



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

Property Information

Project Address: 7 GREEN LANES, AUSTIN, TX 78703

Tax Parcel ID: 114419

Legal Description: S 131 FT LOT 3 FISHER JOSEPHINE L RESERVATION

Zoning District: SF-3-NP

Lot Area (sq ft): 10,618.00

Neighborhood Plan Area (if applicable): WINDSOR ROAD & CENTRAL WEST AUSTIN COMBINED NPA

Historic District (if applicable): OLD WEST AUSTIN

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N

(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☐ N

(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☐ N

(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☐ N

(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? ☐ Y ☐ N

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☐ N

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☐ N

(If yes, EHZ review is required)

Is this property within 100 feet of the 100 year floodplain?

Y ☐ N ☐ (Proximity to floodplain may require additional review time.)

Are there protected size trees onsite or on adjacent sites? ☐ Y ☐ N

(If yes, [click here](#) for more information on the tree permit process.)

Was there a pre-development consultation for the Tree Review? Y ☐ N

Proposed impacts to trees: (Circle all that apply)

✓ Root zone Canopy Removal ✓ None/Uncertain

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y ☐ N

Does this site currently have: water availability? ☐ Y ☐ N

(If no, contact Austin Water Utility to apply for

wastewater availability? ☐ Y ☐ N

water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N

(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N

(If yes, submit approved auxiliary and potable plumbing plans.)

(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? ☐ Y ☐ N

(If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y ☐ N

(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☐ N

(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☐ Y ☐ N

(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? Y ☐ N

(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☐ N

Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N

(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N

(If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: _____

Proposed Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: _____

Project Type: new construction

addition

☐ addition/remodel

other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y ☐ N

(Note: Removal of all or part of a structure requires a demolition permit application.)

existing bedrooms: 3

bedrooms upon completion: 4

baths existing: 4.5

baths upon completion: 5.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Complete interior remodel of an existing 2-story Mid-Century single-family residence. See attached page for additional description.

Trades Permits Required (Circle as applicable):

☐ electric

☐ plumbing

☐ mechanical (HVAC)

concrete (R.O.W.)

Job Valuation		
Total Job Valuation: \$ <u>1,000,000</u> <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.</small>	Amount for Primary Structure: \$ <u>1,000,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Amount for Accessory Structure: \$ <u>0</u> Elec: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Mech: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Total Remodeled Floor Area <u>6,876</u> sq ft. <small>(work within existing habitable square footage)</small>

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	2,918	0	0	0	2,918	0
b) 2 nd Floor conditioned area	3,659	0	0	0	3,659	0
c) 3 rd Floor conditioned area	0	0	0	0	0	0
d) Basement	227	0	0	0	227	0
e) Covered parking (garage or carport)	757	0	-72	0	685	0
f) Covered patio, deck, porch, and/or balcony area(s)	83	0	252	0	335	0
g) Other covered or roofed area	0	0	0	0	0	0
h) Uncovered wood decks	0	0	0	0	0	0
Total Building Area (total a through h)	7,644	0	180	0	7,824	0
i) Pool	0	0	345	0	345	0
j) Spa	0	0	0	0	0	0
k) Remodeled Floor Area, excluding Addition / New Construction	6,804	0	0	0	6,067	0

Building Coverage Information
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)
 Total Building Coverage (sq ft): 3,602 % of lot size: 34

Impervious Cover Information
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)
 Total Impervious Cover (sq ft): 6,361.00 % of lot size: 60

Setbacks
 Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) ☒ Y ☐ N
 Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☒ Y ☐ N
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y ☒ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>23</u> ft <u>9</u> in Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information
 Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y ☒ N
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

 Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N
 Width of approach (measured at property line): 20.6 ft Distance from intersection (for corner lots only): 0.0 ft

 Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☒ N
(If yes, drainage review is required)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	2,918	0			2,918
2 nd Floor	3,659	0			3,659
3 rd Floor	0	0			0
Area w/ ceilings > 15'	514	0	Must follow article 3.3.5	0	514
Ground Floor Porch* (check article utilized)	0	0	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	0	0
Basement	254	0	Must follow article 3.3.3B, see note below	0	254
Attic	0	0	Must follow article 3.3.3C, see note below	0	0
Garage**: (check article utilized)	Attached	757	<input type="checkbox"/> 200 sq ft (3.3.2 B 1)	0	685
	Detached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)	0	0
Carport**: (check article utilized)	Attached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***	0	0
	Detached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 1)	0	0
Accessory Building(s) (detached)	0	0			0
Totals	8,102	0			8,030

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 8,030

(Total Gross Floor Area ÷ Lot Area) x 100 = 76 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

Additional Information, Continued

Design Professionals –

For any project exceeding 20 feet in height or more than one-story within the Subchapter F boundaries, all permit exhibits must be sealed and signed by a Texas-registered architect or certified building designer (National Council of Building Designers or Texas Institute of Building Design).

