



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

Property Information

Project Address: <u>1506 Wethersfield, 78703</u>	Tax Parcel ID: <u>112706</u>
Legal Description: <u>Lot 42 Eastfield "F" Subdivision</u>	
Zoning District: <u>SF-3</u>	Lot Area (sq ft): <u>6,000^{sq}</u>
Neighborhood Plan Area (if applicable):	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N <input type="radio"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, EHZ review is required)	Is this property within 100 feet of the 100 year floodplain? Y <input type="radio"/> N <input checked="" type="radio"/> (Proximity to floodplain may require additional review time.)
Are there protected size trees onsite or on adjacent sites? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, click here for more information on the tree permit process.)	Proposed impacts to trees: (Circle all that apply) Root zone Canopy Removal None/Uncertain
Was there a pre-development consultation for the Tree Review? Y <input type="radio"/> N <input checked="" type="radio"/>	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <input checked="" type="radio"/> N <input type="radio"/>	
Does this site currently have: water availability? Y <input checked="" type="radio"/> N <input type="radio"/> wastewater availability? Y <input checked="" type="radio"/> N <input type="radio"/> (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N <input type="radio"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input type="radio"/> N <input checked="" type="radio"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input type="radio"/> N <input checked="" type="radio"/> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input type="radio"/> N <input checked="" type="radio"/> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? Y <input checked="" type="radio"/> N <input type="radio"/> (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="radio"/> N <input checked="" type="radio"/> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input type="radio"/> N <input checked="" type="radio"/> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input type="radio"/> N <input checked="" type="radio"/> (If yes, construction material recycling is required per LDC 25-11-39)
Existing Use: vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____
Proposed Use: vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____
Project Type: new construction <input type="checkbox"/> addition <input type="checkbox"/> <u>addition/remodel</u> <input checked="" type="checkbox"/> other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <input type="radio"/> N <input checked="" type="radio"/> (Note: Removal of all or part of a structure requires a demolition permit application.)
existing bedrooms: <u>2</u> # bedrooms upon completion: <u>4</u> # baths existing: <u>1</u> # baths upon completion: <u>3</u>
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>Addition of Rear of a master w/Bath and a guest w/bath</u> <u>new windows + siding - upgrade interior cabinets + flooring</u>
Trades Permits Required (Circle as applicable): <u>electric</u> <u>plumbing</u> <u>mechanical (HVAC)</u> concrete (R.O.W.)

Job Valuation		
Total Job Valuation: \$ <u>75,000</u> 0	Amount for Primary Structure: \$ <u>20,000</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Total Remodeled Floor Area <u>1112</u> sq ft. (work within existing habitable square footage)
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.	Amount for Accessory Structure: \$ <u>55,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	<u>1112</u>		<u>1014</u>		<u>2126</u>	0
b) 2 nd Floor conditioned area					0	0
c) 3 rd Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)					<u>306</u>	0
f) Covered patio, deck, porch, and/or balcony area(s)					<u>144</u>	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks					0	0
Total Building Area (total a through h)	0	0	0	0	<u>2575</u>	0
i) Pool					0	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition / New Construction					0	0
Building Coverage Information						
<small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): <u>2270</u> % of lot size: <u>38%</u>						
Impervious Cover Information						
<small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): <u>2707</u> % of lot size: <u>45%</u>						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y <input checked="" type="checkbox"/> N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input checked="" type="checkbox"/> N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <input checked="" type="checkbox"/> N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>20</u> ft <u>7</u> in Number of Floors: <u>1</u>			# of spaces required: <u>2</u> # of spaces provided: <u>3</u>			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y <input checked="" type="checkbox"/> N						
<small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N						
Width of approach (measured at property line): <u>12</u> ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N (If yes, drainage review is required)						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1112	1014			2126
2 nd Floor					0
3 rd Floor					0
Area w/ ceilings > 15'			Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)	35	109	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)		144
Basement			Must follow article 3.3.3B, see note below		0
Attic			Must follow article 3.3.3C, see note below		0
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0
Accessory Building(s) (detached)					0
Totals	1147	1123			2270

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) ~~0.00~~ 2270

(Total Gross Floor Area ÷ Lot Area) x 100 = 38 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y N
(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N
(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.





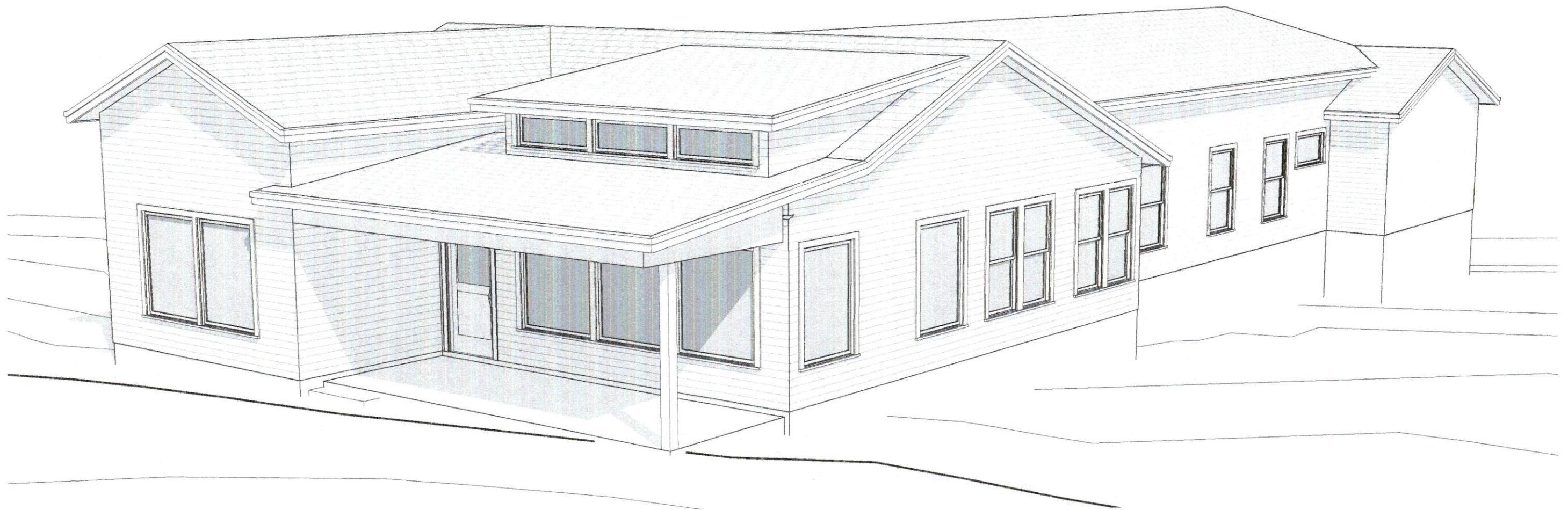
Add
on
at Rear

Remove
garage

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

LOT 42, ENFIELD "F" SUBDIVISION



NOTE:
3D VIEWS ARE FOR DIAGRAMATIC
REPRESENTATION ONLY; NOT TO
BE USED OR REFERENCED FOR
CONSTRUCTION FABRICATION.

CERTIFIED PROFESSIONAL BUILDING DESIGNER



DATE: 10/25/18

DRAWING INDEX

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2.2	DEMO FLOOR PLAN
2.3	NEW FLOOR PLAN

DRAWING INDEX

3.0	EXISTING ROOF PLAN
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6.0	DOOR & WINDOW SCHEDULES

PERMIT SET



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GENERAL NOTES:

1. DRAWINGS ARE IN PART DIAGRAMMATIC AND DO NOT NECESSARILY SHOW COMPLETE DETAILS OF CONSTRUCTION, WORK, OR MATERIALS, PERFORMANCE OR INSTALLATION. DRAWINGS DO NOT NECESSARILY SHOW HOW CONSTRUCTION DETAILS, OTHER ITEMS OR WORK, AND EQUIPMENT MAY AFFECT A PARTICULAR INSTALLATION.
2. REPORT ALL DISCREPANCIES, ERRORS AND/OR OMISSIONS TO THE DESIGNER PRIOR TO ORDERING ANY MATERIALS AND/OR COMMENCEMENT OF CONSTRUCTION.
3. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE. HOWEVER, UNDER NO CIRCUMSTANCES SHALL DRAWINGS BE SCALED FOR CRITICAL DIMENSIONS IF A CRITICAL DIMENSION, SUCH AS A HEADER, SPECIAL PLATE HEIGHT, OR OTHER USE, IS MISSING FROM THESE PLANS, CONTACT DESIGNER FOR VERIFICATION.
4. FEATURES NOT FULLY SHOWN ON PLANS (DETAILS ARE TO BE PROVIDED AS INDICATED FOR SIMILAR CONDITIONS. CONSTRUCTION METHODS AND MATERIALS NOT EXPLICITLY INDICATED OR IMPLIED ARE INCIDENTAL TO THE WORK AND ARE INTENDED TO BE CONTRACTOR DESIGNER. THE OWNER SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DOCUMENTS. ANY SUCH VARIATION SHALL BE APPROVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR COST TO RECTIFY THE SAME.
5. VERIFY DIMENSIONS, ROUGH OPENING SIZES SHOWN FOR DOORS AND OTHER PENETRATIONS AGAINST REQUIREMENTS OF SPECIFIED PRODUCTS, CONDITIONS, ELEVATIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING.
6. ALL DIMENSIONS TO WALLS SHOWN ON DRAWINGS ARE TAKEN FROM FACE OF STUDS, MASONRY OR CONCRETE.
7. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
8. FIRST FLOOR WALL PLATE HEIGHTS AT HOUSE ARE 8'-1 1/8", U.N.O.
9. PROVIDE ALL SUB-FRAMING AS REQUIRED TO RECEIVE WORK BY OTHERS.
10. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
11. ALL OPENINGS SHALL BE CAULKED, SEALED, OR WEATHER STRIPPED.
12. NOT ALL ELEMENTS ARE SHOWN ON DESIGN DRAWINGS, SEE STRUCTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.
13. ALL CLEAR DIMENSIONS ARE TO BE EXACTLY WITHIN 1/8" FULL HEIGHT AND WIDTH OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT WRITTEN INSTRUCTIONS FROM THE OWNER.
14. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY THE AUTHORITY HAVING JURISDICTION.
15. SHOWER/STALL WINDOW WILL HAVE TILE RETURNS. THIS GENERALLY REQUIRES AN INCREASED ROUGH OPENING DIMENSION TO ACCOMMODATE THE TILE THICKNESS. VERIFY FINAL TILE SELECTION.
16. CLOSET RACK & SHELF LAYOUTS TO BE REVIEWED w/ OWNER - LAYOUTS SHOWN ARE SUGGESTIONS.

NOTES:

- 1) PROVIDE BRICKWORK AT CENTER ABOVE FIREPLACE FOR ART, AT CENTER OF WALL ABOVE SINKS FOR MIRRORS, AND 0" AT THE TOP AND ON BOTH SIDES OF WINDOWS FOR DRAPERIES.
- 2) PROVIDE PROPER CLEARANCES FOR A/C UNITS: 18" FROM ANY WALL, 36" BETWEEN A/C UNITS & 36" IN FRONT OF UNIT - UNLESS NOTED OTHERWISE FROM MANUFACTURER.
- 3) VERIFY GENERATOR DIMENSIONS PRIOR TO BUILDING PAD.

LEGEND:

- 1/A6.0 INTERIOR ELEVATIONS (DETAIL # / SHEET #)
- SOLID = ACTIVE DOOR
HIDDEN = INACTIVE
- TILE PATTERN ON PLAN IS REPRESENTATION ONLY (SEE TILE SCHEDULE FOR ACTUAL SELECTIONS)
- WOOD PATTERN ON PLAN IS REPRESENTATION ONLY (SEE WOOD FLOOR SCHEDULE FOR ACTUAL SELECTION)
- VISIBILITY PATH

ROOF NOTES:

1. OVERHANG: REFER TO ROOF PLAN
2. 1x4 & 2x8 FASCIA IS ADDED IN ADDITION TO OVERHANG DIMENSION.
4. ROOF SHEATHING TO BE 1/2" OSB OVER HEATED / CONDITIONED ROOF AREAS WHERE BATT/FOAM INSULATION IS TO BE INSTALLED. USE 1/2" TECH SHIELD RADIANT BARRIER AT UNHEATED AREAS.
7. MEASURE PLATE HEIGHTS FROM FINISHED SLAB HEIGHT OF ROOM, SLAB ELEVATIONS MAY VARY.
8. VENT ALL PLUMBING AND APPLIANCE VENTS TO REAR OF ROOF RIDGE WHERE POSSIBLE

ROOF LEGEND:

- 4/12 ROOF PITCH
- X'-1 1/8" PL ROOF PLATE HEIGHT

ELECTRICAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE FEDERAL/STATE/LOCAL CODES, INTERNATIONAL BUILDING CODE, NFPA CODES, NEC AND THE REQ. OF THE AUTHORITY HAVING JURISDICTION.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY. FURNISH AND INSTALL ALL REQUIRED JUNCTION BOXES, PULL BOXES, SURFACE RECESSED DEVICE BOXES, FITTINGS, CONDUIT BODIES, SUPPORTS, ACCESS DOORS, HARDWARE, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE AND WORKING ELECTRICAL SYSTEM, WHETHER OR NOT SUCH EQUIPMENT IS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL PERFORM SITE VISITS AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS AND FIELD CONDITIONS, BEFORE SUBMITTING A BID OR BEFORE SUBMITTING A PRICE PROPOSAL. FIELD VERIFY ALL IMPORTANT DIMENSIONS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE WORK WITH ALL OTHER CONTRACTORS AND ALL OTHER TRADES BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACES AND OTHER AREAS WHERE CONFLICT MAY OCCUR.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE WORK WITH ALL CONTRACT DOCUMENTS, SHOP DRAWINGS AND EQUIPMENT DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL OBTAIN A COPY OF ALL CONTRACT DOCUMENTS, INCLUDING ALL DRAWINGS AND ALL SPECS.
- WHERE JUNCTION BOXES OR ELECTRICAL EQUIPMENT ARE REQUIRED TO BE INSTALLED ABOVE NON-ACCESSIBLE CEILINGS OR CONCEALED INSIDE WALLS, THE CONTRACTOR SHALL FURNISH AND INSTALL ACCESS DOORS TO MAKE THE JUNCTION BOXES OR ELECTRICAL EQUIPMENT ACCESSIBLE.
- ALL ELECTRICAL EQUIPMENT SHALL BE UNLISTED LABORATORY (U.L.) LISTED AND LABELED. ALL EQUIPMENT SHALL BE NEW.
- EXACT LOCATION OF ALL EQUIPMENT AND ACCESSORIES SHALL BE VERIFIED IN THE FIELD AND COORDINATED WITH OTHER TRADES, ADJUST LOCATION TO SUIT FIELD CONDITIONS. COMPLY WITH CLEARANCES AS REQUIRED BY THE NEC, THE MANUFACTURER, AND APPLICABLE CODES.
- COMPLY WITH ALL SAFETY REGULATIONS INCLUDING BUT NOT LIMITED TO OSHA, MSHA AND ALL ELECTRICAL SAFETY REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY THE SWITCH AND CIRCUIT BREAKER SOURCE OF EACH BRANCH OR FEEDER CIRCUIT BEFORE PERFORMING ANY WORK.
- WHEREVER NEW CIRCUIT BREAKERS ARE BEING INSTALLED INSIDE EXISTING PANEL BOARDS, SWITCHBOARDS, MCCs, OR SIMILAR EQUIPMENT, THE CIRCUIT BREAKER SHALL COME FROM THE SAME MANUFACTURER AS THE EXISTING EQUIPMENT.
- WHEREVER NEW CIRCUIT BREAKERS ARE BEING PROVIDED AT EXISTING PANEL BOARDS, SWITCHBOARDS, MCCs, OR SIMILAR EQUIPMENT, OR WHEREVER EXISTING BREAKERS ARE BEING USED TO FEED NEW LOADS, THE SCHEDULE LABEL ON THE EQUIPMENT SHALL BE REVISED TO REFLECT THE LOADS.
- DO NOT COMBINE SEPARATE BRANCH CIRCUITS IN THE SAME CONDUIT UNLESS OTHERWISE NOTED.
- DO NOT COMBINE SEPARATE FEEDER CIRCUITS IN THE SAME CONDUIT.
- PROVIDE DEDICATED RACEWAY FOR ALL EMERGENCY WIRING. DO NOT COMBINE WITH OTHER TYPES OF WIRING.
- PROVIDE OUTLETS, WIRING & ELEC. CONNECTIONS FOR CENTRAL VAC, RECIRCULATING PUMPS, SPAS & POOLS, WHIRLPOOLS, IN-PAVE HEATERS, DOOR CHIMES, SECURITY SYSTEMS, HVAC EQUIP., WATER HEATERS & SEPTICS REQUIRED.
- PROVIDE GFI CIRCUITS AT ALL LOCATIONS REQUIRED BY CODE.
- USE CAT 5 OR BETTER ON ALL TELEPHONE AND DATA LINES. ALL TEL. & TV LINES TO BE HOME RUN. ALL COMPUTER LINES TO BE HOME RUN TO HUB.
- ALL DIMENSIONS INDICATED TO SWITCHES OR OUTLETS ARE TO THE CENTER OF THE BOX.
- ALL SWITCHES TO BE MOUNTED 8" A.F.F. AND ALL OUTLETS TO BE MOUNTED 12" A.F.F. U.N.O.
- LOCATION OF DOOR BELL CHIME TO BE COORDINATED WITH THE INTERCOM SYSTEM BY THE LOW VOLTAGE CONTRACTOR.
- ELECTRICIAN TO VERIFY ALL APPLIANCES & ELECTRICAL REQUIREMENTS.
- AFIC PROTECTION SHALL BE PROVIDED TO ALL BEDROOM AREAS WITH INSTALLATION OF OVER-CURRENT PROTECTION DEVICES IN ACCORDANCE WITH NEC 2005 ART. 210.12.
- PROVIDE PROPER CLEARANCES FOR A/C UNITS: 18" FROM ALL WALLS, 36" BETWEEN AND IN FRONT OF UNITS U.N.O. BY MANUFACTURER.
- VERIFY GENERATOR DIMENSIONS IF APPLICABLE, PRIOR TO BUILDING PAD.

