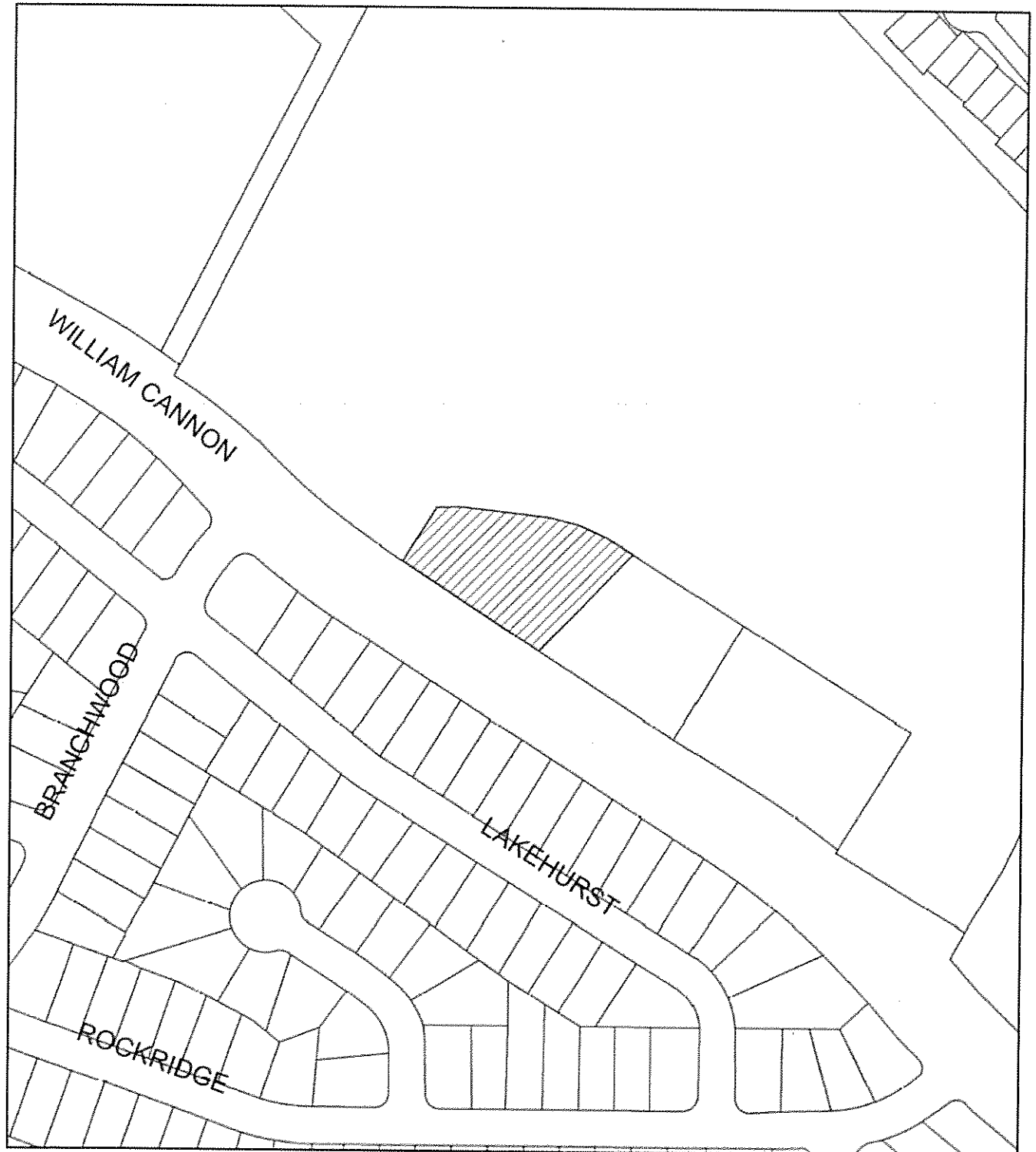




SUBDIVISION REVIEW SHEET**CASE NO.:** C8-2019-0025.0A**ZAP DATE:** Oct. 1, 2019**SUBDIVISION NAME:** Bluff Plaza**AREA:** 0.85 ac.**LOT(S):** 1**OWNER:** LDG Development, LLC (Frank Leist)**AGENT/APPLICANT:** Steven Buffum, P.E. (Costello, Inc.)**ADDRESS OF SUBDIVISION:** 4400 E. William Cannon Dr. **COUNTY:** Travis**WATERSHED:** Williamson Creek**EXISTING ZONING:** GR-MU-CO**PROPOSED LAND USE:** Commercial

DEPARTMENT COMMENTS: The request is for the approval of Bluff Plaza Final Plat which will create one legal lot (Lot 1, Block A) for a commercial/retail building out of previously unplatted land.

STAFF RECOMMENDATION: Staff recommends approval of this subdivision plat as it meets all applicable State and City of Austin LDC requirements.

ZONING AND PLATTING COMMISSION ACTION:**CASE MANAGER:** Joey de la Garza**PHONE:** 512-974-2664**EMAIL:** joey.delagarza@austintexas.gov



 Subject Tract
 Base Map

CASE#: C8-2019-0025.0A
LOCATION: 4400 E. William Cannon Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference.