

**SUBDIVISION REVIEW SHEET****CASE NO.:** C8-2019-0018.0A**ZAP DATE:** Oct. 11, 2019**SUBDIVISION NAME:** Resubdivision of Lot 2, Block A, Replat of a portion of Lot 8, Tom F. Dunnahoo Subdivision and Lot 6, Tom F. Dunnahoo Subdivision**AREA** 5.42 ac**LOT(S):** 4**OWNER:** LG Slaughter and Cullen LLC and LG Slaughter Austin, LLC, Will Tolliver, Managing Director and Retail Pad Sites, LLC, Richard Flalen**AGENT/APPLICANT:** Kimley-Horn, Andrew Evans, P.E.**ADDRESS OF SUBDIVISION:** 9006 Cullen Ln. **COUNTY:** Travis**WATERSHED:** Onion Creek**EXISTING ZONING:** GR-CO**PROPOSED LAND USE:** Commercial**DEPARTMENT COMMENTS:** The request is for approval of the Resubdivision of Lot 2, Block A, Replat of a portion of Lot 8, Tom F. Dunnahoo Subdivision and Lot 6, Tom F. Dunnahoo Subdivision which will resubdivide previously platted lots into a 3 lot commercial subdivision.**STAFF RECOMMENDATION:** The staff recommends approval of the subdivision as it meets all applicable State and City of Austin Land Development Code requirements.**ZONING AND PLATTING COMMISSION ACTION:****CASE MANAGER:** Joey de la Garza**PHONE:** 512-974-2664**EMAIL:** joey.delagarza@austintexas.gov

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

KNOW ALL MEN BY THE PRESENTS:

THAT LG SLAUGHTER AND CULLEN, LLC, LG SLAUGHTER AUSTIN, LLC, AND RETAIL PAD SITES, LLC, BEING THE OWNERS OF 5.421 ACRES IN THE S.F. SLAUGHTER SURVEY, ABSTRACT NO. 20, IN TRAVIS COUNTY, TEXAS, BEING ALL OF LOT 2, BLOCK A, REPLAT OF A PORTION OF LOT 8, TOM F. DUNNAHOO SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 96, PAGES 11-12 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, AS CORRECTED BY AFFIDAVIT RECORDED IN VOLUME 12723, PAGE 90, OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, AND ALL OF LOT 6, TOM F. DUNNAHOO SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 683, PAGE 1 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, SAVE AND EXCEPT THAT 3,519 SQUARE FOOT TRACT CONTYD TO THE CITY OF AUSTIN BY STREET DEED RECORDED IN DOCUMENT NO. 200708363 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, BOTH CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2007173130 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 5.421 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

RESUBDIVISION OF LOT 2, BLOCK A, REPLAT OF A PORTION OF LOT 8 TOM F. DUNNAHOO SUBDIVISION AND LOT 6, TOM F. DUNNAHOO SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019 A.D.

BY: \_\_\_\_\_  
WILL TOLLIVER  
LG SLAUGHTER AND CULLEN, LLC  
3500 MAPLE AVENUE, SUITE 1600  
DALLAS, TEXAS 75219

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019 A.D.

BY: \_\_\_\_\_  
WILL TOLLIVER  
LG SLAUGHTER AUSTIN, LLC  
3500 MAPLE AVENUE, SUITE 1600  
DALLAS, TEXAS 75219

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019 A.D.

BY: \_\_\_\_\_  
RICHARD FLATEN  
RETAIL PAD SITES, LLC  
201 S. COLLEGE ST., SUITE 1700  
CHARLOTTE, NC 28244-0008

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

#### SURVEYOR'S CERTIFICATION

I, PAUL J. FLUGEL, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1999 AS AMENDED, IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR MADE UNDER MY SUPERVISION, MADE ON THE GROUND ON JANUARY 9, 2019.

*Paul J. Flugel* 8-21-2019  
PAUL J. FLUGEL, R.P.L.S. 5098  
SURVEYING BY:  
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.  
3500 MCCALL LANE  
AUSTIN, TEXAS 78744  
(512) 443-1724



#### ENGINEER'S CERTIFICATION:

I, ANDREW EVANS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1999, AS AMENDED, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48453C0595U, DATED JANUARY 6, 2016, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

ANDREW EVANS, P.E. # 90927

ENGINEERING BY:  
KIMLEY-HORN AND ASSOCIATES, INC.  
2600 VIA FORTUNA,  
BLDG. 1, SUITE # 300  
AUSTIN, TEXAS 78746  
(512) 648-2237  
TEXAS REGISTERED ENGINEERING FIRM F-928

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE FULL PURPOSE LIMITS OF THE CITY OF AUSTIN ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019.

