

**PLANNING COMMISSION
SITE PLAN VARIANCE REQUEST REVIEW SHEET**

CASE: SP-2018-0472C

PLANNING COMMISSION DATE: January 14, 2020

PROJECT NAME: 44 East

ADDRESS OF SITE: 44 East Avenue

COUNCIL DISTRICT: 9

APPLICANT: LROC Properties Southwest LP

AGENT: The Drenner Group (Leah Bojo) (512) 807-2918

AREA: 0.67 acres

WATERSHED: Lady Bird Lake and Waller Creek (Urban)

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance (Urban)

C.I.P. STATUS: N/A

T.I.A.: N/A

CAPITOL VIEW: N/A

DEVELOPMENT:

A 49-story mixed use building with 322 residential units and 3534 sf of commercial space with associated parking garage and utility improvements.

EXISTING ZONING: CBD.

DESCRIPTION OF VARIANCE: The applicant is seeking approval of a variance from the 20% reflectivity provision related to mirrored or glare producing glass as regulated in the Waterfront Overlay design regulations [Land Development Code 25-2-721(E)(1)] to allow glass with a 30% reflectivity.

LDC Section 25-2-721(E)(1)

This subsection (E) provides design standards for buildings.

(1) Exterior mirrored glass and glare producing glass surface building materials are prohibited.

Mirrored Glass is defined in LDC 25-1-21(67)

“Mirrored Glass means glass with a reflectivity index greater than 20 percent”

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of this variance with the conditions that the applicant 1) shall work with City staff to determine appropriate and feasible building materials, exterior lighting, and other design elements which comply with the LEED pilot standards for bird collision deterrence, the San Francisco Bird Safe Building standards, and other leading bird deterrence design standards; 2) shall then submit a correction / revision for the site plan to implement such measures, along with a signed letter to DSD by a qualified professional certifying compliance with such standards; and 3) comply with the recommendations of the Small Area Planning Joint Committee to meet LEED bird-friendly standards for the building podium and to work with staff on bird-friendly design for the tower.

SMALL AREA PLANNING JOINT COMMITTEE RECOMMENDATION:

At their December 11, 2019 special called meeting, the Small Area Planning Joint Committee voted (6-0) to recommend their support for a variance to the Waterfront Overlay Combining District section 25-2-

721(E)(1) regulations pertaining to the prohibition of mirrored glass or glare producing glass surface building materials for the 44 East Project, accepting staff's recommendations as laid out above and with their own added recommendation that the applicant meet LEED bird-friendly standards for the building podium and work with staff on bird-friendly design for the tower..

CASE MANAGER: Anaiah Johnson
Anaiah.Johnson@austintexas.gov

PHONE: 512-974-2932

PROJECT INFORMATION: 0.67 acres

EXIST. ZONING: CBD

MAX. BLDG. COVERAGE : 100%

PROP. BUILDING CVR: 24,424 sq. ft. (83.3%)

MAX. IMPERV. CVRG.: 100%

PROP. IMP. CVRG.: 27,631 sq. ft. (94.3%)

ALLOWED F.A.R.: 15:1

PROPOSED F.A.R.: 15:1

HEIGHT: 570' (49 story)

REQUIRED PARKING: 0

PROVIDED PARKING: 559 spaces

PROPOSED ACCESS: Vehicular access from East Avenue.

SURROUNDING CONDITIONS:

Zoning (Land Use)

North: CBD (Office)

South: Cummings Street, then P (Parkland)

East: East Avenue, then CBD (Multifamily)

West: Alley, then CBD (Multifamily)

<u>STREET:</u>	<u>R.O.W.</u>	<u>SURFACING</u>	<u>CLASSIFICATION</u>
East Avenue	120'	45'	Collector
Cummings Street	45'	30' (varies)	Local

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Innercity Alliance

Austin Neighborhoods Council

Bike Austin

Black Improvement Association

City of Austin Downtown Commission

Downtown Austin Neighborhood Assn. (DANA)

El Concilio Mexican-American Neighborhoods

Friends of Austin Neighborhoods

Friends of Rainey Street Historic District

Friends of Emma Barrientos MACC

Greater East Austin Neighborhood Association

Homeless Neighborhood Assn.

Neighborhood Empowerment Foundation

Preservation Austin

Rainey Business Coalition

Rainey Neighbors Association, Inc.

SEL Texas

Sierra Club, Austin Regional Group

Tejano Town

Town Lake Neighborhood Association

Waller Creek Conservancy

Waller Creek Staff Liaison

DRENNER
GROUP

November 14, 2019

Ms. Denise Lucas
Development Services Department
City of Austin
505 Barton Springs Road
Austin, TX 78704

Via Electronic Delivery

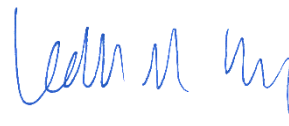
Re: SP-2018-0472C– Reflectivity Variance Request

Dear Ms. Lucas:

I am representing the owner of the property located at 44 East Avenue. Please accept this letter as our request for a variance to LCD §25-2-721(E)(1) to allow glass with 30% reflectivity within the Rainey District of the Waterfront Overlay. Upon approval of the variance request, we will submit a correction to the site development permit application.

