



# CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Residential New Construction and Addition Permit Application

To complete this form electronically: Open with  
Internet Explorer, then [Click Here to Save and continue.](#)

### Property Information

Project Address: 2202 E 12 ST <u>Bldg. A</u>	Tax Parcel ID: 197526
Legal Description: LOT 2 BLK 4 OLT 34 DIV B HOFHEINZ RESUB	
Zoning District: SF-3	Lot Area (sq ft): 6,500.00
Neighborhood Plan Area (if applicable): Chestnut	Historic District (if applicable): N/A

### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="checkbox"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input checked="" type="checkbox"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="checkbox"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="checkbox"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="checkbox"/> N (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="checkbox"/> N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? <input checked="" type="checkbox"/> Y N (If yes, <a href="#">click here</a> for more information on the tree permit process.)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="checkbox"/> Y N	
Does this site currently have: water availability? <input checked="" type="checkbox"/> Y N (If no, contact Austin Water Utility to apply for wastewater availability? <input checked="" type="checkbox"/> Y N water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="checkbox"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="checkbox"/> N (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="checkbox"/> N (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <input checked="" type="checkbox"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="checkbox"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? Y <input checked="" type="checkbox"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? <u>Y</u> N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="checkbox"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="checkbox"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

### Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input checked="" type="checkbox"/> N (If yes, construction material recycling is required per LDC 25-11-39)			
Existing Use:	vacant	single-family residential	duplex residential <input checked="" type="checkbox"/> two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential <input checked="" type="checkbox"/> two-family residential other: _____
Project Type:	new construction	addition	<input checked="" type="checkbox"/> addition/remodel other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <u>Y</u> N (Note: Removal of all or part of a structure requires a demolition permit application.)			
# existing bedrooms: 3	# bedrooms upon completion: <u>5</u>	# baths existing: 2.0	# baths upon completion: <u>3.5</u>

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Interior remodel + new addition

Trades Permits Required (Circle as applicable): ☒ electric ☒ plumbing ☒ mechanical (HVAC) concrete (R.O.W.)



Job Valuation		
Total Job Valuation: \$ <u>200,000</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>200,000</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair:
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>200,000</u>	Bldg: \$ <u>60,000</u>
	Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Elec: \$ <u>10,000</u>
	Amount for Accessory Structure: \$ _____	Plmbg: \$ <u>10,000</u>
	Elec: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Mech: \$ <u>20,000</u>
		TOTAL: \$ <u>100,000</u>

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	610.00	786.00	596.00	786.00	1,206.00	1,572.00
b) 2 <sup>nd</sup> Floor conditioned area			498.00		498.00	0.00
c) 3 <sup>rd</sup> Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)					0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	108.00	48.00	108.00	48.00	216.00	96.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks			330.00		330.00	0.00
<b>Total Building Area</b> (total a through h)	718.00	834.00	1,532.00	834.00	2,250.00	1,668.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—	610.00	

Building Coverage Information	
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>2148</u>	% of lot size: <u>33</u>

Impervious Cover Information	
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>2,650.00</u>	% of lot size: <u>41</u>

Setbacks	
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)	Y <input checked="" type="checkbox"/> N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)	Y <input checked="" type="checkbox"/> N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)	Y <input checked="" type="checkbox"/> N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>25</u> ft <u>10</u> in Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information	
Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y <input checked="" type="checkbox"/> N	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N	
Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft	
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N (If yes, drainage review is required)	



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	1,396.00	596.00			1,992.00
2 <sup>nd</sup> Floor		498.00			498.00
3 <sup>rd</sup> Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	156.00		<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	156.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)	1,552.00	1,094.00			2,646.00
Totals	3,104.00	2,188.00			5,136.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 5,136.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 38 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



# CITY OF AUSTIN Development SERVICES DEPARTMENT

One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Demolition Permit Application

Application Type: ☐ Commercial ☐ Residential

Fee Paid: \$ \_\_\_\_\_ Submission Date: \_\_\_\_\_

### For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ LHD\_NRD\_HDP- \_\_\_\_\_ Ca. \_\_\_\_\_

Referred By: \_\_\_\_\_ NRHD/LHD: \_\_\_\_\_

☐ Release Permit

☐ Do Not Release Permit

☐ HLC Review- \_\_\_\_\_

Historic Preservation Office

Date

**IMPORTANT:** Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

**DO NOT LET YOUR PERMIT EXPIRE!!!!**

**HISTORIC LANDMARKS AND DISTRICTS:** If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/departments/historic-preservation>).

**To complete this form electronically: Open with Internet Explorer, then Click Here to Save and continue.**

### Submittal Requirements

1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page,  
**OR a NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
5. Review Fee (see [fee schedule](#) for applicable fees)

#### Additional requirements for Commercial Demolitions:

- ☒ 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☒ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

### Property Information

Address: 2202 E 12th St Bldg A

City: Austin Zip: 78702

Current Use: Residential

### Demolition Type

☐ Total ☒ Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:  
non-original  
Interior walls, the roof, the ramp, and the non-permitted addition to the primary structure in the back.

### Demolition Contractor Information

Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

### Structural Information

Square Feet: \_\_\_\_\_

Building Materials: Batt and board

Foundation Type: Pier and beam

Estimated Cost of Demolition: \$700

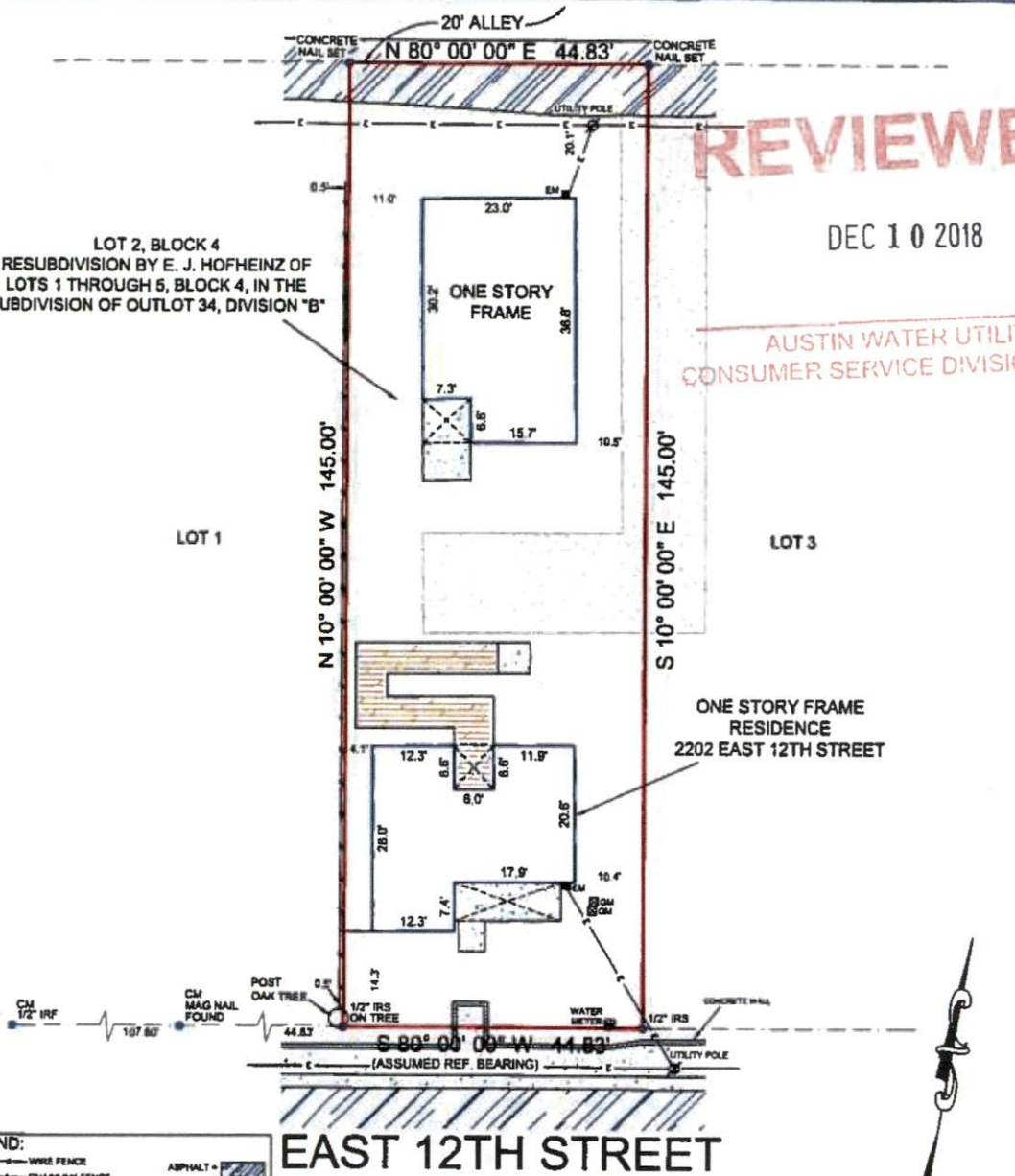


LOT 2, BLOCK 4  
RESUBDIVISION BY E. J. HOFHEINZ OF  
LOTS 1 THROUGH 5, BLOCK 4, IN THE  
SUBDIVISION OF OUTLOT 34, DIVISION "B"

LOT 1

LOT 3

REVIEWED  
DEC 10 2018  
AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS



**LEGEND:**

- WIRE FENCE
- CHAINLINK FENCE
- WROUGHT IRON FENCE
- WOOD FENCE
- VINYL FENCE
- ELECTRIC LINE
- CM = GAS METER
- EM = ELECTRIC METER
- IRF = IRON ROD FOUND
- IRS = IRON ROD SET WITH "PREMIER" CAP
- IRF = IRON ROD FOUND
- CM = CONTROLLING MONUMENT (WOOD) RAILROAD TIE
- ASPHALT
- CONCRETE
- GRAVEL
- TILE
- WOOD
- BRICK
- STONE
- (WOOD) RAILROAD TIE

NOTES:  
BEARINGS ARE ASSUMED.

**LEGAL DESCRIPTION:**  
BEING LOT 2, BLOCK 4, RESUBDIVISION BY E. J. HOFHEINZ OF LOTS 1 THROUGH 5, BLOCK 4, IN THE SUBDIVISION OF OUTLOT 34, DIVISION "B", IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 248, PAGE 418, DEED RECORDS, TRAVIS COUNTY, TEXAS.