APPROVED, ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

JOEY DA LA GARZA FOR:  
DENISE LUCAS, DIRECTOR  
DEVELOPMENT SERVICES DEPARTMENT

ACCEPTED AND AUTHORIZED FOR RECORD BY THE ZONING & PLATTING COMMISSION OF THE CITY OF AUSTIN, TEXAS, THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

JOLENE KIOLBASSA, CHAIR

ANA AGUIRE, SECRETARY

## RESUBDIVISION OF LOT 2, BLOCK A, REPLAT OF A PORTION OF LOT 8 TOM F. DUNNAHOO SUBDIVISION AND LOT 6, TOM F. DUNNAHOO SUBDIVISION

1. WATER AND SEWER SERVICE FOR THIS SUBDIVISION WILL BE PROVIDED BY THE CITY OF AUSTIN.
2. NO LOT SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
3. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
4. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
5. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
6. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS AS NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
7. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
8. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
9. BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH CITY OF AUSTIN ZONING ORDINANCE REQUIREMENTS.
10. PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: CULLEN LANE AND SLAUGHTER LANE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHDRAWING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
11. BY APPROVING THIS PLAT, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY OF AUSTIN STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS, AND/OR CERTIFICATES OF OCCUPANCY.
12. ALL NOTES AND RESTRICTIONS FROM THE PREVIOUS PLAT, "REPLAT OF A PORTION OF LOT 8, TOM F. DUNNAHOO SUBDIVISION", VOLUME 96, PAGE 11, AND THE PREVIOUS PLAT "TOM F. DUNNAHOO SUBDIVISION", VOLUME 683, PAGE 1, SHALL APPLY TO THIS RESUBDIVISION PLAT.
13. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN.
14. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN OR TRAVIS COUNTY.
15. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
16. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
17. WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT PURSUANT TO THE LAND DEVELOPMENT CODE.
18. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
19. ALL ELECTRIC EASEMENTS MUST BE SHOWN ON ALL PLAN SHEETS, LEFT CLEAR FOR ELECTRIC USE AND MAINTENANCE ON A 24/7 BASIS IN PERPETUITY AND MAINTAIN NECESSARY CLEARANCES FROM ANY PROPOSED STRUCTURES, VEGETATION, ETC AT ALL TIMES. NECESSARY CLEARANCE INFORMATION (AE, OSHA, NESC, & NEC) MAY BE FOUND IN AUSTIN ENERGY'S DESIGN CRITERIA MANUAL - SECTION 1.5.3.9. THE MANUAL IS AVAILABLE ON AUSTIN ENERGY'S WEBSITE UNDER CONTRACTORS / ELECTRIC SERVICE DESIGN & PLANNING.
20. ACCESS TO AND FROM SLAUGHTER LANE FOR LOTS 1, 2 AND 3 IS LIMITED TO THE JOINT USE ACCESS LOCATED IN LOT 1.

THE STATE OF TEXAS  
COUNTY OF TRAVIS

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., AND DULY

RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., IN SAID COUNTY AND STATE, IN DOCUMENT NUMBER \_\_\_\_\_ OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS,

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

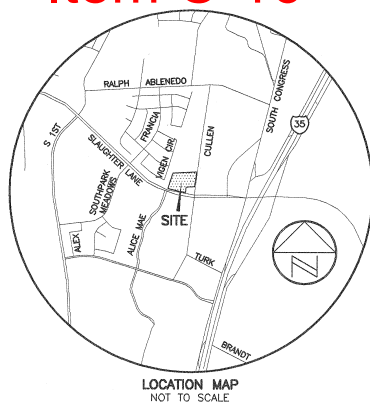
DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY \_\_\_\_\_  
DEPUTY

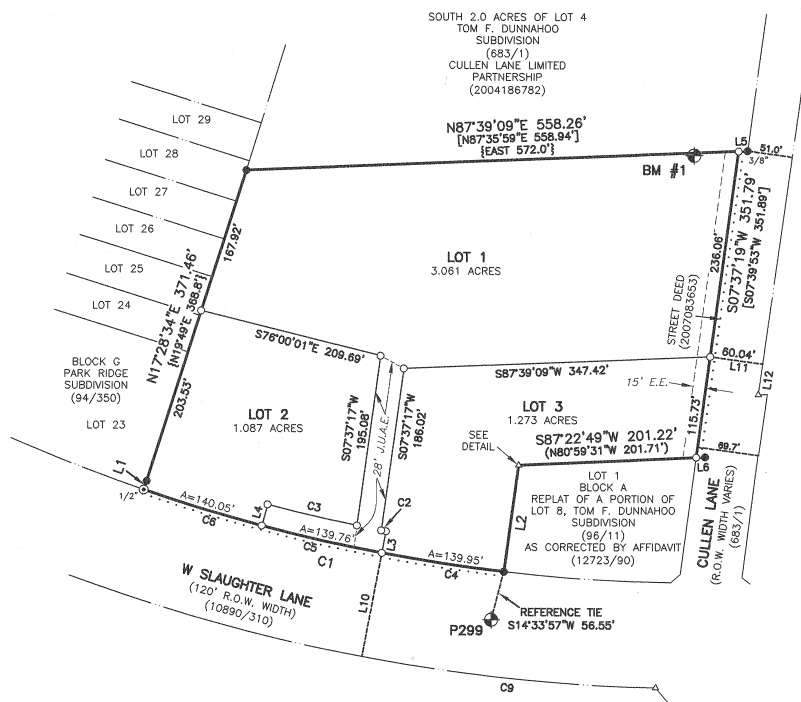
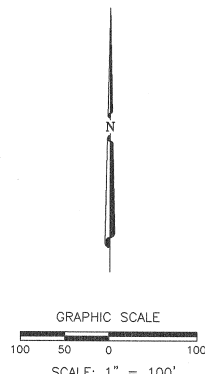
C8-2019.0018.0A

 <b>Chaparral</b> Professional Land Surveying, Inc. Surveying and Mapping 3500 McCall Lane Austin, Texas 78744 512-443-1724 Firm No. 10124500	PROJECT NO.: 236-047
	DRAWING NO.: 236-047-PL
	PLOT DATE: 8/21/19
	PLOT SCALE: 1" = 100'
	DRAWN BY: JDB
	SHEET 02 OF 02

## RESUBDIVISION OF LOT 2, BLOCK A, REPLAT OF A PORTION OF LOT 8 TOM F. DUNNAHOO SUBDIVISION AND LOT 6, TOM F. DUNNAHOO SUBDIVISION



LOCATION MAP  
NOT TO SCALE



THIS IS A SURFACE DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) FOR CHAPARRAL CONTROL POINT "P299".

MAG NAIL WITH WASHER SET IN CONCRETE

SURFACE COORDINATES:  
N 10034750.02  
E 3100031.79

TEXAS STATE PLANE COORDINATES:  
N 10033746.65  
E 3099721.82

ELEVATION = 663.28'  
VERTICAL DATUM: NAVD 88 (GEOID 99)

COMBINED SCALE FACTOR = 0.99990001  
(FOR SURFACE TO GRID CONVERSION)

INVERSE SCALE FACTOR = 1.000100  
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0.0  
THETA ANGLE: 1°18'33"

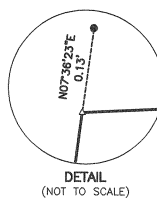
### LEGEND

- 1/2" REBAR FOUND (OR AS NOTED)
- 1/2" REBAR WITH "CHAPARRAL" CAP SET
- ⊙ IRON PIPE FOUND (SIZE NOTED)
- △ CALCULATED POINT
- ⊕ CONTROL POINT/BENCHMARK LOCATION
- SIDEWALK
- E.E. ELECTRIC EASEMENT
- J.U.A.E. JOINT USE ACCESS EASEMENT
- ( ) RECORD INFORMATION OR RECORD CALL 96/11
- [ ] RECORD CALL 2007083653
- { } RECORD CALL 683/1

### BENCHMARK INFORMATION:

BM #1: COTTON SPINDLE SET IN LIVE OAK (#20944 - WITH TRUNKS MEASURING 27" & 23" AT THE TIME OF SURVEY) ALONG NORTH PROPERTY LINE APPROX. 75' WEST OF THE NORTHEAST PROPERTY CORNER.

ELEVATION = 669.90'  
VERTICAL DATUM: NAVD 88 (GEOID 09)



