-NP	MF-5-NCP-NP	MF-5-NCP-NP
BUILDING HEIGHT:	16'	16'	50'
MAX BUILDING HEIGHT:	16'	16'	50'
NUMBER OF STORIES:	2	2	4
BUILDING MATERIAL:	WOOD	WOOD	WOOD
BUILDING TYPE:	II-B SLAB ON GRADE	II-B SLAB ON GRADE	V-A OVER TYPE I CONCRETE GARAGE

NET SITE AREA: 7,772 SF
ZONING: MF-5-NCP-NP
BUILDING COVERAGE ALLOWED: 60%
BUILDING COVERAGE PROPOSED: 43%
F.A.R. PERMITTED: 1.1
F.A.R. PROPOSED: 0.991

SITE IMPERVIOUS COVER TABLE

SITE IMPERVIOUS COVER TABLE			
NET SITE AREA (GROSS SITE AREA):	7,772 SF		
FAR: 0.991 (1.1 ALLOWABLE)			
TOTAL BUILDING COVERAGE: 3,307 SF OR 42.6% OF MF-5 SITE			
BUILDING SQUARE FOOTAGE (G.L.A.): 7,673 SF			
IMPERVIOUS COVER			
EXISTING	TO BE	PROPOSED	PROPOSED
ROOF/POORCHES	2373	3307	42.55%
CONCRETE	982	1751	22.58%
COMPACTED GRAVEL	1168	1168	0.00%
TOTAL	4523	5062	65.13%

PARKING SUMMARY

UNIT TYPE	# OF UNITS	RATIO (SPACE/UNIT)	SPACES REQUIRED
2 BEDROOM	4	2	8
3 BEDROOM	4	3	12
REQUIRED SPACES			20
SEC 25-6-478 (MINIMUM CORE REDUCTION (20%))			11.2
ADJ. SPACES PROVIDED			1
REGULAR SPACES PROVIDED			10
COMPACT SPACES PROVIDED			2
TOTAL SPACES PROVIDED			13
BICYCLE PARKING REQUIRED (5% OR 5 MINIMUM)			5
BICYCLE PARKING PROVIDED			5

CIVIL INSITE, LLC
CONSULTING ENGINEERS

18601 BELL COUNTY ROAD, SUITE 3475
BELLEVILLE, MO 63104-0463
TEL: 636-336-1100
FAX: 636-336-1101
WWW.CIVILINSITE.COM

HEMPHILL COMMONS
2713 HEMPILL PARK

SITE PLAN

DESIGN: CA CHECKED: CA APPROVED: CA DATE: 4/23/2018

SITE PLAN RELEASE SHEET 06 OF 12

DATE: 4/23/2018 EXPIRATION DATE: 4/23/2020

PROJECT: 2018-0001

ZONING: MF-5-NCP-NP

APPROVED BY PLANNING COMMISSION ON: 4/12/2018

APPROVED BY CITY COUNCIL ON: 4/12/2018

DESIGNED BY: CIVIL INSITE, LLC

UNDER REVIEW BY: CIVIL INSITE, LLC

DATE OF RELEASE: 4/23/2018

REVISION 1: 4/23/2018

REVISION 2: 4/23/2018

REVISION 3: 4/23/2018

CASE: SP-2018-XXXX SHEET 06 OF: 12

- NOTES:
1. ALL CONSTRUCTION OF EXISTING AND PROPOSED DRIVE, SIDEWALK, AND SIDEWALK, CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.
 2. THE EXISTING STREET IS 31' WIDE, AND THE PROPOSED STREET IS 31' WIDE.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.
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 19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.
 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, STREET DESIGN MANUAL.