**SURVEYOR'S CERTIFICATION:**  
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE OF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

DEED NO. T.111721  
BORROWER ANNA PEREZ, EQUITY TRUST  
TITLE CO. TEXAS NATIONAL TITLE  
TECH AZ  
FIELD DR

**FLOOD INFORMATION:**  
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO 4845300485 J, DATED JANUARY 8, 2018.

DATE: 11/26/18 JOB NO.: 18-09356  
FIELD: 11/24/18

2202 EAST 12TH STREET, AUSTIN, TX 78702  
LOT 2, BLOCK 4, RESUBDIVISION BY E. J. HOFHEINZ  
OF LOTS 1 THROUGH 5, BLOCK 4, IN THE  
SUBDIVISION OF OUTLOT 34, DIVISION "B"



DATE: \_\_\_\_\_  
ACCEPTED BY: \_\_\_\_\_



**Premier**  
Surveying & Mapping, L.L.C.  
5708 W. Plano Parkway  
Suite 1200  
Plano, Texas 75093  
Office: 972-413-3462  
Fax: 972-413-3468  
Firm Registration No. 10146200









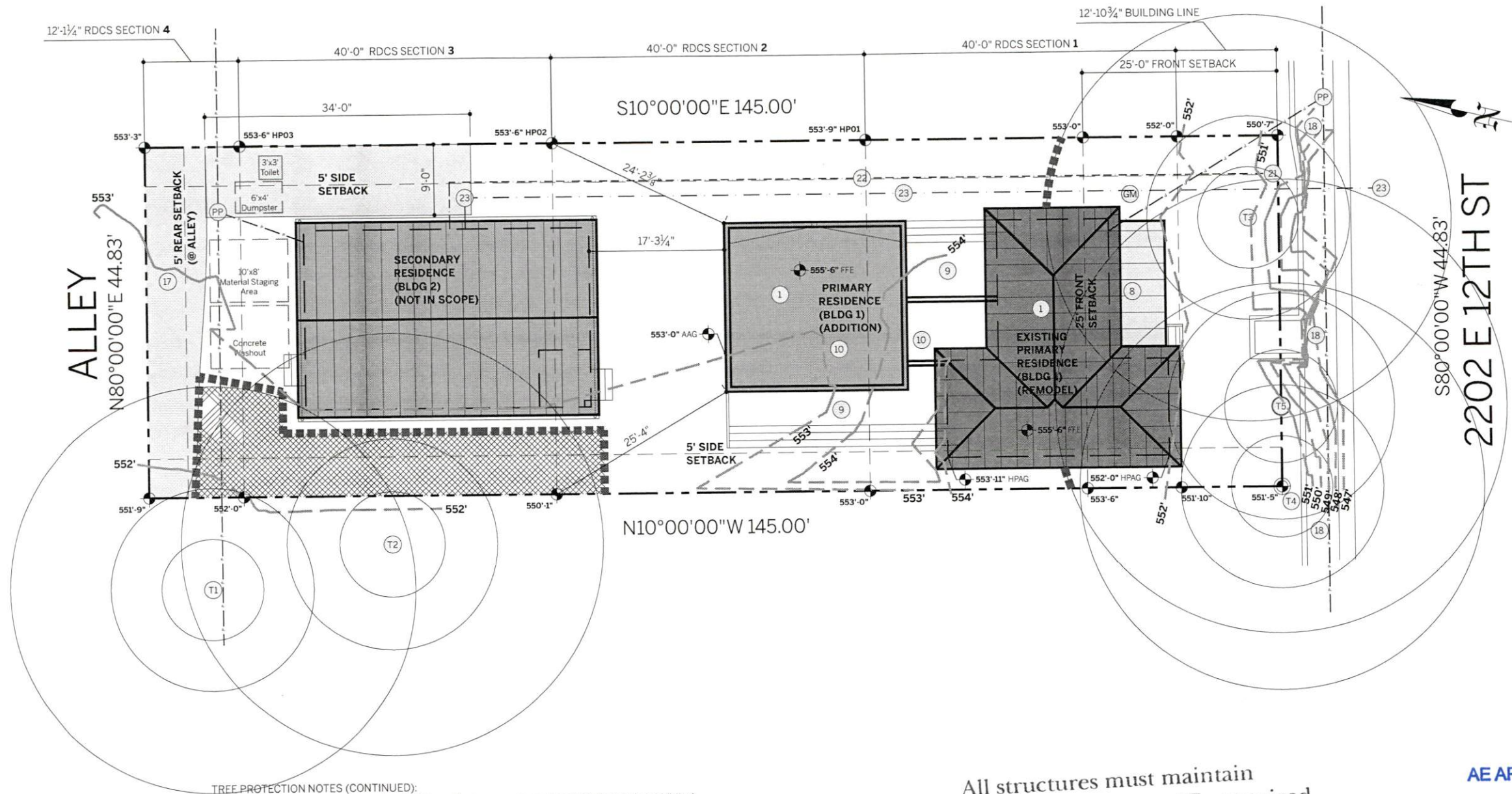












TREE PROTECTION NOTES:

- All trees 19" in trunk diameter and greater at a height of 4'-6" above adjacent grade are protected by municipal ordinance. No protected tree shall be removed without a permit.
- In order to assure that the remaining root zones are adequately preserved, tree protection fencing per the details on sheet G006 is required for all protected trees within the limits of construction. Extents of fencing are shown on this sheet. Tree protection fencing shall be installed prior to the commencement of construction. When the tree protection fencing cannot incorporate the entire 1/2 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.
- 2x4 or greater size planks @ 6' minimum length shall be strapped securely around protected trees' trunks and root flares when protective fencing does not incorporate entire 1/2 CRZ.
- All pruning shall be conducted under the strict oversight of a licensed professional arborist. PRUNING FOR SUBJECT TREES SHALL NOT EXCEED 25% OF TREE CANOPY.
- Trenching for all utilities in CRZs (indicated by notes 22 and 23) shall be minimized to the least extent feasible and shall occur by means of air-spading by a licensed professional arborist.
- Care shall be taken during construction that activities requiring vertical movement (eg, drilling rigs) shall not disturb existing tree canopies.

