

**PLANNING COMMISSION SITE PLAN
CONDITIONAL USE PERMIT REVIEW SHEET**

CASE NUMBER: SPC-2018-0417C **ZAP DATE:** 1/28/2020

PROJECT NAME: Pease Park – Kingsbury Commons

ADDRESS: 1100 Kingsbury Street

APPLICANT: City of Austin Parks and Recreation Department (512) 974-9456

AGENT: Garza EMC, LLC. (512) 298-3284

CASE MANAGER: Jonathan Davila or jonathan.davila@austintexas.gov

WATERSHED: Shoal Creek (Urban)

APPLICATION REQUEST: Sites zoned Public (P) greater than one acre in size are a Conditional Use that require Land Use Commission approval according to Land Development Code section 25-2-625.

PROJECT DESCRIPTION:

The applicant proposes park improvements with amenities, including trails, landscaping, play equipment and the construction and renovation of buildings, structures, and parking, with associated utility and drainage improvements on a 10.3 acre site.

STAFF RECOMMENDATION:

Staff recommends approval of the conditional use permit request. The site plan will comply with all other requirements of the Land Development Code prior to its release.

PROJECT INFORMATION:

SITE AREA	45.3 acres (10.3 acres LOC)
ZONING	Public (P)
PROPOSED USE	Park and Recreation Services (General)
PROPOSED IMPERVIOUS COVER	17,262 sf, 0.87%
PROPOSED BUILDING COVERAGE	2,210 sf, 0.11%
PROPOSED BUILDING HEIGHT	11.3 ft
PROPOSED F.A.R	0.001:1
PROPOSED VEHICULAR ACCESS	Kingsbury Street
PROPOSED PARKING	29 automobile, 40 bicycle

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Neighborhoods Council
 Bike Austin
 CANPAC (Central Austin Neigh Plan Area Committee)
 Caswell Heights Neighborhood Association
 Central Austin Community Development Corporation
 City of Austin Downtown Commission
 Downtown Austin Neighborhood Assn. (DANA)
 Friends of Austin Neighborhoods
 Historic Austin Neighborhood Association
 Homeless Neighborhood Association
 Judges Hill Neighborhood Association
 Neighborhood Empowerment Foundation

Old Austin Neighborhood Association
 Old Enfield Homeowners Assn.
 Old West Austin Neighborhood Assn.
 Old West Austin Neighborhood Plan Contact Team
 Original West University Neigh Assoc. (The)
 Pease Neighborhood Association
 Pease Park Conservancy
 Preservation Austin
 Shoal Creek Conservancy
 Sierra Club, Austin Regional Group
 SELTexas
 University Area Partners

CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERIA

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states: "The Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section.

A conditional use site plan must:

1. Comply with the requirements of this title; Staff response: This application complies with all requirements of this title.
2. Comply with the objectives and purposes of the zoning district; Staff response: This application complies with the objectives and purposes of the zoning district.
3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that are compatible with the use of an abutting site; Staff response: This application is compatible with the abutting sites.
4. Provide adequate and convenient off-street parking and loading facilities; Staff response: Adequate parking and loading facilities have been provided.
5. Reasonably protect persons and property from erosion, flood, fire, noises, glare, and similar adverse effects; Staff response: The proposed project does not contribute to any of these adverse effects.

A conditional use site plan may not:

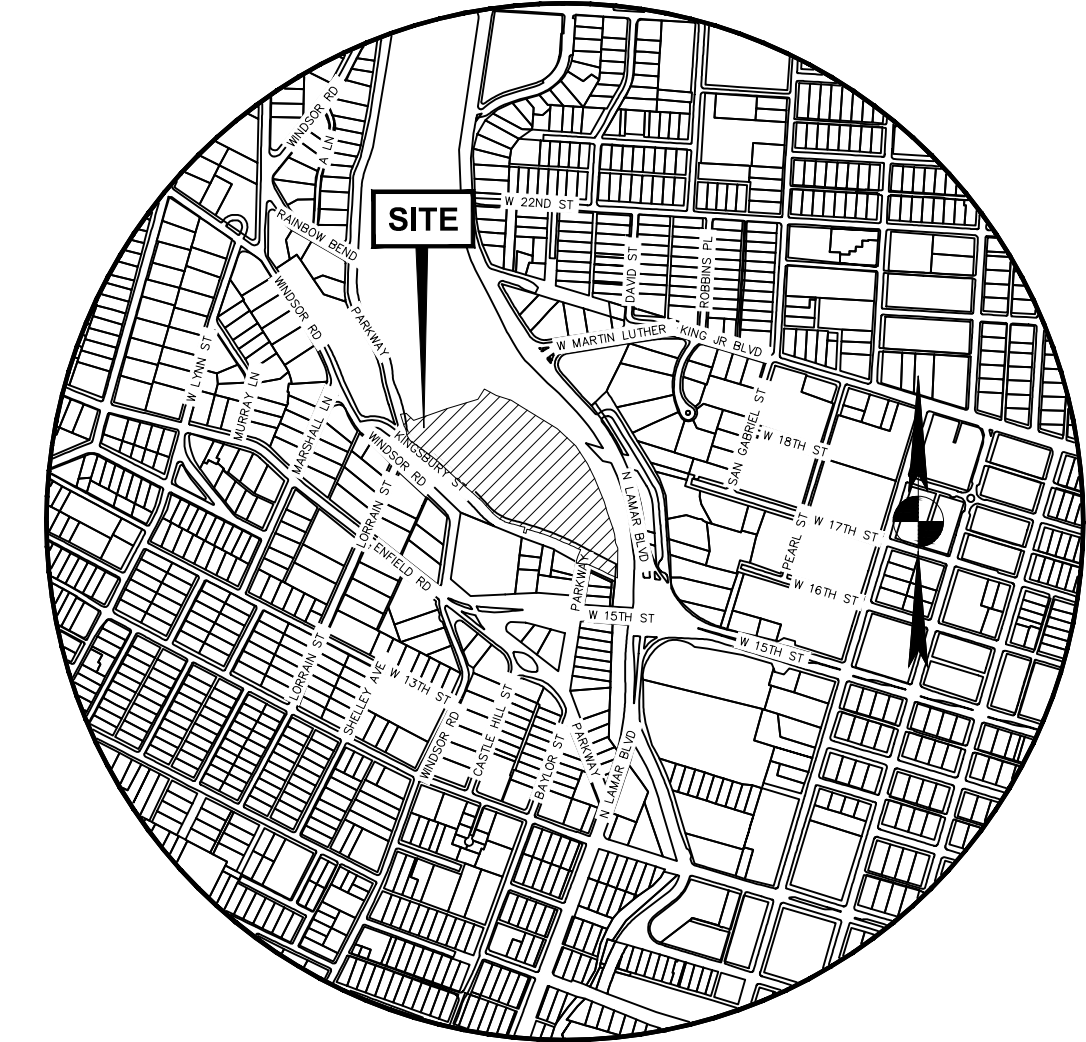
1. More adversely affect an adjoining site than would a permitted use; Staff response: The site plan will conform with all regulations and standards established by the Land Development Code prior to its release.
2. Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area; Staff response: The project is not anticipated to have any detriment to safety or convenience.
3. Adversely affect an adjacent property or traffic control through the location, lighting, or type of signs; Staff response: No signage or lighting is proposed that would affect adjacent properties or traffic control.

COMMISSION ACTION:

The Commission may either; approve, approve with conditions or deny the conditional use site plan permit.

To make a determination required for approval under Section 25-5-145 (Evaluation of Conditional Use Site Plan), the Land Use Commission may require that a conditional use site plan comply with a condition of approval that includes a requirement for:

- 1) A special yard, open space, buffer, fence, wall, or screen;
- 2) Landscaping or erosion;
- 3) A street improvement or dedication, vehicular ingress and egress, or traffic circulation;
- 4) Signs;
- 5) Characteristics of operation, including hours;
- 6) A development schedule; or
- 7) Other measures that the Land Use Commission determines are required for compatibility with surrounding uses or the preservation of public health, safety, or welfare.



VICINITY MAP
(MAPSCO GRID #584M / CITY GRID #H23)
N.T.S.

OWNER: CITY OF AUSTIN PARKS DEPARTMENT
919 W 28 1/2 ST.
AUSTIN, TX 78705
(512) 974-9456
D'ANNE WILLIAMS

DEVELOPER: PEASE PARK CONSERVANCY
P.O. BOX 50065
AUSTIN, TX 78763
(512) 633-7275
HEATH RIDDLES

LANDSCAPE ARCHITECT: TEN EYCK LANDSCAPE ARCHITECTS
1214 WEST SIXTH STREET, SUITE 100
AUSTIN, TX 78703
(512) 813-9999

ENGINEER: GARZA EMC, LLC.
7708 RIALTO BLVD, SUITE 125
AUSTIN, TEXAS 78735
(512) 298-3284

ARCHITECT: CLAYTON & LITTLE
2201 N. LAMAR BLVD
AUSTIN, TX 78705
(512) 477-1727

ARCHITECT: MELL LAWRENCE ARCHITECTS
913 W. GIBSON ST.
AUSTIN, TX 78704
(512) 441-4669

WATERSHED STATUS:

THIS PROJECT IS LOCATED WITHIN THE SHOAL CREEK WATERSHED, WHICH IS CLASSIFIED AS AN URBAN WATERSHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

FLOODPLAIN INFORMATION:

PORTIONS OF THE TRACT SHOWN HEREON LIE WITHIN THE FOLLOWING ZONES AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48453C0445J, DATED JANUARY 06, 2016, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
ZONE "AE": (AREAS DETERMINED TO BE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOODPLAIN). BASE FLOOD ELEVATIONS DETERMINED.
ZONE "X - 0.2%": (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
ZONE X: (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
FLOODPLAIN LINEWORK DATA RECEIVED FROM CITY OF AUSTIN GIS. THIS SITE IS NOTE LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

LEGAL DESCRIPTION:

42.26 AC OF OLT 8 DIVISION Z AND 12.85 AC OF OLT 12&13 DIVISION E.



7708 Rialto Blvd., Suite 125
Austin, Texas 78735
Tel. (512) 298-3284 Fax (512) 298-2592
TBPE # F-14629
Garza EMC, LLC © Copyright 2020

SITE DEVELOPMENT PERMIT PLANS

FOR

PEASE PARK KINGSBURY COMMONS

TRAFFIC CONTROL NOTES:

THIS NOTE IS BEING PLACED ON THE PLAN SET IN PLACE OF TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/REPRESENTATIVE FURTHER RECOGNIZE THAT REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.

BENCHMARK NOTE:

BM1: COTTON SPINDLE WITH WASHER SET IN ASPHALT ALONG THE EAST SIDE OF KINGSBURY STREET APPROX. 7' NORTHEAST OF A STREET SIGN AND APPROX. 38' SOUTH OF A 14" CEDAR TREE (TREE TAG #15536).
ELEVATION = 524.45'
BM2: SQUARE CUT ON CONCRETE PAD CONTAINING A TRAFFIC SIGNAL BOX ALONG THE WEST SIDE OF SOUTH LAMAR AT THE INTERSECTION OF WEST MLK AND SOUTH LAMAR BEING ADJACENT TO A BUS STOP APPROX. 36' EAST OF A 6" CEDAR ELM (TREE TAG #15037) AND APPROX. 36' SOUTH OF A STORM SEWER MANHOLE.
ELEVATION = 485.08'
BM3: SQUARE CUT ON CONC. WALL ALONG EAST SIDE OF KINGSBURY STREET APPROX. 58' EAST OF THE INTERSECTION OF KINGSBURY STREET AND PARKWAY AND APPROX. 11' WEST OF A 6" CEDAR ELM (TREE TAG #15380).
ELEVATION = 478.37'
VERTICAL DATUM: NAVD 88 (GEOID 09 OR 12B)

NOTES:

1. NO PORTION OF THIS PROJECT IS LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.
2. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
3. THIS SITE PLAN QUALIFIES AS PARTIALLY COMPLIANT FOR SUBCHAPTER E OF THE LAND DEVELOPMENT CODE (DESIGN STANDARDS AND MIXED USE).
4. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENT ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.
5. PARTICIPATION IN THE REGIONAL STORMWATER MANAGEMENT PROGRAM WAS GRANTED FOR THIS SITE ON SEPTEMBER 27, 2019 BY THE CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT, OFFICE OF THE DIRECTOR.
6. FOR INTEGRATED PEST MANAGEMENT PLAN, SEE AGREEMENT FILED IN DOCUMENT NO. _____, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.
7. THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 974-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.
8. THE SITE IS WITHIN THE CAPITOL OF TEXAS HIGHWAY CAPITOL VIEW CORRIDOR(S), REFERENCE CVC CASE #C17-2019-0080.
9. AS DISCUSSED WITH KATINA BOHRER ON OCTOBER 21, 2019, DRAINAGE EASEMENT EQUIVALENT AS REQUIRED IN LDC 25-7-152 TO CONTAIN THE 100-YEAR FLOODPLAIN MUST BE RECORDED PRIOR TO CERTIFICATION OF COMPLIANCE OR CO. CONTACT KAROL MENHARD AT 512 974 3373 TO CONFIRM DEDICATION.

PERMIT NO. : SPC-2018-0417C
UC TRACKING NO. : UCC-180830-01-01
R.O.W. ID. : 12000874

ADDRESS : 1100 KINGSBURY STREET AUSTIN, TX 78703

SUBMITTAL DATE : SEPTEMBER 14, 2018

SUBMITTED BY :
JULIA MRNAK, P.E.
GARZA EMC, LLC.
7708 RIALTO BLVD, SUITE 125
AUSTIN, TEXAS 78735
(512) 298-3284

DATE



PLAN SUBMITTALS:

NO.	DATE	COMMENTS
1	9/14/2018	COMPLETENESS
2	10/15/2018	FORMAL
3	01/11/2019	UPDATE #1
4	06/25/2019	UPDATE #2

I, JULIA MRNAK, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

APPROVED FOR ACCEPTANCE:

DEVELOPMENT SERVICES DEPARTMENT DATE

CITY OF AUSTIN FIRE DEPARTMENT DATE

AUSTIN WATER UTILITY DEPARTMENT DATE

INDUSTRIAL WASTE DATE

CITY OF AUSTIN TRANSPORTATION DEPARTMENT DATE

SHEET

01

OF 61

SHEET INDEX

SHEET NO.	DESCRIPTION
01	COVER SHEET
02	GENERAL NOTES
03	AUSTIN WATER GENERAL INFORMATION AND CONSTRUCTION NOTES
04	SURVEY SHEET
05	MASTER EXISTING CONDITIONS AND DEMOLITION PLAN
06	EXISTING CONDITIONS AND DEMOLITION PLAN A
07	EXISTING CONDITIONS AND DEMOLITION PLAN B
08	EXISTING CONDITIONS AND DEMOLITION PLAN C
09	EXISTING CONDITIONS AND DEMOLITION PLAN D
10	EXISTING CONDITIONS AND DEMOLITION PLAN E
11	OVERALL PEASE PARK
12	MASTER EROSION AND SEDIMENTATION CONTROL PLAN
13	EROSION AND SEDIMENTATION CONTROL PLAN A
14	EROSION AND SEDIMENTATION CONTROL PLAN B
15	EROSION AND SEDIMENTATION CONTROL PLAN C
16	EROSION AND SEDIMENTATION CONTROL PLAN D
17	EROSION AND SEDIMENTATION CONTROL PLAN E
18	EROSION AND SEDIMENTATION CONTROL DETAILS SHEET 1
19	EROSION AND SEDIMENTATION CONTROL DETAILS SHEET 2
20	MASTER SITE PLAN
21	SITE AND PAVING PLAN A
22	SITE AND PAVING PLAN B
23	SITE AND PAVING PLAN C
24	SITE AND PAVING PLAN D
25	SITE AND PAVING PLAN E
26	SITE PLAN DETAILS 1
27	SITE PLAN DETAILS 2
28	MASTER GRADING PLAN
29	GRADING PLAN A
30	GRADING PLAN B
31	GRADING PLAN C
32	GRADING PLAN D
33	GRADING PLAN E
34	OVERALL WATERSHED PLAN
35	EXISTING DRAINAGE AREA MAP
36	PROPOSED DRAINAGE AREA MAP
37	PROPOSED DRAINAGE PLAN
38	MASTER WATER QUALITY PLAN
39	PROPOSED WATER QUALITY PLAN 1
40	PROPOSED WATER QUALITY PLAN 2
41	WATER QUALITY DETAILS
42	UTILITY PLAN
43	UTILITY DETAILS
44	LANDSCAPE NOTES
45	TREE INVENTORY A
46	TREE INVENTORY B
47	TREE INVENTORY C
48	PLANTING PLAN — KEY PLAN
49	TREE MITIGATION PLAN A
50	TREE MITIGATION PLAN B
51	RAIN GARDEN — PLANTING PLAN
52	PLANTING DETAILS
53	HARDSCAPE DETAILS
54	HARDSCAPE DETAILS
55	HARDSCAPE DETAILS
56	ELEVATIONS BLDG A AND B
57	ELEVATIONS BLDG B AND C
58	TREESCAPE, PLAN ELEVATION, & SECTION
59	PIPING AND INSTRUMENTAL DIAGRAM
60	ELECTRICAL ONE-LINE DRAWING