ELECTRICAL LEGEND:

- 6" RECESSED FIXTURE
- 6" RECESSED FIXT. IN SLOPED CEILING
- 4" RECESSED FIXTURE
- 2" RECESSED FIXTURE
- HANGING FIXTURE
- WALL MOUNT FIXTURE (SCONCE)
- SURFACE MOUNT FIXTURE
- RECESSED SPOT FIXTURE
- PUCK LIGHT
- 1x4 FLUORESCENT FIXTURE
- LED TAPE
- DOUBLE FLOODED LIGHT
- CEILING FAN
- TRACK LIGHT (4' / 8' / 12')
- TRACK HEAD
- VEHICLE FAN
- SAFETY DETECTOR (SMOKE & CARBON MONOXIDE)
- SECURITY SYSTEM KEYPAD
- DOOR CHIME
- PHONE / DATA / CABLE
- LOW VOLT. / NETWORK PANEL
- JUNCTION BOX
- LOW VOLT. POOL CONTROLS
- 120V DUPLEX WALL OUTLET
- 120V QUADPLEX WALL OUTLET
- SURFACE MOUNTED 110V OUTLET
- 240V OUTLET (RANGE, DRYER, ETC)
- UPPER CABLE PLUG HOLD W/ OUTLETS AT 18" O.C.
- DRAWER PLUG MOLDED W/ 3 OUTLETS
- CORNER DOOR CHIMES / BUTTON
- DOOR BELL BUTTON
- STANDARD SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR

GENERAL NOTES

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX 78703

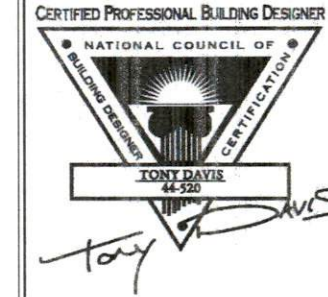
LOT 10 ENFIELD "F" SUBDIVISION

NWS CONSTRUCTION

design: build remodel

BUILDER: WIL SHEDDAN

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DATE: 10/25/18

PERMIT SET

10/25/2018

SHEET: 0.0

DRAWN BY: SMG

SURVEY PLAT

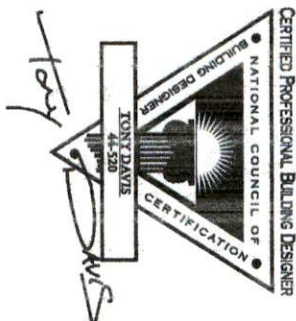
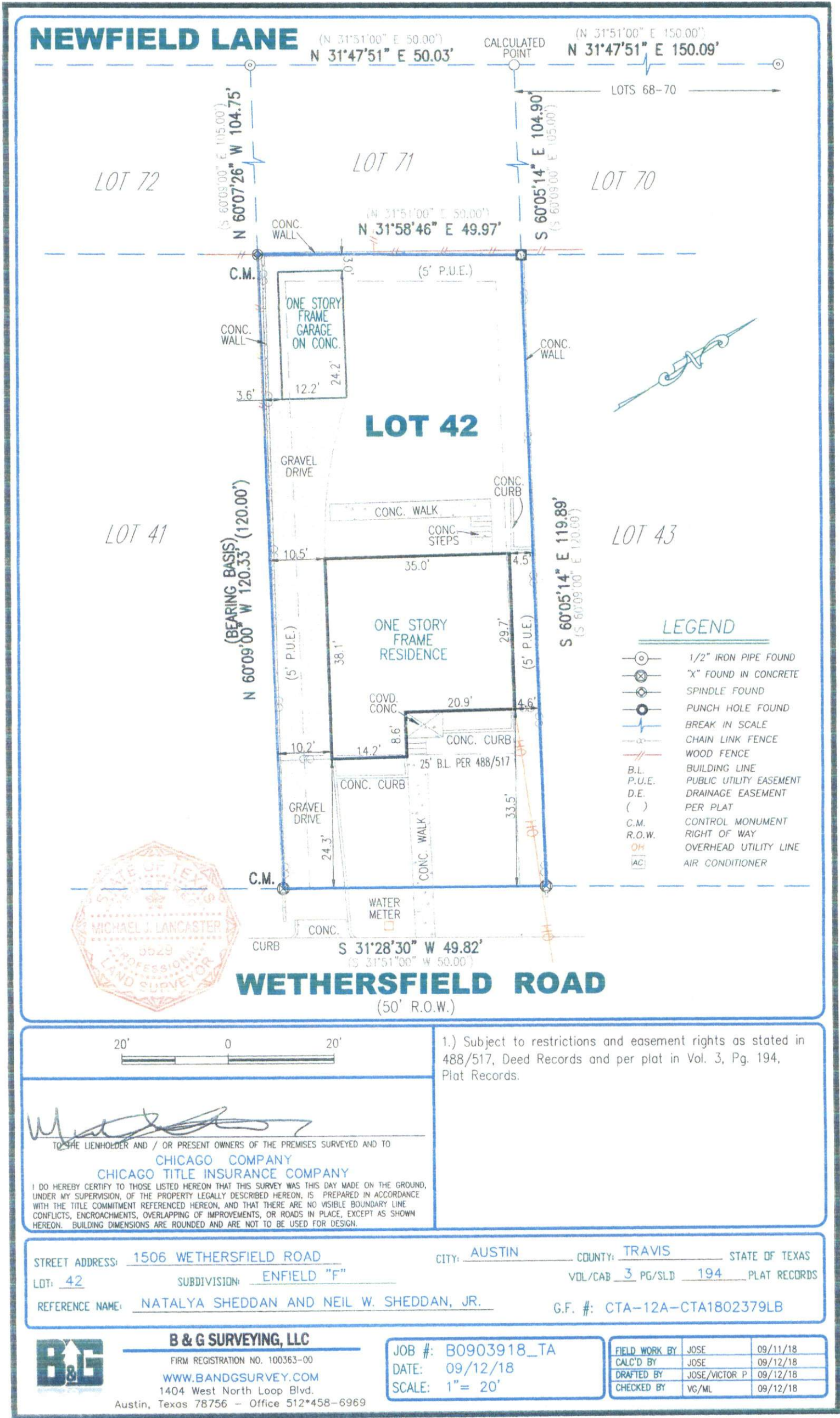
WETHERSFIELD REMODEL
1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703
LOT 42, ENFIELD "F" SUBDIVISION

NWCS
CONSTRUCTION
design build remodel
SHEDDAN, NEIL W.

