

# Item C-14

## SUBDIVISION REVIEW SHEET

**CASE NO.:** C8-2019-0015.0A

**ZAP DATE:** Oct. 1, 2019

**SUBDIVISION NAME:** SOCO II Subdivision

**AREA:** 6.670 ac.

**LOT(S):** 1

**OWNER:** Chris and Roni Clark

**AGENT/APPLICANT:** Michael P. Porvaznik, P.E.

**ADDRESS OF SUBDIVISION:** 8100, 8102 and 8104 S. Congress Ave. **COUNTY:** Travis

**WATERSHED:** South Boggy Creek

**EXISTING ZONING:** CS-MU-CO

**PROPOSED LAND USE:** Multifamily development.

**DEPARTMENT COMMENTS:** The request is for the approval of SOCO II Subdivision which will create one legal lot (Lot 1) out of three existing previously unplatted tracts.

**STAFF RECOMMENDATION:** Staff recommends approval of this subdivision plat as it meets all applicable State and City of Austin LDC requirements.

**ZONING AND PLATTING COMMISSION ACTION:**

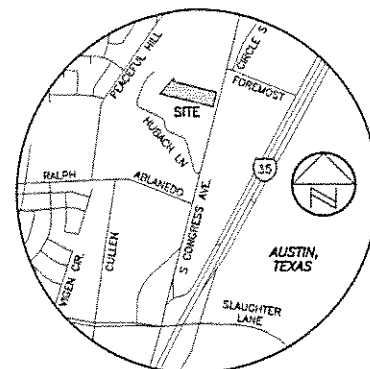
**CASE MANAGER:** Joey de la Garza

**PHONE:** 512-974-2664

**EMAIL:** joey.delagarza@austintexas.gov

# Item C-14

## SOCO II SUBDIVISION



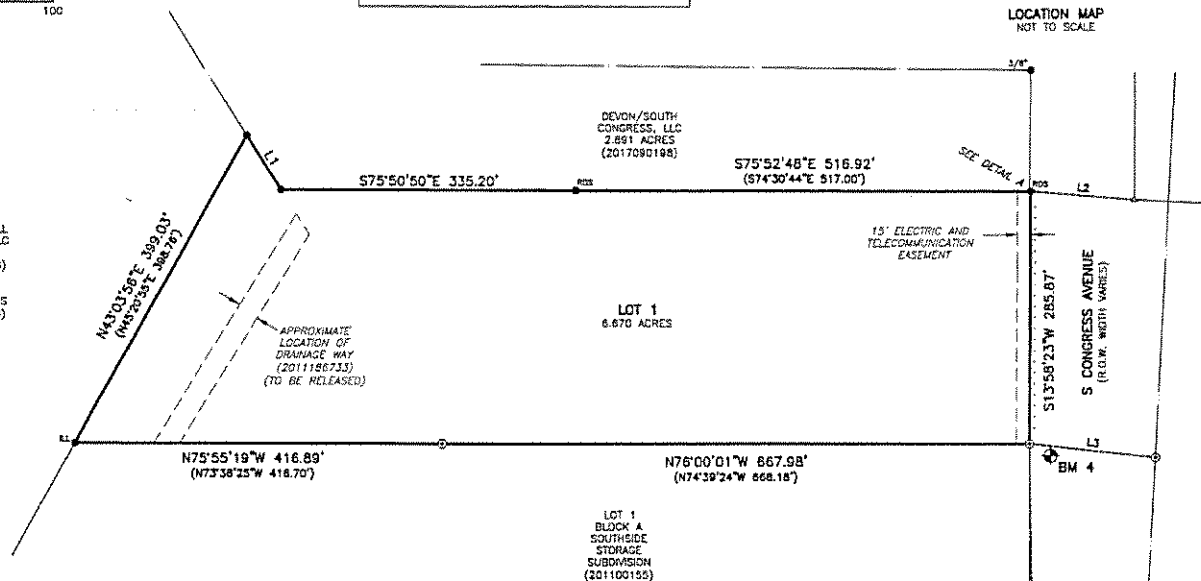
LOCATION MAP  
NOT TO SCALE

LEGEND	
●	1/2" REBAR FOUND (OR AS NOTED)
● <sub>RDS</sub>	1/2" REBAR WITH "RDS" CAP FOUND
● <sub>AL</sub>	1/2" REBAR WITH ALLEGIBLE CAP FOUND
⊙	IRON PIPE FOUND (SIZE NOTED)
⊕	CONTROL POINT/BENCHMARK LOCATION
---	SIDEWALK LOCATION
( )	RECORD INFORMATION

SCALE: 1" = 100'  
GRAPHIC SCALE  
100 50 0 100

PEACEFUL HILL  
PARTNERS, LLC  
7.50 ACRES  
(2014125556)

VERRADO  
CONDOMINIUMS  
(2017082630)



LINE TABLE			
LINE	BEARING	DISTANCE	(RECORD)
L1	S18°13'28"E	72.69'	(S18°07'15"E 72.78')
L2	S71°09'40"E	118.59'	
L3	S69°43'19"E	143.79'	

THIS IS A SURFACE DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) FOR CHAPARRAL CONTROL POINT "PB15".

MAG NAIL WITH WASHER SET IN CONCRETE SIDEWALK

SURFACE COORDINATES:  
N 10037286.62  
E 3102074.34

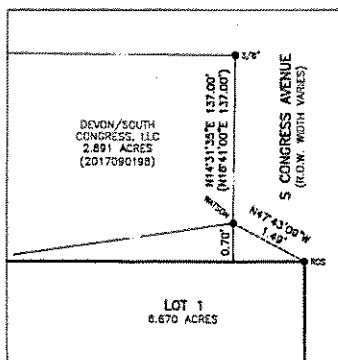
TEXAS STATE PLANE COORDINATES:  
N 10038285.00  
E 3101784.18

ELEVATION = 685.31'  
VERTICAL DATUM: NAVD 88 (GEOID 09)

COMBINED SCALE FACTOR = 0.99990001  
(FOR SURFACE TO GRID CONVERSION)

INVERSE SCALE FACTOR = 1.000100  