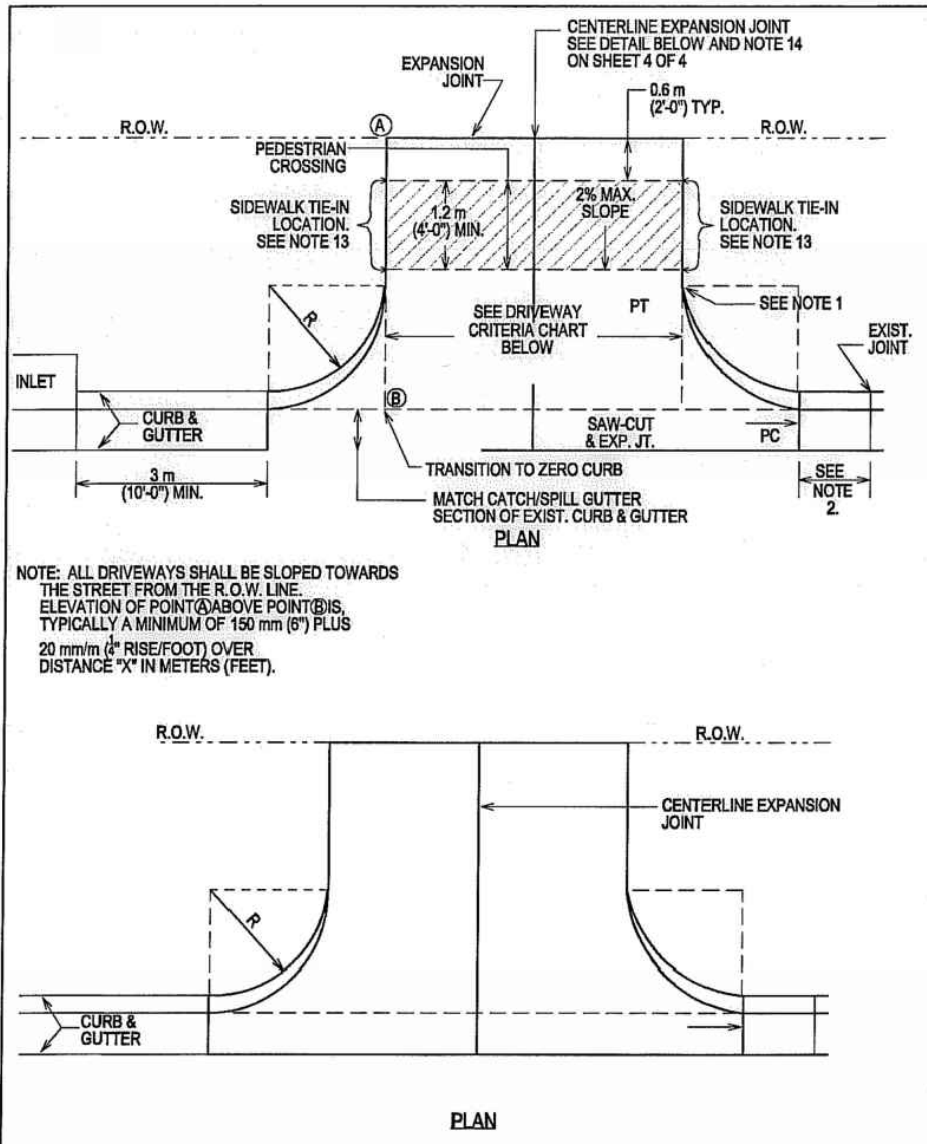
NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (sq. ft.)	TOTAL SITE IMP. COVER (sq. ft.) [%]	CITY OF AUSTIN APPROVAL/DATE	DATE IMAGED

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 01 of 81
FILE NUMBER: SPC-2018-0417C APPLICATION DATE: SEPTEMBER 14, 2018
APPROVED BY COMMISSION ON: UNDER SECTION 148 OF
CHAPTER 265 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER: JONATHAN DAVILA
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: ZONING: P
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