TREE PROTECTION NOTES (CONTINUED):

- The placement and storage of materials and/or heavy equipment on CRZs is strictly prohibited. Materials shall be staged as far from CRZs as possible.
- Drilling rigs requiring outriggers shall not be used.
- The foundations of the secondary and tertiary structures have been designed as pier+beam to minimize impacts to CRZs. No formwork, kickers, or other temporary/construction-related installations shall occur outside the footprints of the structures themselves except strictly as required for the carport slab in the secondary structure.
- Demolition of existing deck and stairs shall occur by hand and without digging (ie, existing piers, supports, etc shall be pulled out of ground rather than dug).
- Impacts from construction or construction activities inside 1/4 CRZs are strictly prohibited without exception.

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

AE APPROVED

FEB 27 2019

58-233  
JGM

REFER TO SHEET G005 FOR DETAILS OF 2-HR-RATED DEMISING WALLS (UL U342).  
REFER TO SHEET G006 FOR ENVIRONMENTAL AND TREE-PROTECTION DETAILS.

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS.  
STRUCTURES SHALL BE PLACED ON SITE BY LICENSED PROFESSIONAL SURVEYOR.

1 Site Plan  
Scale 1/16" = 1'-0" @ 11x17  
Scale 1/8" = 1'-0" @ 24x36

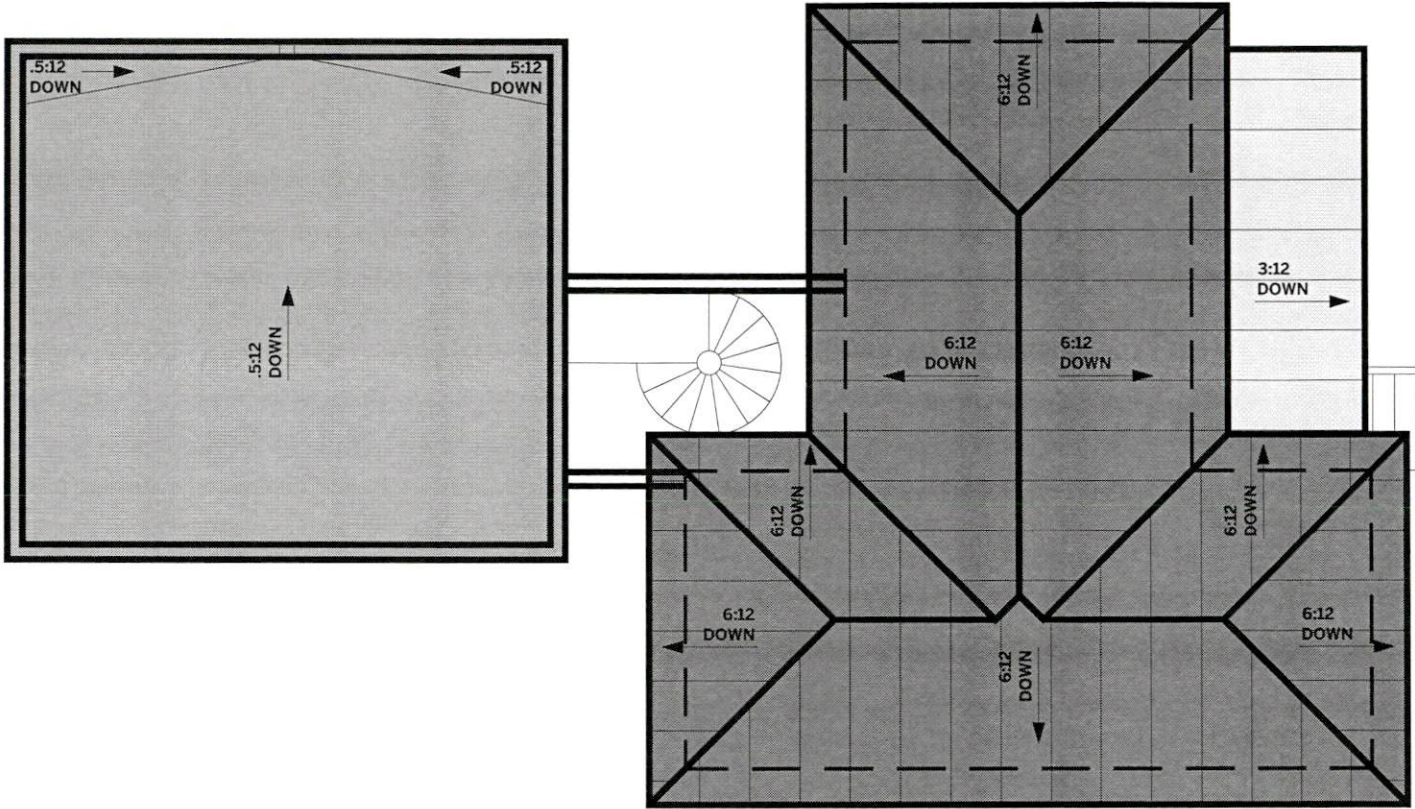
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)				CRITICAL ROOT ZONES AT PROTECTED TREES.		TREE PROTECTION LEGEND.	LIST OF PROTECTED TREES.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	
01	Existing primary residence w/ new addition.	11	Not used	20	EXISTING electrical meter(s) for primary and secondary residences, as applicable.		# TRUNK Ø SPECIES	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		ISSUE DATE 13 FEB 2019	
02	Remodeled secondary residence. (NOT IN SCOPE)	12	Existing wood deck, uncovered.	21	Location of water meters.						T1 26" POST OAK
03	Not used	13	Not used	22	EXISTING water supply line to residences, indicated thus: ---						T2 27" POST OAK
04	Not used	14	Not used	23	EXISTING sewer line from residences, indicated thus: ---						T3 26" POST OAK
05	Not used	15	Not used								T4 26" POST OAK
06	Not used	16	Not used			T5 29" POST OAK					

**OCHONA**  
Development + Architecture  
REMODEL & NEW ADDITION TO EXISTING PRIMARY RESIDENCE AT 2202 E 12TH ST AUSTIN, TEXAS 78702






ISSUE DATE 13 FEB 2019  
SHEET TYPE Site Plan.