Localized flooding –

If there is a storm drain inlet or pipe, drainage ditch, or drainage easement on or near the property or the property is at the low point of a roadway, there may be a chance of flooding from the local drainage system. The proposed development cannot cause additional flooding on other property nor have an adverse impact on the existing local drainage system. Contact the Development Assistance Center for more information.

Tree Survey –

Provide a tree survey per ECM 3.3.2 that labels the ¼, ½ and full Critical Root Zones and provides the diameter and species of each protected tree (a Tree Legend is recommended). Depict proposed access routes and material staging. Show all proposed and existing utilities. Show specific locations of tree protection fencing and mulching per requirements of ECM 3.5.2.

Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	2,918	0	2,918
b) 2 nd floor conditioned area	3,659	0	3,659
c) 3 rd floor conditioned area	0	0	0
d) Basement	227		227
e) Attached Covered Parking (garage or carport)	757	-72	685
f) Detached Covered Parking (garage or carport)	0	0	0
g) Covered Wood Decks (counted at 100%)	0	0	0
h) Covered Patio	0	252	252
i) Covered Porch	0	0	0
j) Balcony	83	0	83
k) Other – Specify:	0	0	0
Total Building Area (TBA) (add: a through k)	7,644	180	7,824
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j)	(A) 3,675	180	(B) 3,855
l) Driveway	584	0	584
m) Sidewalks	0	0	0
n) Uncovered Patio	0	0	0
o) Uncovered Wood Decks (counted at 50%)	0	0	0
p) AC pads and other concrete flatwork	958	0	958
q) Other (Pool Coping, Retaining Walls)	620	0	620
Total Site Impervious Coverage (add: TBC and l through q)	(C) 5,837	180	(D) 6,017
r) Pool	0	345	345
s) Spa	0	0	0

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq ft): 10,618.00

Existing Building Coverage (see above A, sq ft): 3,675.00

Existing Coverage % of lot (A ÷ **Lot Area**) x 100 : 35 %

Final Building Coverage (see above B, sq ft): 3,855

Final Coverage % of lot (B ÷ **Lot Area**) x 100 : 36 %

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq ft): 5,837.00

Existing coverage % of lot (C ÷ **Lot Area**) x 100 : 55 %

Final Impervious Coverage (see above D, sq ft): 6,017

Final coverage % of lot (D ÷ **Lot Area**) x 100 : 57 %

RESIDENTIAL NEW CONSTRUCTION & ADDITION PERMIT APPLICATION:
PROJECT DESCRIPTION

For 7 Green Lanes, Austin, TX 78703

Complete interior remodel of an existing 2-story Mid-Century single family residence. New exterior window/door system, material finishes, mechanical & electrical systems, and plumbing & lighting fixtures. All existing smoke & carbon monoxide detectors to be replaced if needed.

First Level

Main entry relocation, Guest Suite and Bath addition within existing foyer footprint, kitchen and back of house reconfiguration. Basement level reconfigured within existing basement footprint. Please see attached existing conditions of basement level.

Second Level

Bathroom reconfigurations and master closet addition within square footage in 18' tall space.

Exterior

Existing interior Dark Room to be modified into an exterior kitchen space within the existing building footprint. Modified portion of building not to extend further into required yard setbacks, and complies with height requirements of McMansion yard setback. New outdoor pool and pergola system. Landscaping update.