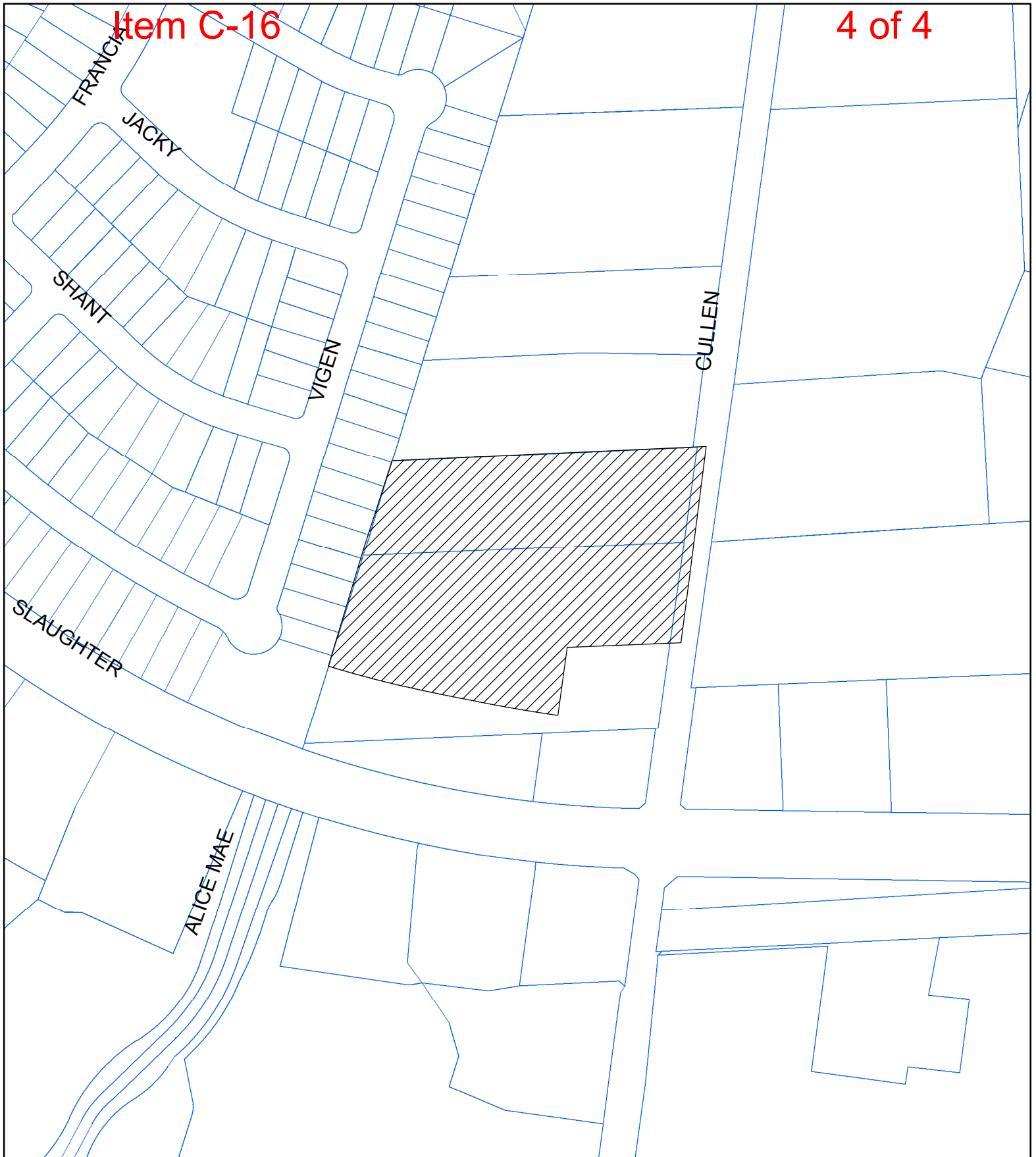
LINE TABLE			
LINE	BEARING	DISTANCE	RECORD LINE
L1	N18°08'09"E	10.33'	(N28°12'39"E 10.52')
L2	S07°36'23"W	122.20'	
L3	S10°37'17"W	25.00'	
L4	S14°44'57"W	25.00'	
L5	N87°39'09"E	10.15'	[N87°35'59"E 10.16']
L6	N87°22'49"E	10.16'	[N87°19'29"E 10.17']
L7	S18°06'09"W	10.65'	
L8	S17°28'34"W	100.67'	
L9	S17°28'34"W	245.70'	
L10	S10°37'19"W	120.00'	
L11	S82°08'36"E	60.04'	
L12	S07°51'24"W	35.19'	

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	1940.00'	12°23'50"	419.76'	N77°18'48"W	418.94'
C2	1915.00'	0°10'05"	5.61'	S79°17'41"E	5.61'
C3	1915.00'	3°07'14"	104.29'	N76°48'40"W	104.28'
C4	1940.00'	4°08'00"	139.95'	N81°26'43"W	139.92'
C5	1940.00'	4°07'40"	139.76'	N77°18'53"W	139.73'
C6	1940.00'	4°08'10"	140.05'	N73°10'58"W	140.02'
C7	50.00'	59°56'13"	52.30'	S47°30'28"W	49.95'
C8	1940.00'	0°44'18"	25.00'	S71°29'02"E	25.00'
C9	2060.01'	9°19'07"	335.04'	S84°02'15"E	334.67'

C8-2019.0018.0A

**Chaparral**  
Professional Land Surveying, Inc.  
Surveying and Mapping  
3500 McCall Lane  
Austin, Texas 78744  
512-443-1724  
Firm No. 10124500

PROJECT NO.:  
236-047  
DRAWING NO.:  
236-047-PL  
PLOT DATE:  
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PLOT SCALE:  
1" = 100'  
DRAWN BY:  
JDB  
SHEET  
01 OF 02



Subject Tract



Base Map

CASE#: C8-2019-0018.0A  
LOCATION: 166 W. Slaughter Ln & 9006 Cullen St.

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference.