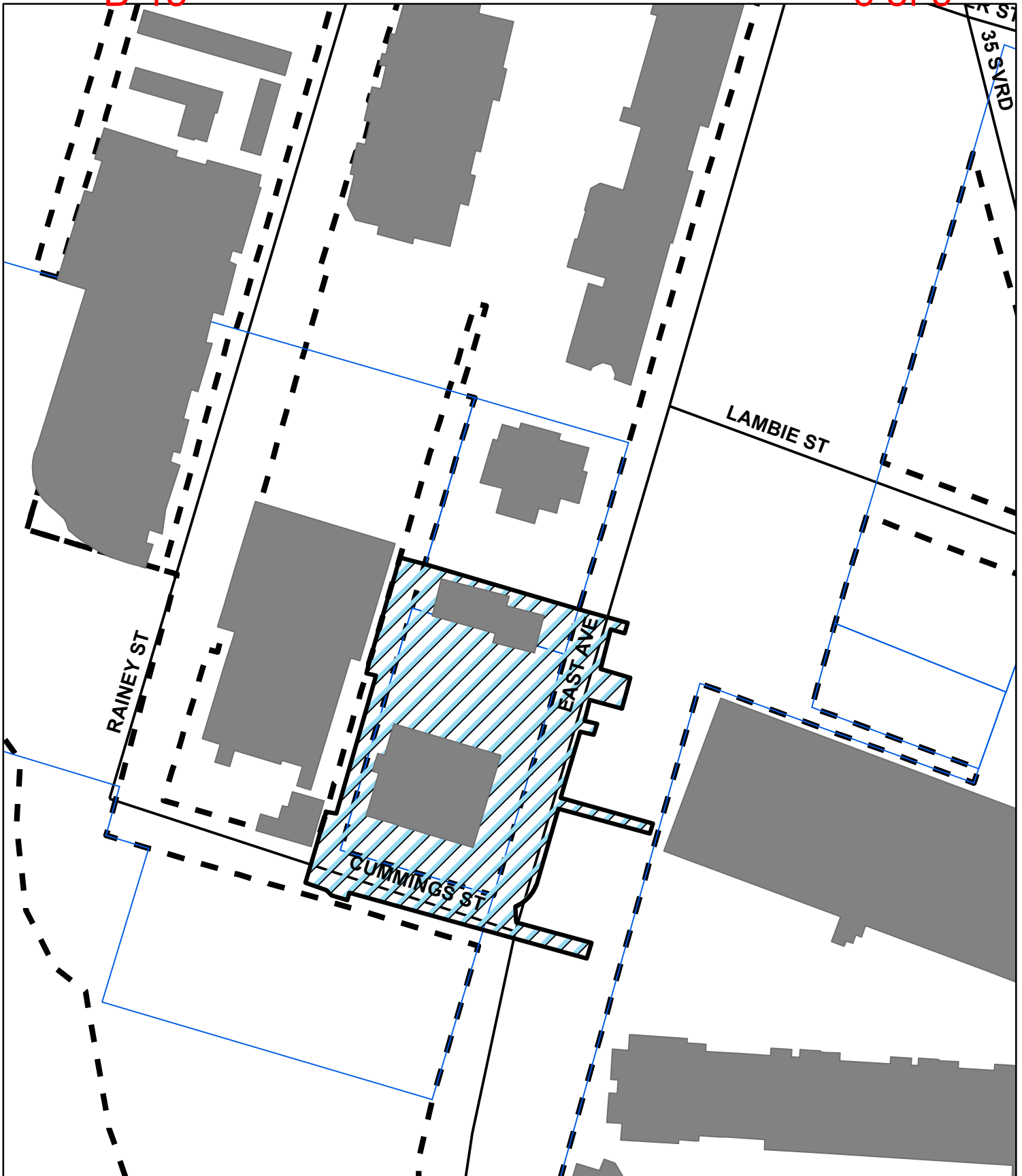
Please let me know if you need any more information about this project or this request.

Sincerely,



Leah M. Bojo

cc: Donna Galati, Development Services Department (*via electronic delivery*)
Anaiah Johnson, Development Services Department (*via electronic delivery*)



SITE PLAN



SUBJECT TRACT



ZONING BOUNDARY

0 50 100 200 Feet

A horizontal scale bar with markings at 0, 50, 100, and 200 feet.

CASE#: SP-2018-0472C
 ADDRESS: 44 East Avenue
 CASE NAME: 44 East
 MANAGER: Anaiah Johnson

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OPERATOR: Christine Barton-Holmes