1220 Lavaca St.

AUSTIN, TX 78701

SIDE STREET



FRONT STREET SIDE



FRONT STREET SIDE



INTERIOR SIDE YARD



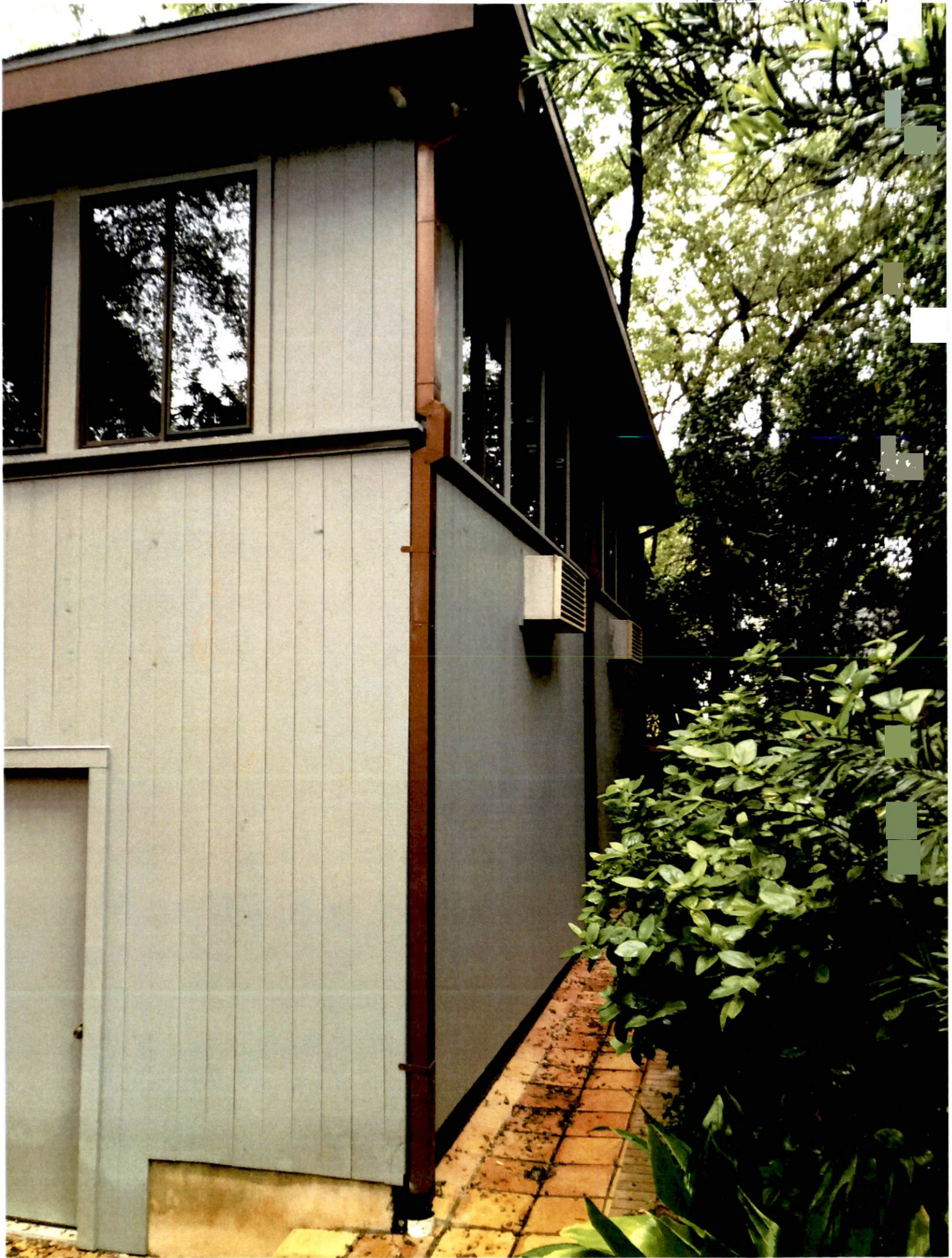
INTERIOR SIDE YARD



REAR SIDE YARD



REAR SIDE YARD



SIDE STREET



SIDE STREET





11/2/18

7 Green Lanes Austin, Tx. 78703

GRNL

ARCHITECTURE

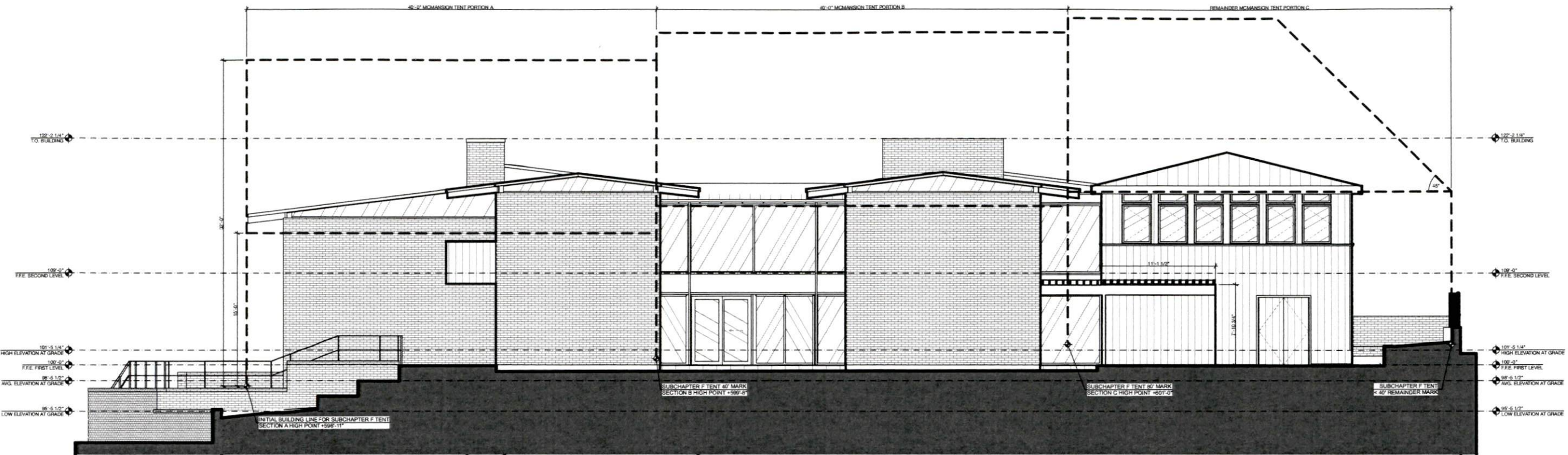
Webber + Studio, Inc.