**A000**

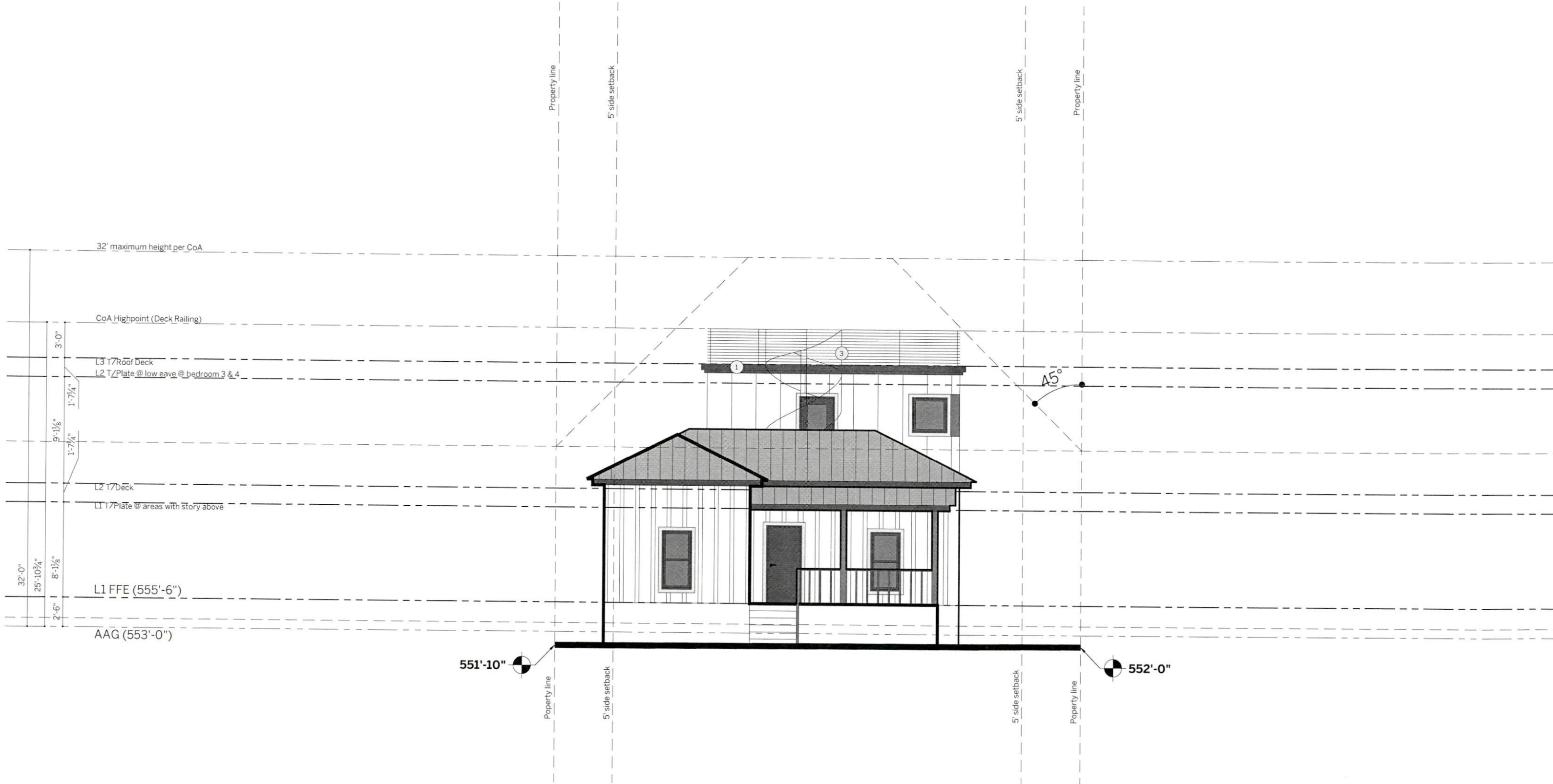






1 Roof Plan, Bldg 1  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				NOTES ON FRAMING.	FRAMING AND ROOFING LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	<div><div>OCHONA</div><div>Development + Architecture</div><div>REMODEL &amp; NEW ADDITION TO EXISTING PRIMARY RESIDENCE AT 2202 E 12TH ST AUSTIN, TEXAS 78702</div><div>ISSUE DATE13 FEB 2019</div><div>SHEET TYPERoof Plans.</div><div>A104</div></div>		
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U342.	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".	R1	New walkable-PVC roof deck.	1.	Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.				This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. <b>Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</b>	
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".	R2	New metal coping.	2.	Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.					
05	Ceiling break.	06	Linen closet (cabinetry).	R3	New metal scupper.	3.	Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.					
07	Pantry (cabinetry).	08	Access panel to AC.	R4	New metal gutter.	4.	Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.					
08				R5	New metal downspout.	5.	At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.					
						6.	A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.					



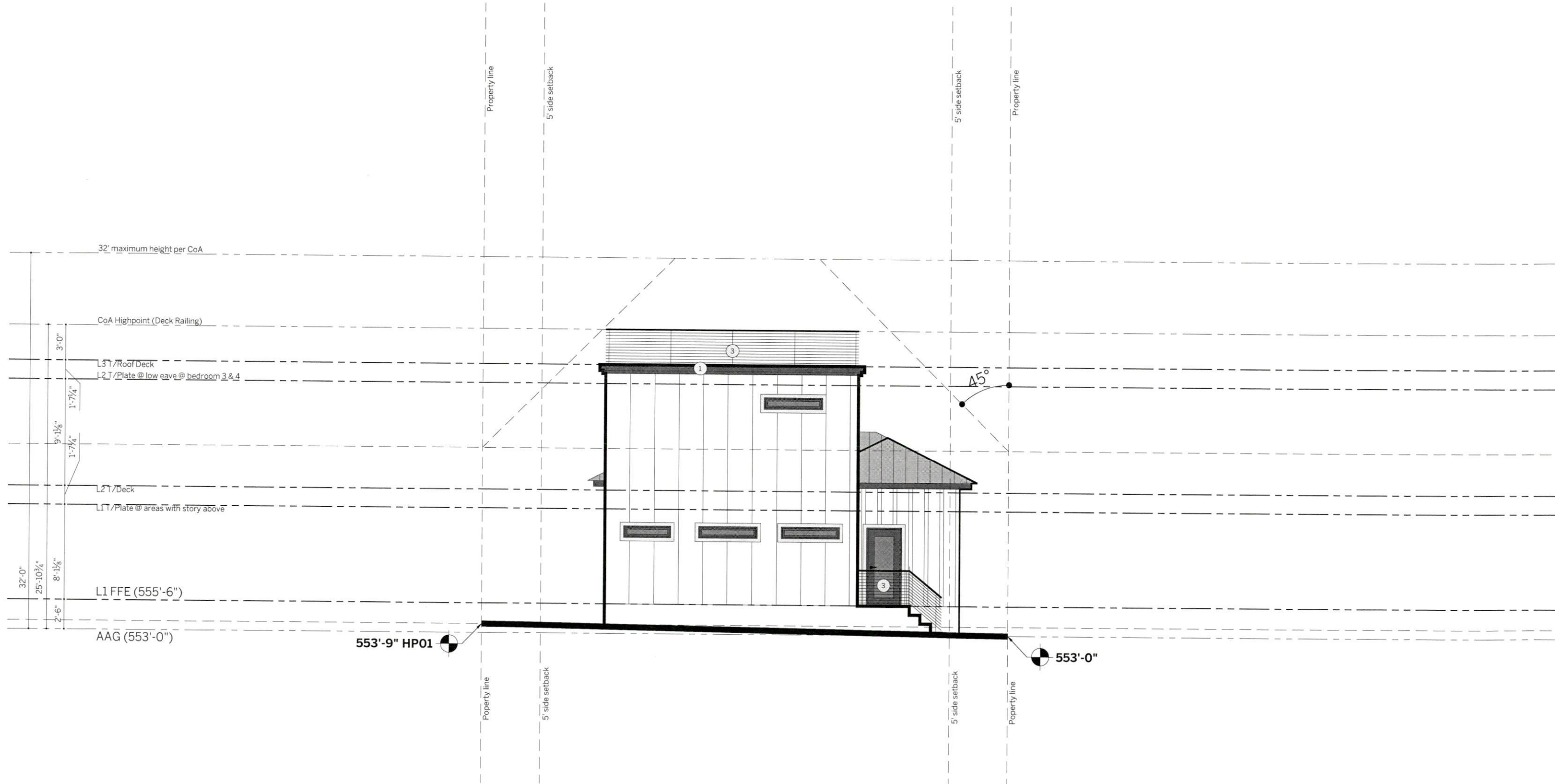


1 Elevation, Bldg 1, Front  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

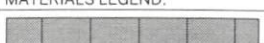
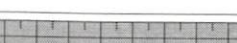


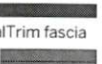


KEYED NOTES.	CODE REFERENCES (City of Austin RDCS area only).	MATERIALS LEGEND.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01 New metal coping. Exposure 6". 02 New metal flashing. Exposure 6" minimum. 03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5". 04 New parapet at exterior porch or deck. Minimum 36" above finish floor. 05 New through-wall scupper. 06 New metal downspout. 07 Steel column (ref: structural).	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.  ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.  LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.	Standing-seam metal roofing Cement-board or RealTrim fascia 6" horizontal cement board 6" horizontal stained wood Composition-shingle roofing Cement-board trim or RealTrim 24" vertical cement board Stone veneer (ashlar bond)	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.	 ISSUE DATE 13 FEB 2019	 SHEET TYPE Elevations.