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0.0  
THETA ANGLE: 1°18'45"



DETAIL A  
NOT TO SCALE

### BENCHMARK INFORMATION:

BM #4: SQUARE CUT ON TOP OF WEST CURB OF SOUTHBOUND SOUTH CONGRESS AVENUE, NEAR THE NORTH END OF SOUTHSIDE WRECKER PROPERTY AT 8200 S. CONGRESS AVE., APPROXIMATELY 4.0' SOUTH OF FOUR MAILBOXES

ELEVATION = 686.81'  
VERTICAL DATUM: NAVD 88 (GEOID 09)

Professional Land Surveying, Inc.  
Surveying and Mapping

3500 McCall Lane  
Austin, Texas 78744  
512-443-1724  
Firm No. 10124500

PROJECT NO.:  
562-063

DRAWING NO.:  
562-063-SOCO2-PL

PLOT DATE:  
01/10/19

PLOT SCALE:  
1" = 100'

DRAWN BY:  
JOB

SHEET  
01 OF 02

SOCO II  
SUBDIVISIONSTATE OF TEXAS  
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT CHRIS CLARK AND RONI CLARK, BEING THE OWNERS OF 1.00 ACRES IN THE WILLIAM CANNON LEAGUE, IN TRAVIS COUNTY, TEXAS, CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 1999028621 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, ALSO BEING THE OWNERS OF 1.667 ACRES IN THE WILLIAM CANNON LEAGUE, IN TRAVIS COUNTY, TEXAS, CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2007186704 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND ALSO BEING THE OWNERS OF 5.00 ACRES, SAME AND EXCEPT 1.000 ACRES IN THE WILLIAM CANNON LEAGUE, IN TRAVIS COUNTY, TEXAS, CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2017176316 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 6.670 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS  
SOCO II SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

BY: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

STATE OF TEXAS

COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

BY: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

STATE OF TEXAS

COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

## SURVEYOR'S CERTIFICATION

I, PAUL J. FLUGEL, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1989 AS AMENDED, IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR MADE UNDER MY SUPERVISION, MADE ON THE GROUND JULY 27, 2018.