DATE: 10/25/18

LAST REVISION

PERMIT SET
SHEET: 1.0
DRAWN BY: SMG



1 SURVEY PLAT
1" = 20'-0"

REVIEWED

OCT 31 2018

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS



NORTH

EXISTING SITE PLAN

WETHERSFIELD REMODEL

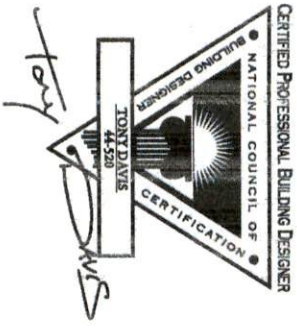
1506 WETHERSFIELD ROAD, AUSTIN, TX, 78703

LOT 42, ENFIELD "F" SUBDIVISION

NWWS
CONSTRUCTION

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DATE: 10/25/18



LEGEND:

- SPOT ELEVATION
- EXISTING CONTOURS
- NEW CONTOURS
- OVERHEAD POWER LINES
- WATER METER
- POWER POLE

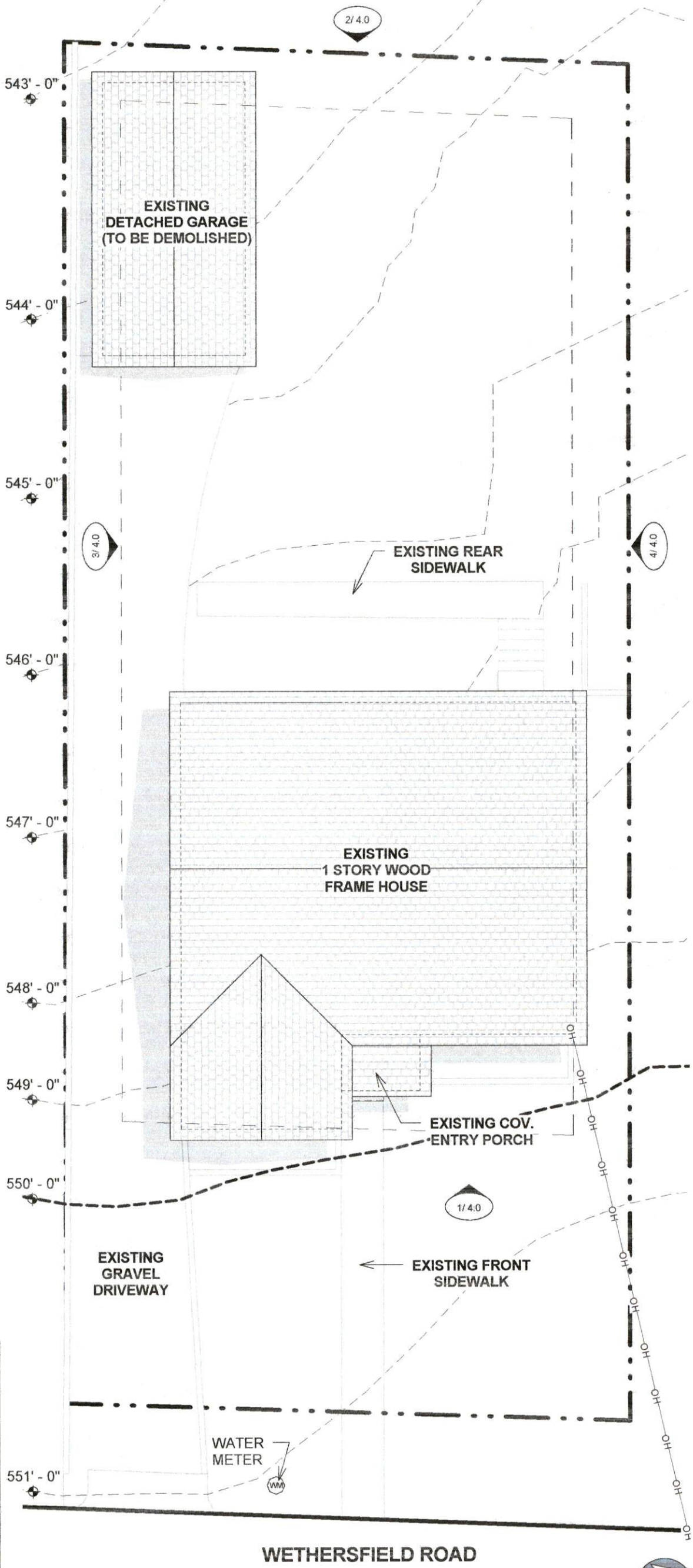
SITE CALCULATIONS:

TOTAL AREA OF PROPERTY	6,000 SF
EXISTING DRIVEWAY	1,020 SF
EXISTING REAR SIDEWALK	127 SF
EXISTING FRONT SIDEWALK	107 SF
BUILDING COVERAGE	1,453 SF
TOTAL IMPERVIOUS COVER	2,707 SF
PERCENT IMPERVIOUS COVER	45%
FRONT YARD AREA	1,250 SF
FRONT YARD IMPERVIOUS COVER	368 SF
PERCENT FRONT YARD IMP. COVE	29.6%
LEGAL DESCRIPTION	LOT 42, ENFIELD "F" SUBDIVISION
STREET ADDRESS	1506 WETHERSFIELD RD, AUSTIN, TX 78703

SQUARE FOOTAGES:

EXISTING	
EXISTING CONDITIONED	1,112 SF
EXISTING DETACHED GARAGE	306 SF
EXISTING COV. ENTRY PORCH	35 SF
TOTAL AREA	1,453 SF

1 EXISTING SITE PLAN
1" = 10'-0"



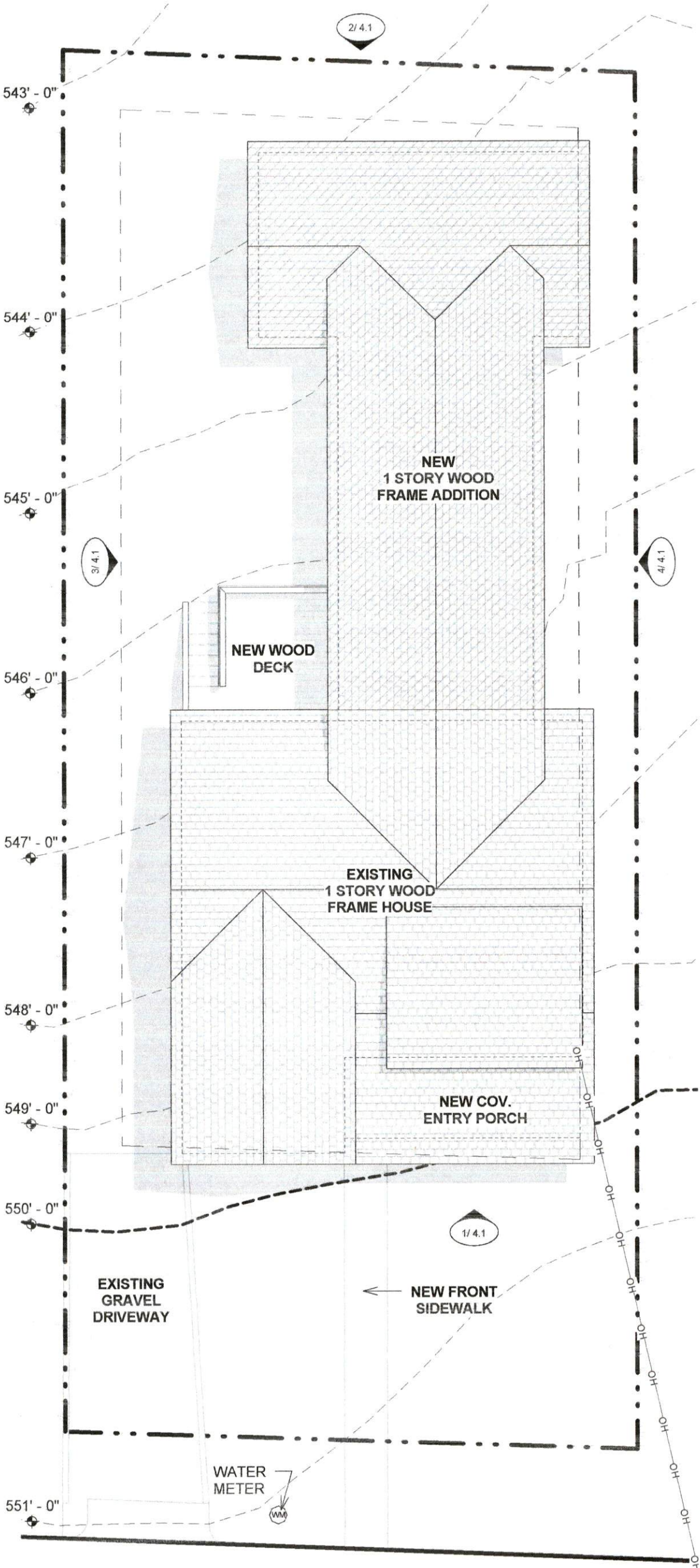
AE APPROVED

OCT 31 2018
304-506
MCP



WETHERSFIELD ROAD

1 NEW SITE PLAN
1" = 10'-0"



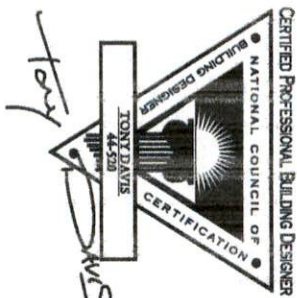
SQUARE FOOTAGES:

GROSS FLOOR AREA CALCULATIONS (F.A.R.):	
EXISTING HEATED	1,112 SF
NEW ADDITION HEATED	1,014 SF
NEW COV. ENTRY PORCH	144 SF
TOTAL	2,270 SF

SITE CALCULATIONS:

TOTAL AREA OF PROPERTY	6,000 SF
NEW DRIVEWAY	283 SF
NEW WOOD DECK	166 SF
NEW WOOD DECK @ 50%	78 SF
NEW FRONT SIDEWALK	99 SF
BUILDING COVERAGE	2,270 SF
PERCENT BUILDING COVERAGE	37.8%
TOTAL IMPERVIOUS COVER	2,770 SF
PERCENT IMPERVIOUS COVER	46.0%
FRONT YARD AREA	1,280 SF
FRONT YARD IMPERVIOUS COVER	368 SF
PERCENT FRONT YARD IMP. COVE	28.6%
LEGAL DESCRIPTION	
LOT 42, ENFIELD T ST SUBDIVISION	
STREET ADDRESS	
1506 WETHERSFIELD RD, AUSTIN, TX 78703	

NOTE:
1. ALL GROUND FLR. PORCHES ARE < 200 SF



DATE: 10/25/18

LEGEND:	
	SPOT ELEVATION
	EXISTING CONTOURS
	NEW CONTOURS
	OVERHEAD POWER LINES
	WATER METER
	POWER POLE

PERMIT SET

NEW SITE PLAN

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

LOT 42, ENFIELD TST SUBDIVISION

NWWS
CONSTRUCTION

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EXISTING ROOF PLAN

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

LOT 42, ENFIELD "F" SUBDIVISION

NWWS
CONSTRUCTION

Design: David Mitchell
Builder: NWWS Construction, LLC

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LAST REVISION

DATE: 10/25/18

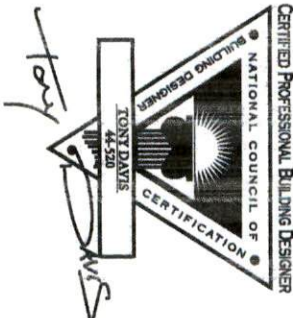
PERMIT SET

10 / 25 / 2018

SHEET:

3.0

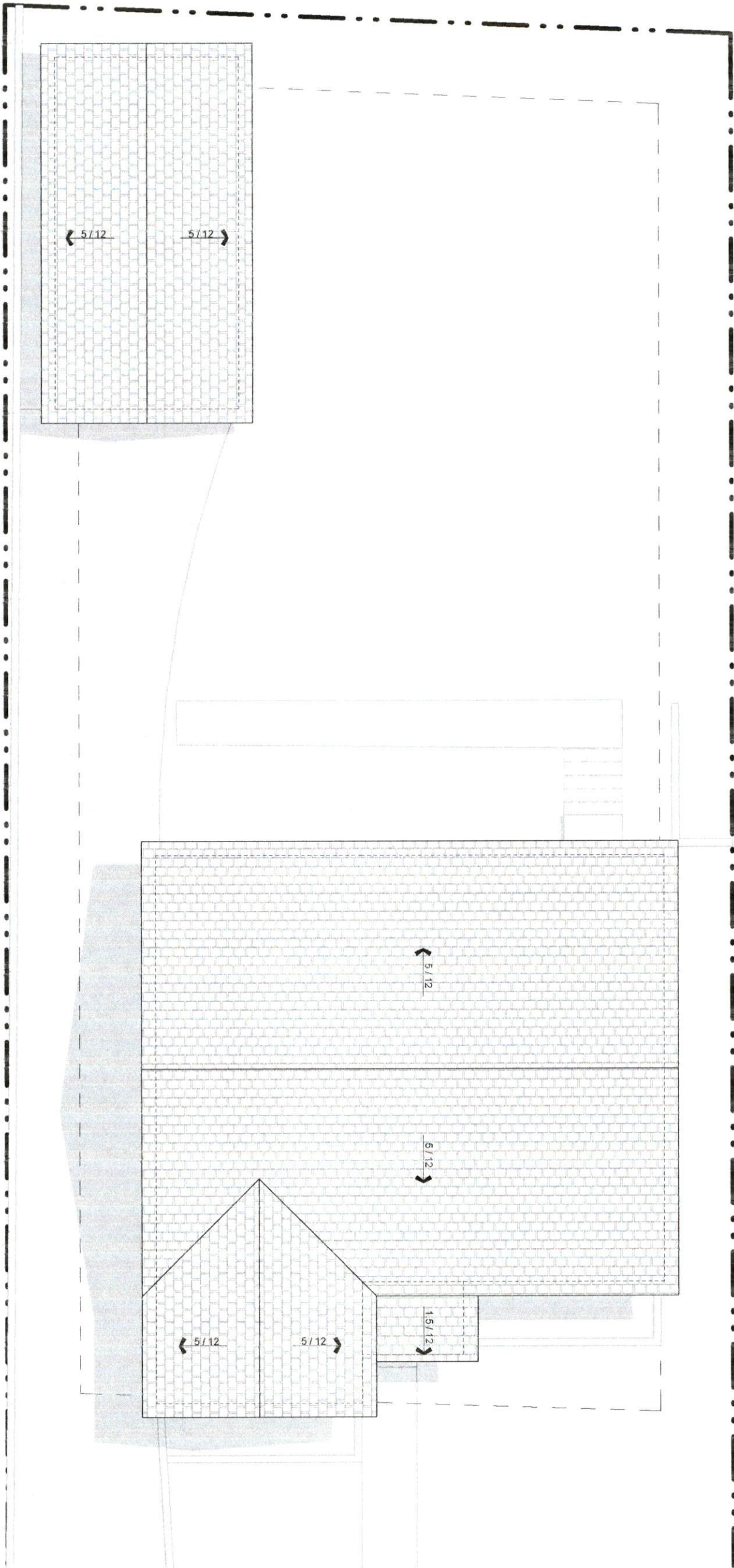
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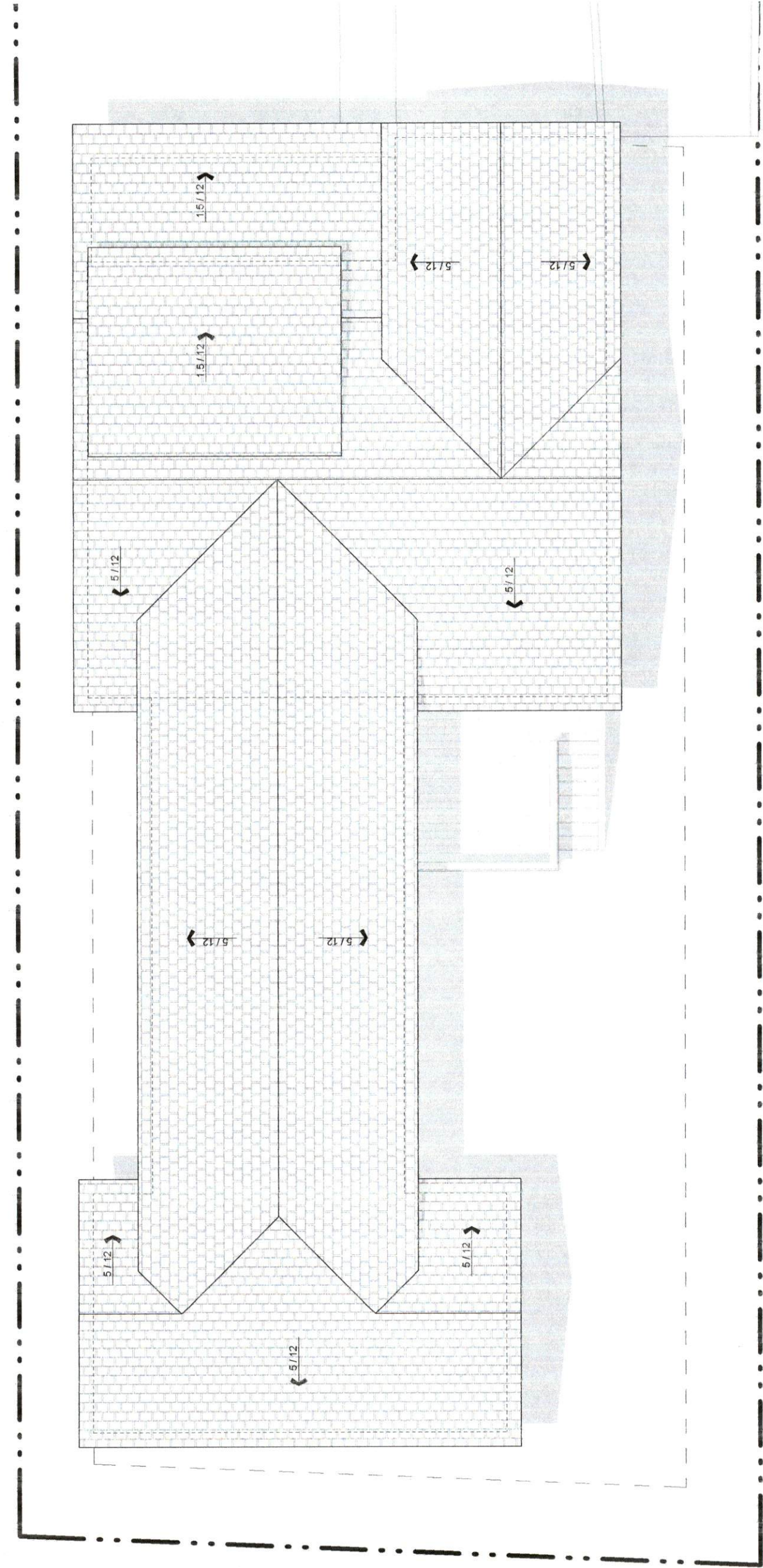
EXISTING ROOF PLAN

1/8" = 1'-0"



ROOF LEGEND:

4/12 ROOF PITCH
X-1 1/8" PL ROOF PLATE HEIGHT



NEW ROOF PLAN

1/8" = 1'-0"

1

CERTIFIED PROFESSIONAL BUILDING DESIGNER



TONY DAVIS
44-230
10/25/18

DATE: 10/25/18

NOTE:
1. ALL GROUND FLR. PORCHES ARE < 200 SF

PERMIT SET

LAST REVISION

10/25/2018

SHEET:

3.1

DRAWN BY: JMG

NWS
CONSTRUCTION
Design: build remodel
BUILDERS: WILL SHEDDEN

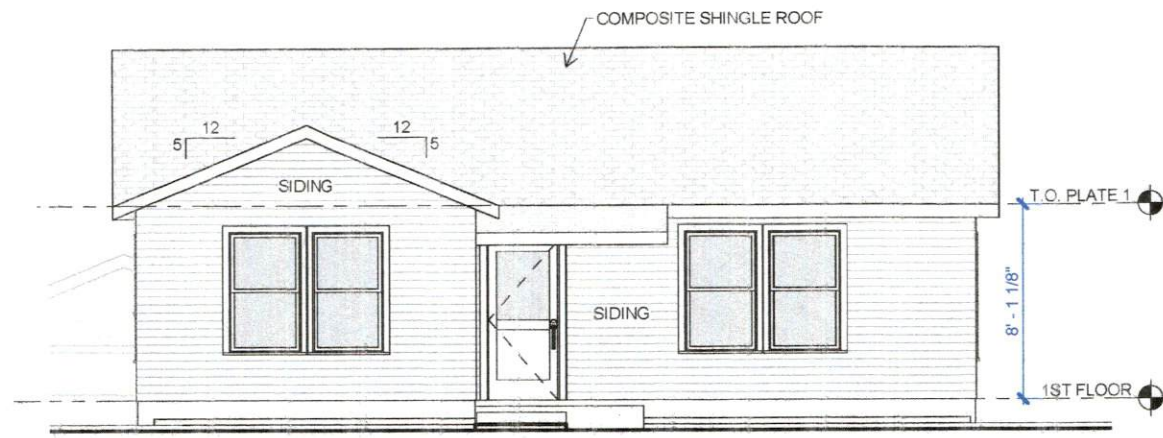
WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