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Development + Architecture  
REMODEL & NEW ADDITION TO EXISTING PRIMARY RESIDENCE AT 2202 E 12TH ST AUSTIN, TEXAS 78702  
ISSUE DATE 13 FEB 2019  
SHEET TYPE Elevations.  
**A201**

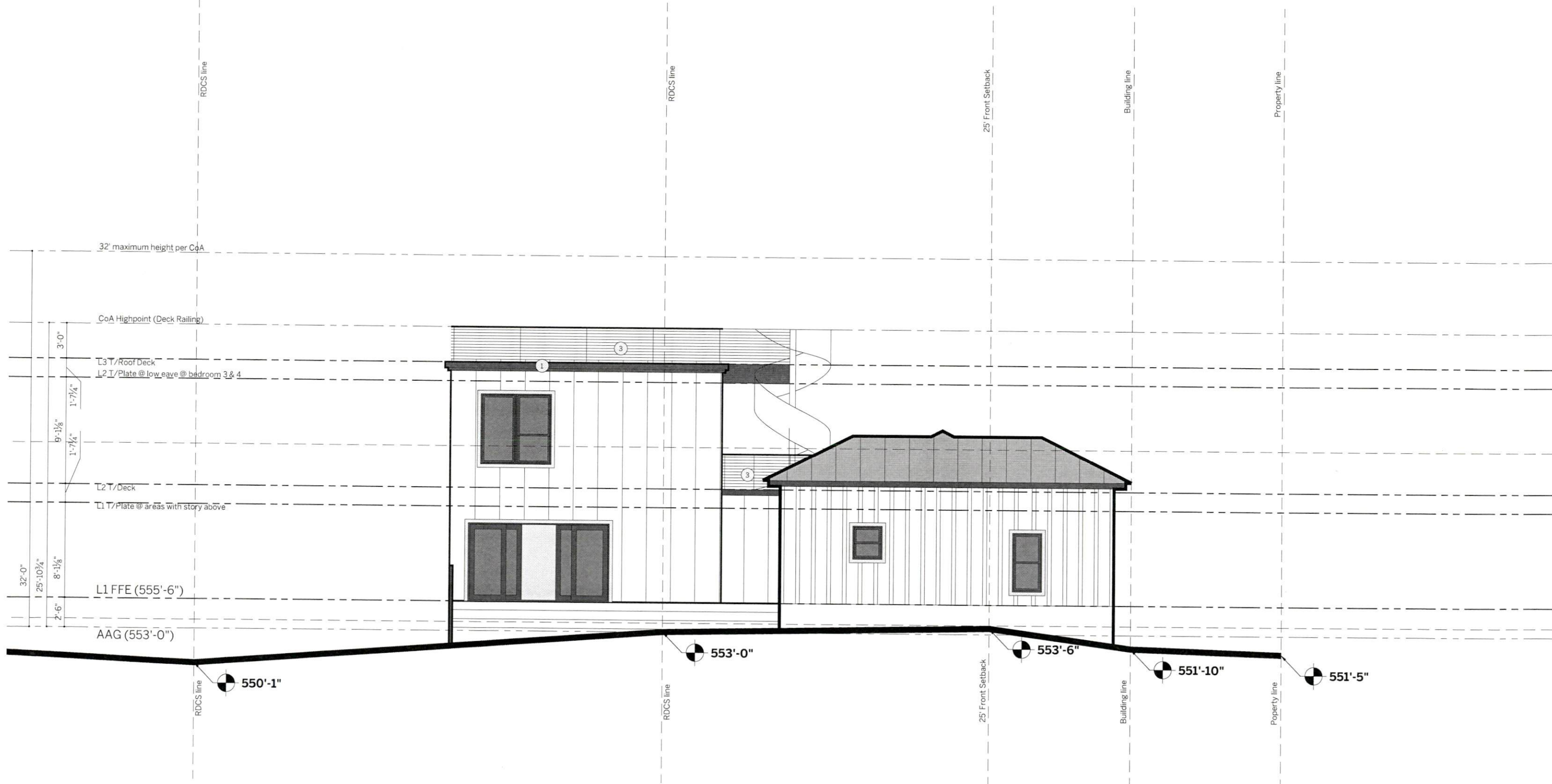




1 Elevation, Bldg 1, Rear  
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Scale 1/4" = 1'-0" @ 24x36

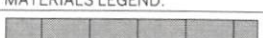




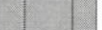
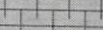

KEYED NOTES.		CODE REFERENCES (City of Austin RDCA area only).		MATERIALS LEGEND.		DISCLAIMERS.		SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.				
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	<p>* Both structures occupy RDCA sections 1 and 2 (ref: site plan). The lower of the sections' high points is HP2 (468'-0") and is thus used as the starting point for the generation of the vertical and diagonal setback planes.</p>			<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. <b>Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</b></p>		ISSUE DATE	13 FEB 2019					
02	New metal flashing. Exposure 6" minimum.			Standing-seam metal roofing	Composition-shingle roofing									
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".			Cement-board or RealTrim fascia	Cement-board trim or RealTrim									
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.													
05	New through-wall scupper.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.		6" horizontal cement board	6" horizontal stained wood							24" vertical cement board	Stone veneer (ashlar bond)	
06	New metal downspout.			LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the <u>highest average height</u> .										
07	Steel column (ref: structural).													





1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.		CODE REFERENCES (City of Austin RDOS area only).		MATERIALS LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.			
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	* Both structures occupy RDOS sections 1 and 2 (ref: site plan). The lower of the sections' high points is HP2 (468'-0") and is thus used as the starting point for the generation of the vertical and diagonal setback planes.			This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. <b>Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</b>					
02	New metal flashing. Exposure 6" minimum.			Standing-seam metal roofing	Composition-shingle roofing						
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".	Cement-board or RealTrim fascia		Cement-board trim or RealTrim							
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.										
05	New through-wall scupper.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.		6" horizontal cement board					6" horizontal stained wood		
06	New metal downspout.	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.		24" vertical cement board					Stone veneer (ashlar bond)		
07	Steel column (ref: structural).										