512.236.1032

1220 Lavaca Street
Austin, Texas 78701
Fax 512.236.1039

Friday, November 2, 2018
PERMIT SUBMISSION SET

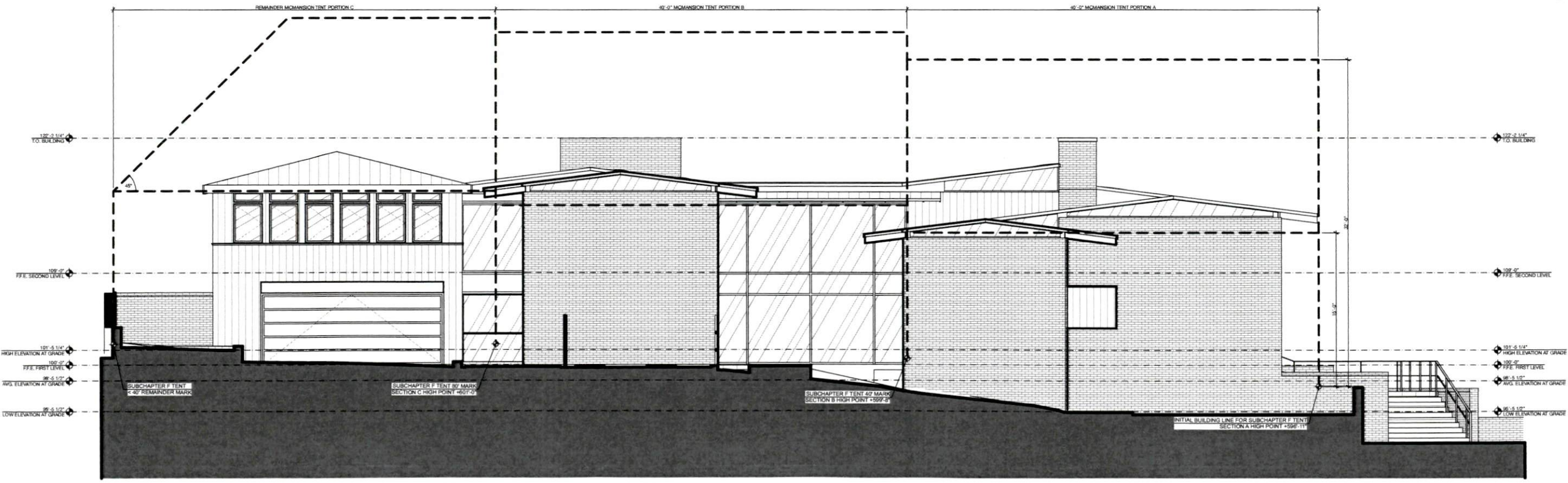
A107
BUILDING ELEVATION



BUILDING ELEVATION : NORTH

Scale: 3/32" = 1'-0"

1



BUILDING ELEVATION : SOUTH

Scale: 3/32" = 1'-0"

2



11/2/18

7 Green Lanes Austin, Tx. 78703

GRNL

ARCHITECTURE

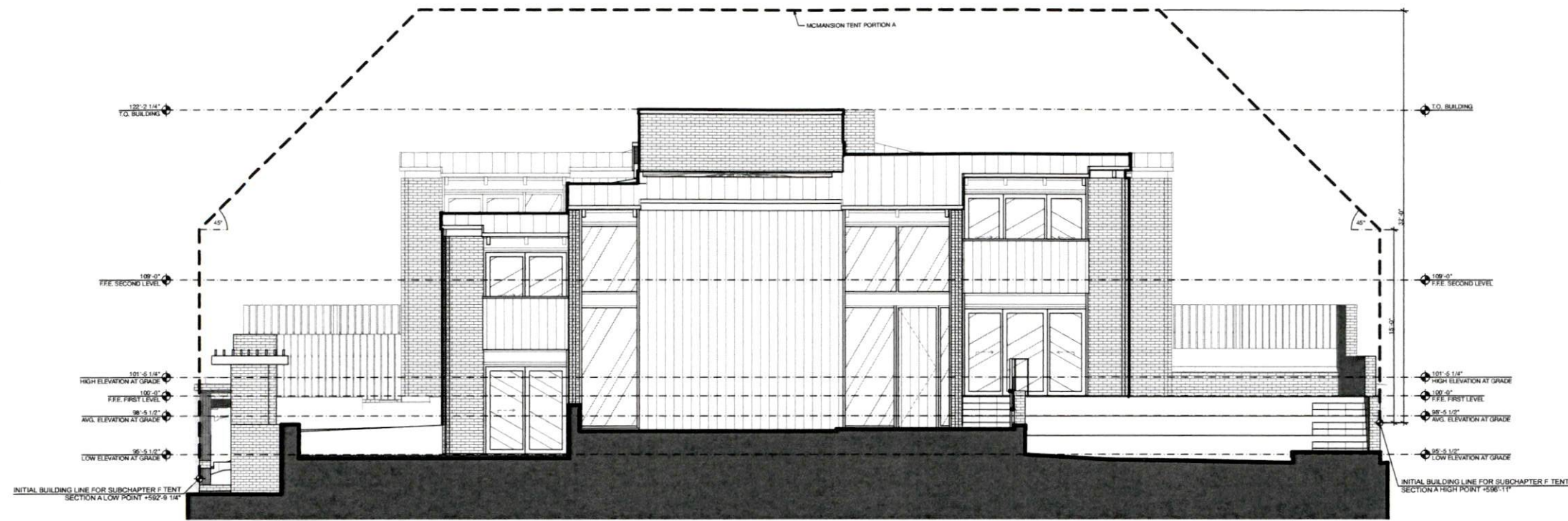
Webber + Studio, Inc.

512.236.1032

1220 Lavaca Street
Austin, Texas 78701
Fax 512.236.1039

Friday, November 2, 2018
PERMIT SUBMISSION SET

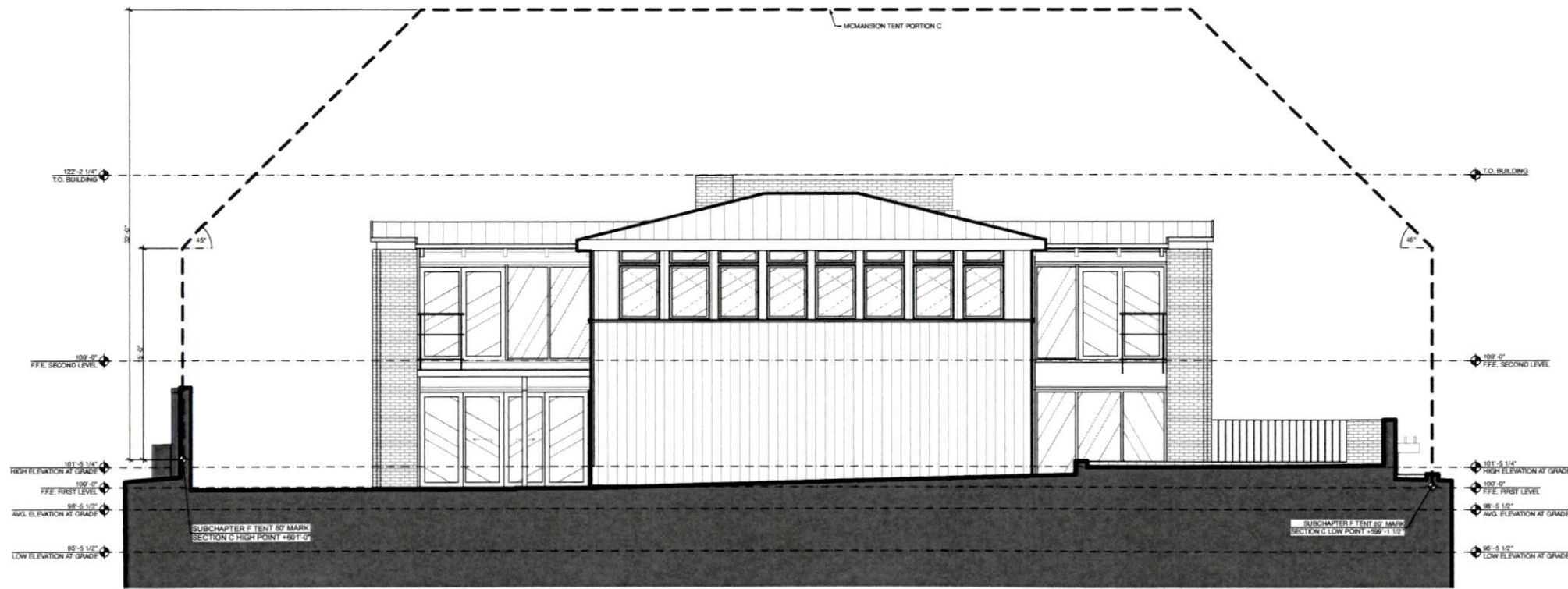
A108
BUILDING ELEVATION



BUILDING ELEVATION : EAST

Scale: 3/32" = 1'-0"

1

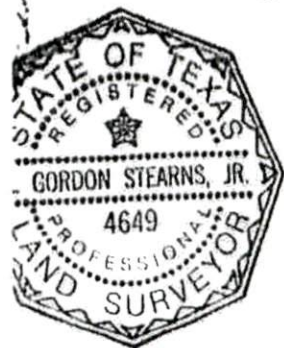


BUILDING ELEVATION : WEST

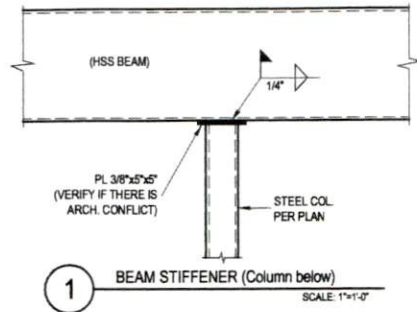
Scale: 3/32" = 1'-0"

2

TE : GREEN LANES IS AN EASEMENT FOR INGRESS AND EGRESS TO SUBJECT PROPERTY AS SHOWN ON PLAT RECORDED IN VOLUME 491 /
GE 306 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.




 GO GORDON STEARNS, JR. / REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649
 ELD BOOK 211 / PAGE 68 DISC : D:\CCOGO\98\FEB FILE : C:\CCOGO\98\FEB\GREEN-LN.CCC JOB NUMBER : 15314



GENERAL NOTES:

- Contractors shall thoroughly review these plans, and all related construction documents to verify and coordinate dimensions, locations, placement, and applicability of construction components as well as their relationship to each other and existing conditions. If there are discrepancies, conflicts, and omissions, the Contractor shall notify the Architect and Engineer as soon as possible.
- Contractor shall cross-check all dimensions and member sizes prior to ordering material and also prior to erection.
- Any discrepancies, conflicts, and omissions that are critical to the bid, shall be addressed by the Contractor prior to his/her bid, or included in the bid as a proposal for solutions and changes to deliver a complete project. Any changes and additional works required to clarify discrepancies, conflicts, and omissions that are not identified with the bid are considered non-critical to the bid, and shall be completed at no additional cost to the Owner.
- Contractors shall make a detailed site visit and shall immediately bring any inconsistencies, site layout problems, or other requests for clarification to the Engineer for resolution, prior to bid submittal.
- Contractors shall be competent and experienced in the type of construction used and have full knowledge of construction methods and procedures. Contractors shall coordinate all trades to provide a complete working system.
- These drawings, in general, are diagrammatic, and not intended to be used as a manual. Fabrication, construction methods, and placement shall comply with applicable local code(s) and standard construction practices. In the absence of a local code, the International Building Code (latest edition) shall apply.
- The exact locations of structures shown on Engineer's plans are based on the Architectural site plan and/or floor plans. Architects and General Contractors are responsible for verifying all site restrictions, such as building setbacks, restrictive covenants, property lines, and Homeowners' Association limitations.
- Waterproofing, moisture control, and French drain are all per the Architect and/or Contractors.
- Job-site safety conditions, including, but not limited to, lateral stability and wind bracing, shall be the Contractors' responsibility.

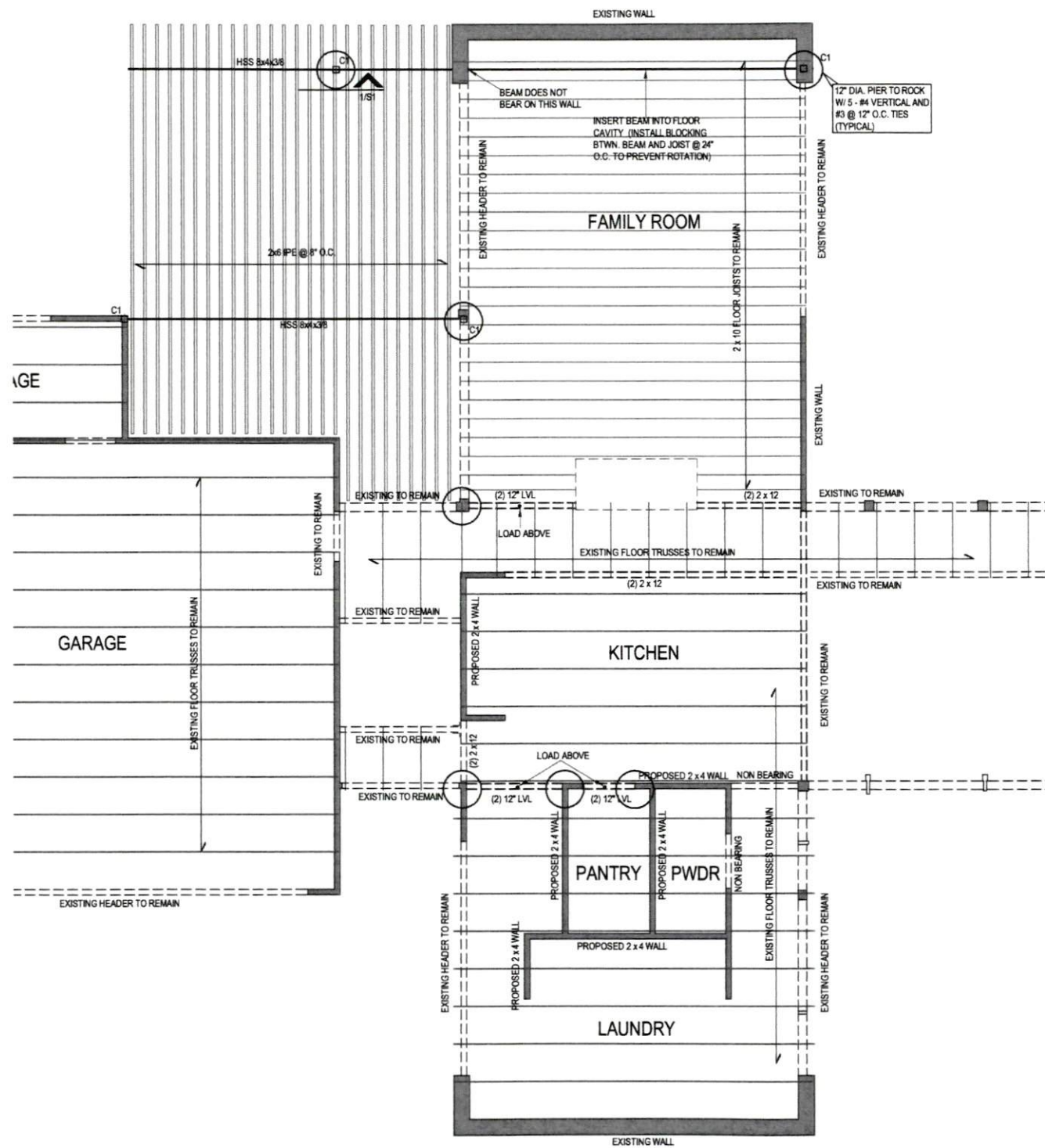
WOOD FRAMING NOTES:

- All structural members shall be Southern Pine, #2 KD (19% m/c) or better, and all Glu-Lam beams shall be Southern Pine (24F-V3), Douglas Fir (24F-V4), or better.
- All stud walls shall be S.P.F., stud grade or better, KD (19% m/c) or #2 Southern Pine, Unless Noted Otherwise (U.N.O.).
- All exterior and all load bearing walls shall be minimum 2x6 @ 16" o.c. (U.N.O.).
- Exposed members and sill plates shall be treated #2 KD Southern Pine.
- Provide TRIPLE STUD support for all Glu-Lam beams (U.N.O.), DOUBLE STUD support for all (3)2x12 beams, and a SINGLE STUD below each rafter if rafter spacing is greater than 24" o.c.
- Unless specified in the drawing, Contractor shall install the appropriate joist and beam hangers with a shear capacity matching or exceeding that of the member being supported.
- Unless specified in the drawing, handrails shall be designed by others.
- Contractor shall take extra care to assure that upper level load bearing walls and posts can transfer their loads to the supports directly below them. (Install all blocking or stub columns below floor decking.)
- For clarity, these plans do not show crickets and other framing members necessary to drain water. Contractor is responsible for all roof drainage.
- All ceiling, beam, and plate heights shown on these plans are nominal and approximate dimensions. Contractor is responsible to verify all of the dimensions and to determine the exact height and location of all building components.
- During construction, Contractor shall provide sufficient supports and bracing to accommodate construction live, dead, and wind loads.

NOTE TO FRAMER:

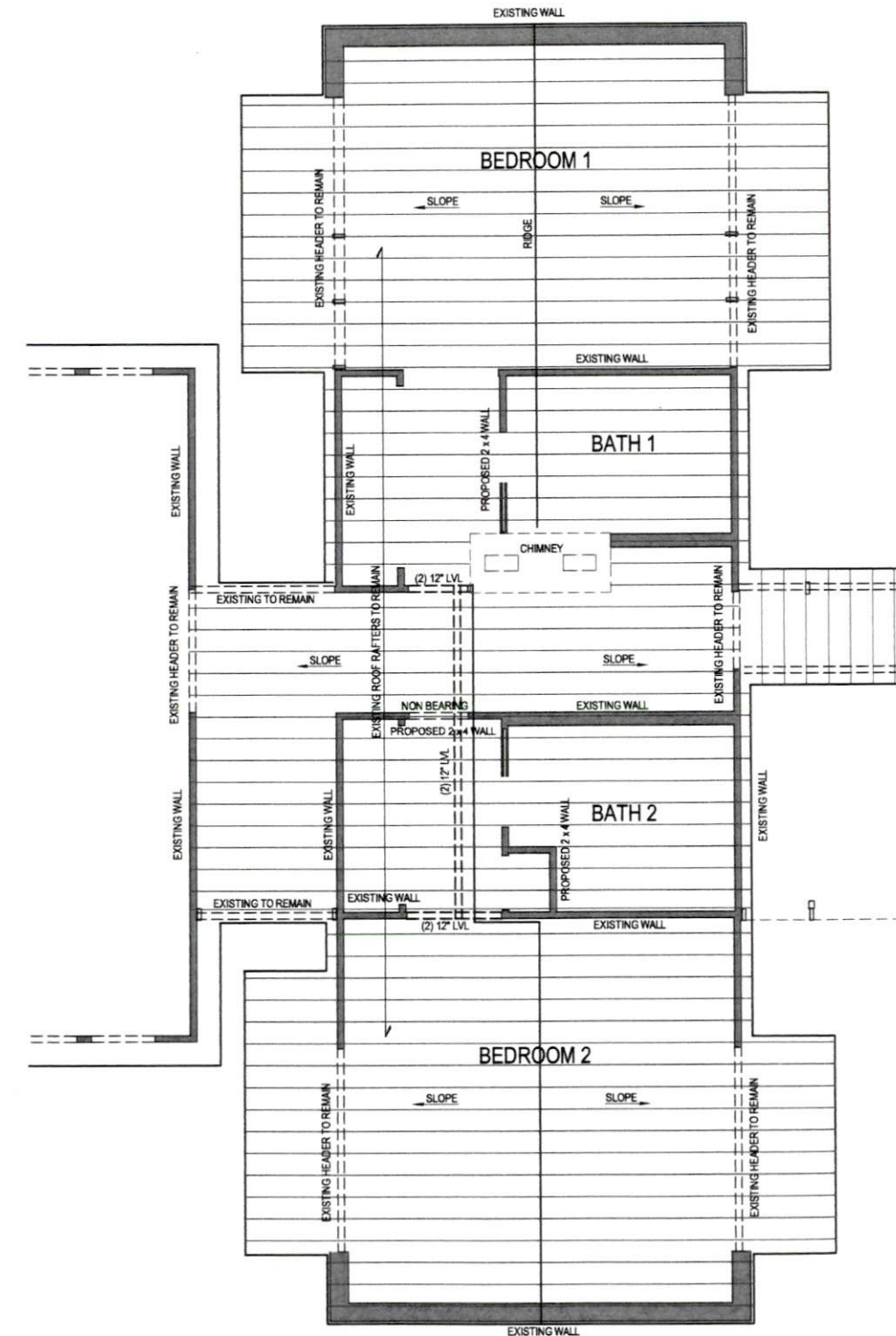
All ceiling, beam, and plate heights shown on these plans are nominal and approximate dimensions. Contractor is responsible for verifying all dimensions and determining the exact height and location of all beams, columns, and other building components.

Rafter, joist, and truss layout shown on these plans are diagrammatic only. Contractor shall coordinate exact locations with lighting and HVAC plans.



COLUMN SCHEDULE	
MARK	SIZE
C1	HSS 4 x 4 x 1/4

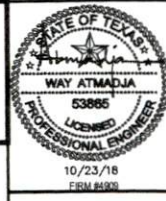
2ND FLOOR FRAMING PLAN



1/4" = 1'-0"
0 2'-0" 4'-0" 8'-0"



PERMIT SET
NOT FOR DISTRIBUTION TO CONTRACTORS
(Reproduction is not permitted unless it is made for governmental review only)
10/23/18



WAY CONSULTING ENGINEERS, INC.
Civil & Structural Engineering Company
mail@wayengineering.com
(512) 343-0766
11615 Angus Road, Suite 119, Austin, Texas 78759



GREEN LANE 7 Green Lane
Austin, Texas 78703

2ND FLOOR
AND ROOF
FRAMING

Revisions/Issues:

Issued:

Drawn by: S.C.W.

Job No:

18124

Sheet No:

S1 OF 1