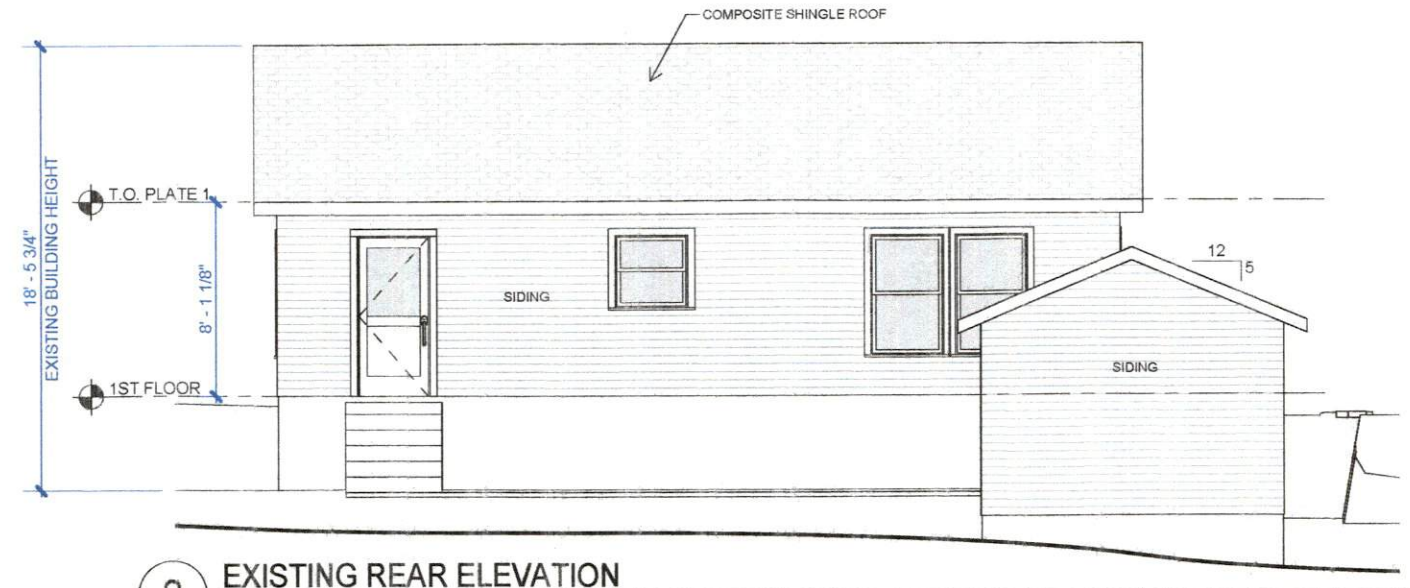
LOT 42, ENFIELD "F" SUBDIVISION

NEW ROOF PLAN

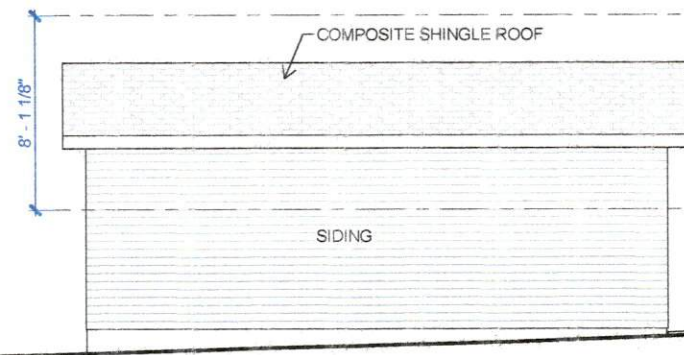
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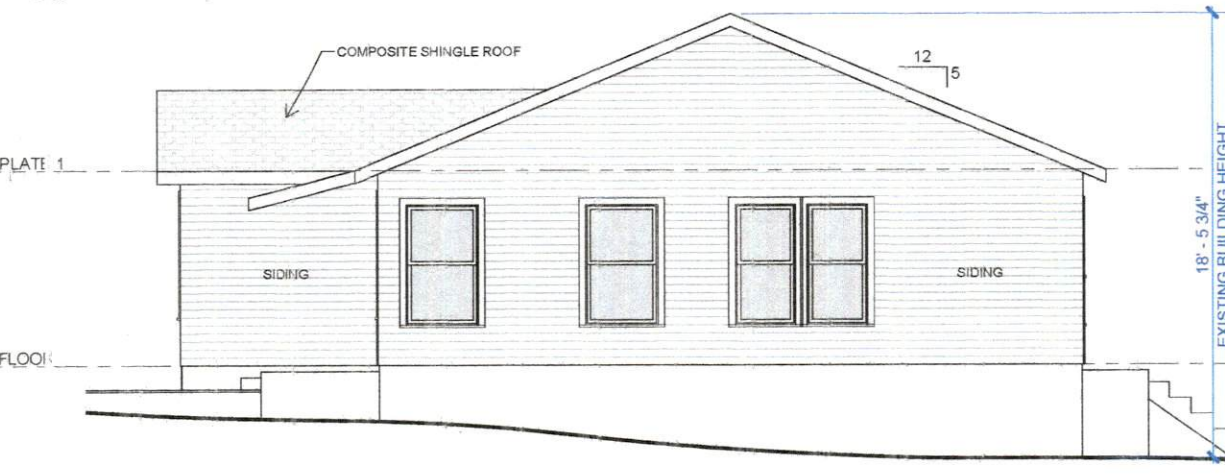
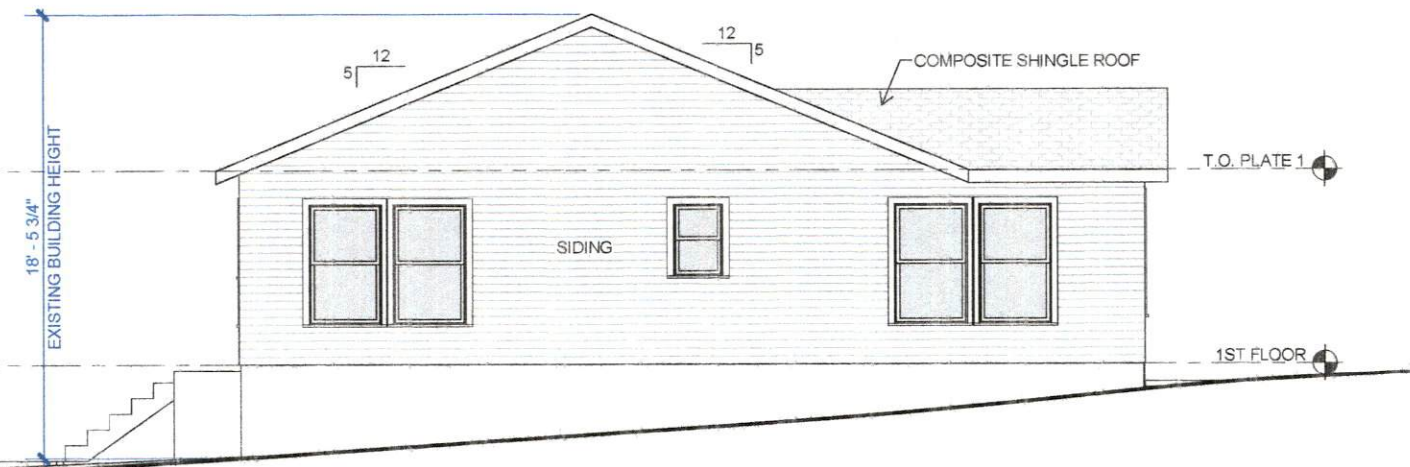
1 EXISTING FRONT ELEVATION
1/8" = 1'-0"



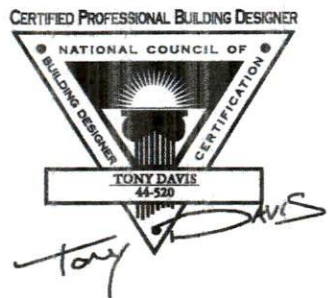
2 EXISTING REAR ELEVATION
1/8" = 1'-0"



3 EXISTING LEFT ELEVATION
1/8" = 1'-0"



4 EXISTING RIGHT ELEVATION
1/8" = 1'-0"



DATE: 10/25/18

EXISTING EXTERIOR ELEVATIONS

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

LOT 42, ENFIELD "F" SUBDIVISION

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CONSTRUCTION

design: build remodel
BUILDER: WIL SHEDDAN

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LAST REVISION:

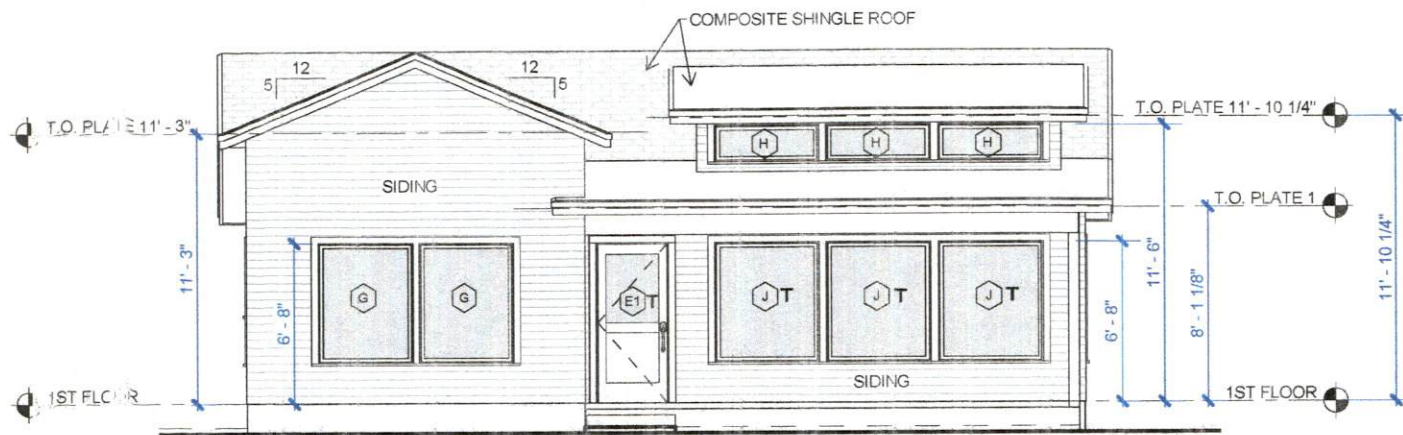
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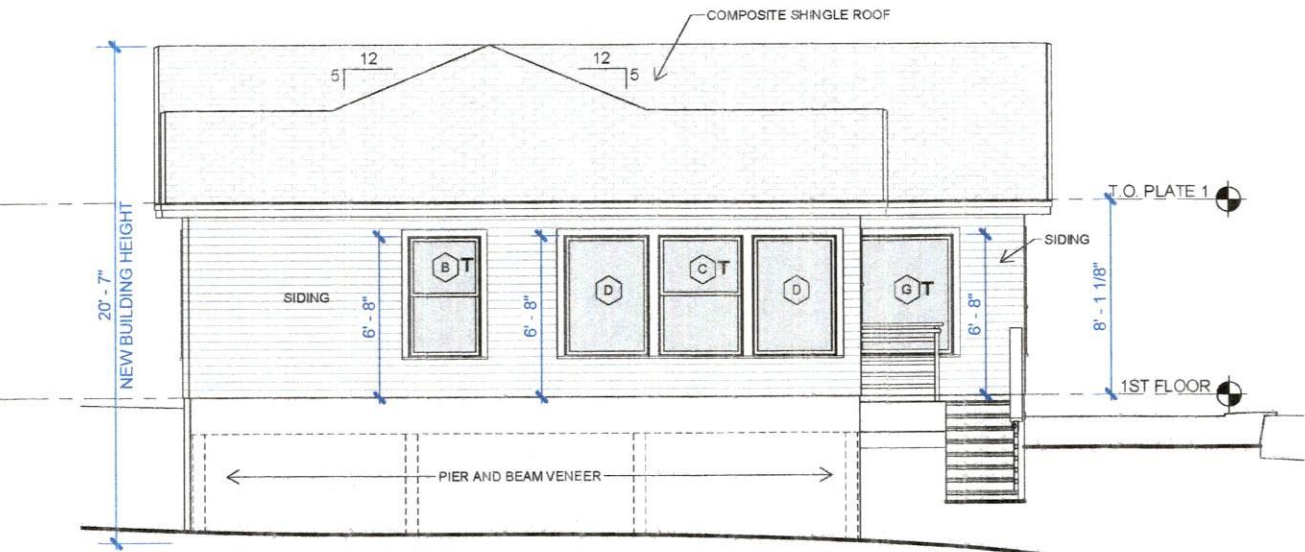
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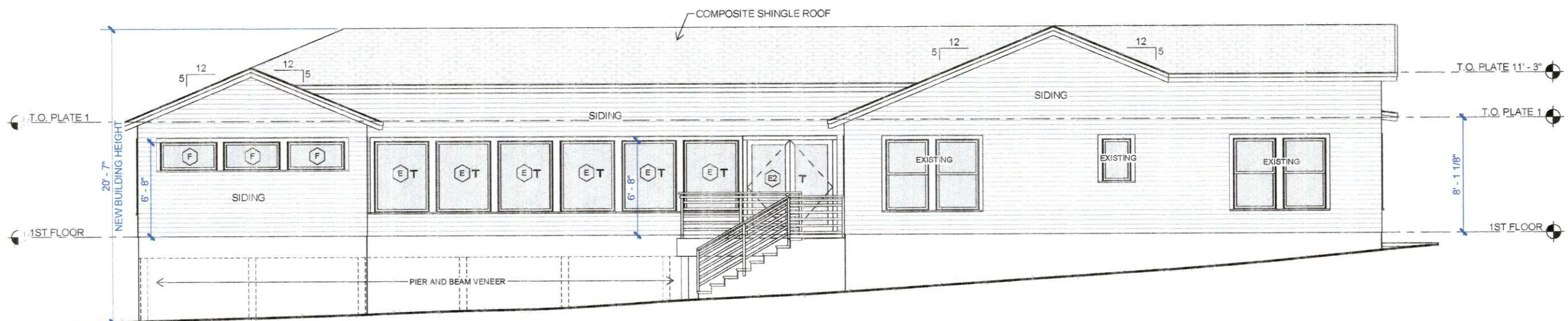
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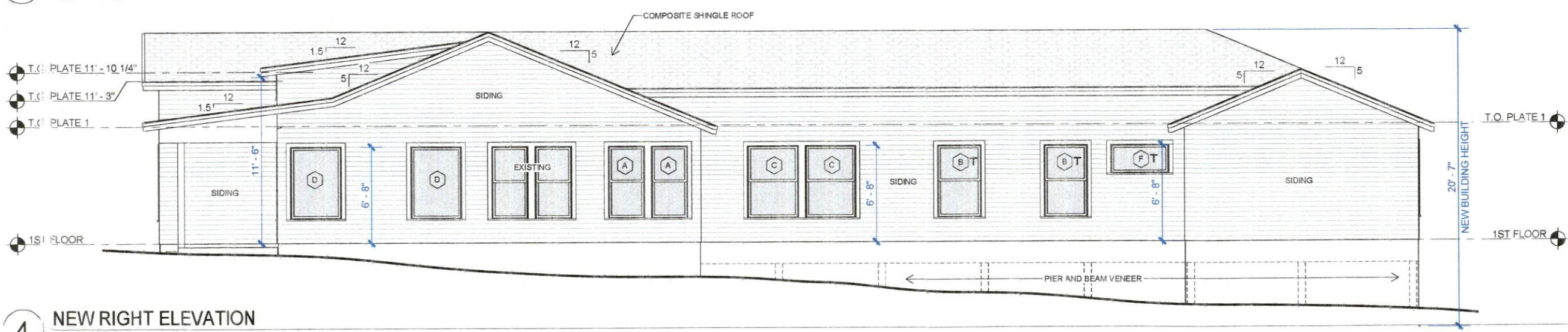
1 NEW FRONT ELEVATION
1/8" = 1'-0"