Development + Architecture

REMODEL & NEW ADDITION TO EXISTING PRIMARY RESIDENCE AT 2202 E 12TH ST AUSTIN, TEXAS 78702

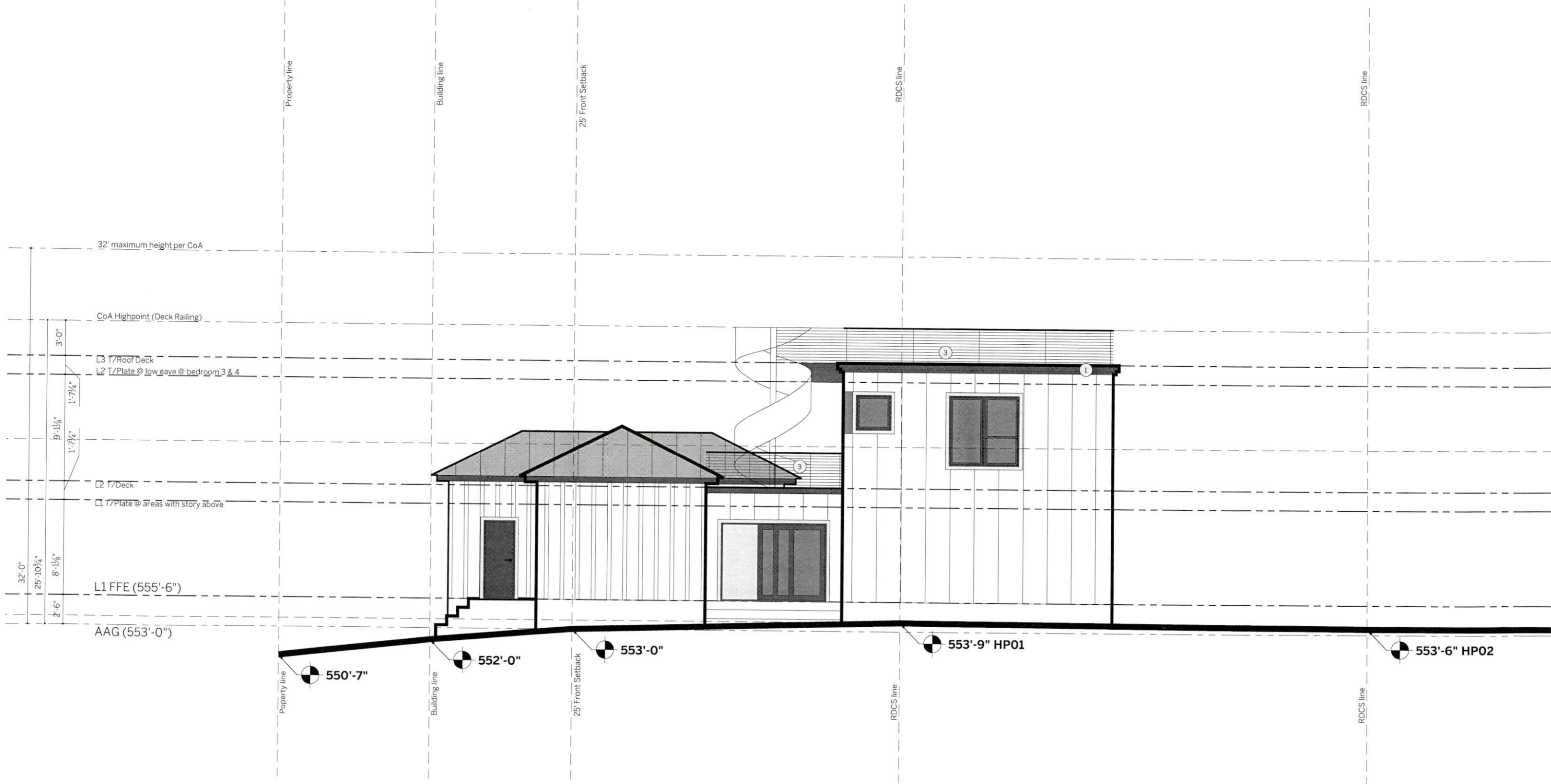
ISSUE DATE 13 FEB 2019

SHEET TYPE Elevations, Bldg 1.




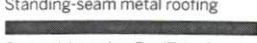
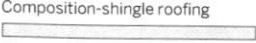


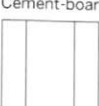

A203

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Development + Architecture  
REMODEL & NEW ADDITION TO  
EXISTING PRIMARY RESIDENCE AT  
2202 E 12TH ST  
AUSTIN, TEXAS 78702  
ISSUE DATE 13 FEB 2019  
SHEET TYPE Elevations, Bldg 1.  
**A203**





**1 Elevation, Bldg 1, Right**  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.	CODE REFERENCES (City of Austin RDOS area only).		MATERIALS LEGEND.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01 New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	* Both structures occupy RDOS sections 1 and 2 (ref: site plan). The lower of the sections' high points is HP2 (468'-0") and is thus used as the starting point for the generation of the vertical and diagonal setback planes.	 Standing-seam metal roofing	 Composition-shingle roofing		
02 New metal flashing. Exposure 6" minimum.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.		 Cement-board or RealTrim fascia	 Cement-board trim or RealTrim		
03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.		 6" horizontal cement board	 6" horizontal stained wood		
04 New parapet at exterior porch or deck. Minimum 36" above finish floor.			 24" vertical cement board	 Stone veneer (ashlar bond)		
05 New through-wall scupper.					ISSUE DATE	13 FEB 2019
06 New metal downspout.						
07 Steel column (ref: structural).						

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REMODEL & NEW ADDITION TO  
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AUSTIN, TEXAS 78702

ISSUE DATE 13 FEB 2019  
SHEET TYPE Elevations, Bldg 1.

**A204**