*Paul J. Flugel 1-27-2019*  
PAUL J. FLUGEL, R.L.S. 5096

SURVEYING BY:  
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.  
3500 MCCALL LANE  
AUSTIN, TEXAS 78744  
(512) 443-1724



## ENGINEER'S CERTIFICATION:

I, MICHAEL PORVAZNIK, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1989, AS AMENDED, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THE 100 YEAR FLOOD PLAN IS CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN HEREON. NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48453C05951, DATED JANUARY 6, 2016, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

*Michael Porvaznik 1/26/19*  
MICHAEL PORVAZNIK, P.E.



ENGINEERING BY:  
LIA ENGINEERING, INC.  
5316 U.S. HIGHWAY 290 WEST, SUITE 150  
AUSTIN, TEXAS 78735  
(512) 512-4394-4700  
TEXAS REGISTERED ENGINEERING FIRM NO. F-1356

1. WATER AND SEWER SERVICE FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CITY OF AUSTIN.

2. NO LOT WILL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.

3. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS MUST BE IN ACCORDANCE WITH CITY OF AUSTIN WATER AND WASTEWATER SYSTEM DESIGN CRITERIA AND SPECIFICATIONS. ALL WATER AND WASTEWATER PLANS MUST BE PRESENTED TO THE CITY OF AUSTIN WATER AND WASTEWATER UTILITY FOR REVIEW AND APPROVAL. ALL WATER AND WASTEWATER CONNECTIONS MUST BE INSPECTED BY THE CITY OF AUSTIN.

4. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

5. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT ESTABLISHED BY THE REGIONAL DETENTION PLANS APPROVED BY THE CITY OF AUSTIN, EXCEPT THAT RUN-OFF IN EXCESS OF THE AMOUNT ESTABLISHED FOR THE REGIONAL DETENTION SYSTEM SHALL BE OBTAINED BY THE USE OF ONSITE PONDING OR OTHER APPROVED METHODS.

6. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS AS NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

7. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

8. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY NATURAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.

9. BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH CITY OF AUSTIN ZONING ORDINANCE REQUIREMENTS.

10. PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: SOUTH CONGRESS AVENUE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHDRAWING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.

11. BY APPROVING THIS PLAT, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY OF AUSTIN STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS, AND/OR CERTIFICATES OF OCCUPANCY.

APPROVED, ACCEPTED, AND AUTHORIZED FOR RECORD, UNDER SECTION 30-2-84(B)(2), AUSTIN/TRAVIS COUNTY SUBDIVISION REGULATIONS, BY THE EXECUTIVE MANAGER, TRANSPORTATION AND NATURAL RESOURCES, TRAVIS COUNTY, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

JOSEPH P. GISELMAN, EXECUTIVE MANAGER  
TRANSPORTATION AND NATURAL RESOURCES

DATE

THE STATE OF TEXAS  
COUNTY OF TRAVIS

I, DANA DEBEAUVOR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE

ON THE \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., AND DULY

RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., IN SAID COUNTY AND STATE, IN DOCUMENT NUMBER \_\_\_\_\_ OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

DANA DEBEAUVOR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY \_\_\_\_\_  
DEPUTY

<p>Professional Land Surveying, Inc. Surveying and Mapping</p> <p>3500 McCall Lane Austin, Texas 78744 512-443-1724 Firm No. 10124500</p>	PROJECT NO.: 562-063
	DRAWING NO.: 562-063-S0002-PL
	PLOT DATE: 01/29/19
	PLOT SCALE: 1" = 100'
	DRAWN BY: JOB P.J.
SHEET 02 OF 02	

CB-XX-XXXXXXX