2 NEW REAR ELEVATION
1/8" = 1'-0"



3 NEW LEFT ELEVATION
1/8" = 1'-0"



4 NEW RIGHT ELEVATION
1/8" = 1'-0"



DATE: 10/25/18

NEW EXTERIOR ELEVATIONS

WETHERSFIELD REMODEL
1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703
LOT 42, ENFIELD "F" SUBDIVISION

NWS
CONSTRUCTION
design, build, remodel
BUILDER: WILL SHEDDEN

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LAST REVISION:	

PERMIT SET
10 / 25 / 2018
SHEET:
4.1
DRAWN BY: SMG

EXTERIOR TYPICAL SWINGING DOOR NOTES:					
1. TEMPER ALL GLASS AS PER CODE.					
2. BUILDER TO COORDINATE ROUGH OPENINGS WITH FRAMING.					

EXTERIOR DOOR SCHEDULE:					
TAG	WIDTH	HEIGHT	QTY	DESCRIPTION	COMMENTS
E1	3'-0"	6'-8"	1	CLASS SINGLE DOOR	TEMPERED GLASS
E2	3'-0"	6'-8"	1	CLASS DOUBLE DOORS	TEMPERED GLASS
			1	TOTAL = 2	

INTERIOR TYPICAL SWINGING DOOR NOTES:					
1. TEMPER ALL GLASS DOORS & SIDE LITES AS REQUIRED BY CODE.					

INTERIOR DOOR SCHEDULE:					
TAG	WIDTH	HEIGHT	QTY	DESCRIPTION	COMMENTS
1	3'-6"	6'-8"	1	PCKET DOOR	
1	3'-6"	6'-8"	1	PCKET DOOR	
			2		
2	3'-8"	6'-8"	1	PCKET DOOR	
2	3'-8"	6'-8"	1	PCKET DOOR	
			2		
3	3'-8"	6'-8"	1	SINGLE SWING DOOR	
3	3'-8"	6'-8"	1	SINGLE SWING DOOR	
			2		
4	3'-0"	6'-8"	1	SINGLE SWING DOOR	
			1		
5	3'-0"	6'-8"	1	PCKET DOOR	
			1		
6	3'-6"	7'-0"	1	SLIP DOOR	4'-0" DOOR PANEL ON TRACK
			1		
7	3'-0"	6'-8"	1	GLAZED OPENING	
			1		
			1	TOTAL = 10	

WINDOW NOTES:					
1. TEMPER ALL WINDOW GLASS AS REQUIRED BY CODE.					
2. SEE EXTERIOR ELEVATIONS FOR WINDOW HEADER HEIGHT.					
3. BUILDER TO COORDINATE ROUGH OPENINGS WITH FRAMING.					

WINDOW SCHEDULE:					
TAG	WIDTH	HEIGHT	QTY	DESCRIPTION	LOCATION
A	2'-6"	5'-0"	1	SINGLE HUNG	DINING
A	2'-6"	5'-0"	1	SINGLE HUNG	DINING
			2		
B	3'-0"	5'-0"	1	SINGLE HUNG	BEDROOM 3
B	3'-0"	5'-0"	1	SINGLE HUNG	BEDROOM 3
B	3'-0"	5'-0"	1	SINGLE HUNG	MASTER BATH
			3		
C	3'-6"	5'-0"	1	SINGLE HUNG	OFFICE / PLAY ROOM
C	3'-6"	5'-0"	1	SINGLE HUNG	OFFICE / PLAY ROOM
C	3'-6"	5'-0"	1	SINGLE HUNG	MASTER BEDROOM
			3		
D	3'-6"	5'-0"	1	PICTURE	LIVING
D	3'-6"	5'-0"	1	PICTURE	MASTER BEDROOM
D	3'-6"	5'-0"	1	PICTURE	MASTER BEDROOM
D	3'-6"	5'-0"	1	PICTURE	LIVING
			4		
E	3'-10"	5'-0"	1	PICTURE	HALL
E	3'-10"	5'-0"	1	PICTURE	HALL
E	3'-10"	5'-0"	1	PICTURE	HALL
E	3'-10"	5'-0"	1	PICTURE	HALL
E	3'-10"	5'-0"	1	PICTURE	HALL
E	3'-10"	5'-0"	1	PICTURE	HALL
			6		
F	4'-0"	2'-0"	1	PICTURE	BATH 2
F	4'-0"	2'-0"	1	PICTURE	MASTER BEDROOM
F	4'-0"	2'-0"	1	PICTURE	MASTER BEDROOM
F	4'-0"	2'-0"	1	PICTURE	MASTER BEDROOM
			4		
G	4'-0"	5'-0"	1	PICTURE	KITCHEN / BEDROOM
G	4'-0"	5'-0"	1	PICTURE	KITCHEN / BEDROOM
G	4'-0"	5'-0"	1	PICTURE	KITCHEN / BEDROOM
G	4'-0"	5'-0"	1	PICTURE	KITCHEN / BEDROOM
			4		
H	4'-4"	1'-6"	1	PICTURE	LIVING
H	4'-4"	1'-6"	1	PICTURE	LIVING
H	4'-4"	1'-6"	1	PICTURE	LIVING
			3		
J	4'-4"	5'-0"	1	PICTURE	LIVING
J	4'-4"	5'-0"	1	PICTURE	LIVING
J	4'-4"	5'-0"	1	PICTURE	LIVING
			3		
K	5'-0"	5'-0"	1	PICTURE	MASTER BEDROOM
			1		
			1	TOTAL = 33	

DOOR & WINDOW SCHEDULES

WETHERSFIELD REMODEL

1506 WETHERSFIELD ROAD, AUSTIN, TX. 78703

LOT 42, ENFIELD "F" SUBDIVISION

NWS
CONSTRUCTION

Design: build remodel
Builder: WILL SHEDDEN

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6.0

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