NET SITE AREA: 7,772 SF
ZONING: MF-5-NCCP-NP
BUILDING COVERAGE ALLOWED: 60%
BUILDING COVERAGE PROPOSED: 43%
F.A.R. PERMITTED: 1.1
F.A.R. PROPOSED: 0.99:1

PARKING SUMMARY			
UNIT TYPE	# OF UNITS	RATIO (SPACE/UNIT)	SPACES REQUIRED
2 BEDROOM	4	1	8
3 BEDROOM	2	2	6
REQUIRED SPACES			14
SEC 25-6-478B URBAN CORE REDUCTION (20%)			
REQUIRED ADA SPACES			3
ADA SPACES PROVIDED			
REGULAR SPACES PROVIDED			10
COMPACT SPACES PROVIDED			3
TOTAL SPACES PROVIDED			13
BICYCLE PARKING REQUIRED (5% OR 5 MINIMUM)			



HEMPHILL COMMONS
2713 HEMPILL PARK

SITPRAN RELEASE

DESIGN: GA CHECKED: GA APPROVED: GA DATE: 8/10/2018

CASE NUMBER: EFD
FILE NO.: 2016-00079 EXEMPTION DATE:

APPLICATION DATE: **April 10, 2018**

ZONING: M-5-SCEP-A

APPROVED ADMINISTRATIVE ON:
APPROVED CITIZEN'S COUNCIL ON ON:

APPROVED BY CITY COUNCIL ON:
under section _____ of Chapter _____ of the Austin City Code.

Development Services Department Review

Rev. 1 Initial Date: _____ Correction 1

Rev. 2 Correction 2

Rev. 3 Correction 3

Sheet 1 of 18

*Tree to be removed

TREE TO BE REMOVED (TYP.)

TREE TO BE REMAIN (TYP.)

MULTIFAMILY

LOCATED AT 2713 AND 2715 HEMPHILL PARK.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5166

FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

1

CONSULTING ENGINEERS

FIRM REGISTRATION NO. F-19483

EXISTING CONDITIONS

FILE NUMBER: 35-2010-0000 EXPIRATION DATE: _____
CASE MANAGER: TBD

ZONING: M-15-NCCP-NP

Abstracts of the papers presented at the 1997 Annual Meeting of the American Society of Human Genetics, October 1-5, 1997, Denver, Colorado, USA.

Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

1

Properties Zoned MF-5 in the vicinity of 2713 Hemphill Park

Address	Name	Owner	Area
2721 Hemphill Park	Hemphill Park Apartments	Paul Barr	7763 SF
2711 Hemphill Park	Hemphill Park Apartments	Paul Barr	7763 SF
2707 Hemphill Park	Phi Delta Gamma	Purple Own House Corp	9936 SF
2801 Hemphill Park	University Quarters Apartments A	Quarters Venture LTD	7753 SF
2803 Hemphill Park	University Quarters Apartments B	Quarters Venture LTD	9936 SF
2802 Whitis Ave	"Apartment 5-25" per TCAD	2802 Whitis Ave LLC	5175 SF
2800 Whitis Ave	"Apartment 5-25" per TCAD	Somerset Partners	6521 SF

Board of Adjustment
Case: C15-2018-0036
2713 Hemphill Park
October 2, 2018

To Leane Heldenfels, Board Liaison

Dear Leane,

We wanted to address the case that was postponed by the BOA last month, C15-2018-0036, 2713 Hemphill Park, so that the applicant could meet with the neighborhood. We, the North University Neighborhood, would like to request a postponement for this upcoming meeting of the BOA for 2 reasons. The applicant was advised by the BOA to meet with us to discuss his case further, which has not happened. So far, his plans are unacceptable. Perhaps a postponement will give him more time to schedule a meeting with us?

Furthermore, as the neighborhood representative, I will be out of town on Monday, October 8. I would like to be present when this case is on the agenda for discussion. Do you think that it would be possible for the neighborhood to have a postponement request granted by the Board? Please include this request in the packet for the Board's meeting on October 8, 2018.

Thank you for the Board's consideration.

Best,
Mary Ingle
512-320-8449

Steven Tomlinson
Chair of the North University Neighborhood Development Review Committee
512-576-2760