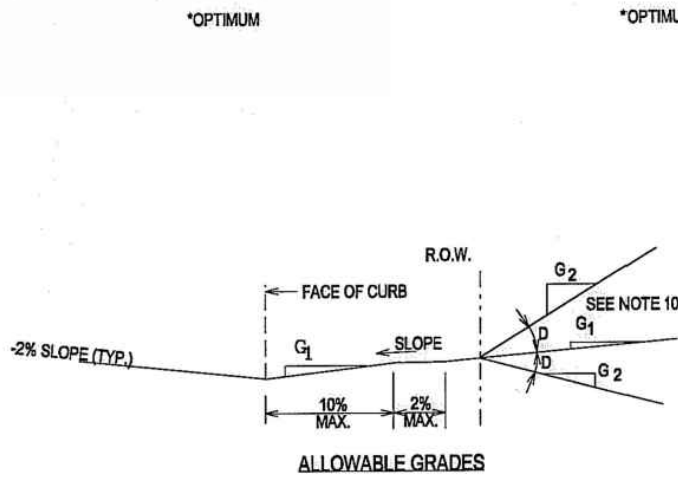
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



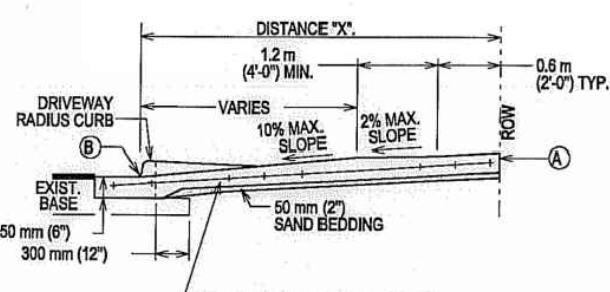
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)	STANDARD NO.
<i>[Signature]</i> 10-19-09 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	433S-1 1 OF 4

DRIVEWAY CRITERIA	WIDTH METERS (FEET)
USE	MIN. OPT. MAX.
SIN. FAMILY	1.80 (5.9) 2.50 (8.2) 3.00 (9.8)
DUPLEX	1.50 (4.9) 2.00 (6.6) 2.50 (8.2)
TOWN HOME	1.50 (4.9) 2.00 (6.6) 2.50 (8.2)

RADIUS DIMENSION METERS (FEET)			
USE	MIN.	*OPT.	MAX.
SINGLE	1.5	1.5	3.0
FAMILY	(5)	(5)	(10)
DUPLEX	1.5	2.4	3.0
	(5)	(8)	(10)
TOWN HOME	1.5	2.4	3.0
	(5)	(8)	(10)



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)	STANDARD NO.
<i>[Signature]</i> 10-19-09 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	433S-1 3 OF 4



REINFORCEMENT SHALL ACCURATELY BE PLACED AT 125 mm (5") MIN. CLASS A CONCRETE WITH 100 & 150 mm (4 & 6") S.P. OR 150 mm X 150 mm X 150 mm (6" X 6" X 6") S.P. MINIMUM.

CROSS SECTION

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)	STANDARD NO.
<i>[Signature]</i> 10-19-09 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	433S-1 2 OF 4

- NOTES:
1. ZERO CURB AT PT OR SIDEWALK EDGE, WHICHEVER IS ENCOUNTERED FIRST. THE DRIVEWAY EDGE SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK BEGINNING AT THE RADIUS PC LINE.
 2. IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET), REMOVE CURB AND GUTTER TO EXISTING JOINT AND POUR MONOLITHICALLY WITH THE DRIVEWAY.
 3. IF THE BASE IS OVER EXCAVATED WHERE THE CURB AND GUTTER WAS REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
 4. ALL DRIVEWAYS MUST BE CONSTRUCTED WITHIN THE STREET FRONTAGE OF THE SUBJECT PROPERTY AS DETERMINED BY EXTENDING THE SIDE PROPERTY LINES TO THE CURB.
 5. DRIVEWAYS SHALL NOT EXCEED 70% OF A LOT'S STREET FRONTAGE.
 6. TYPE I DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTING RIGHTS-OF-WAY THAN 60% OF PARCEL FRONTAGE OR 15 METERS (50 FEET), WHICHEVER IS LESS.
 7. DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
 8. SINGLE FAMILY LOTS LIMITED TO ONE DRIVEWAY EXCEPT FOR APPROVED SEMICIRCULAR DRIVES.
 9. WHEN TWO DRIVEWAYS ARE USED (ONE PER UNIT, TWO MAXIMUM) FOR DUPLEXES AND TOWN HOMES, SINGLE FAMILY STANDARDS SHALL APPLY.
 10. WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GRASS BREAKS WITHIN PRIVATE PROPERTY, THE FIRE DEPARTMENT SHOULD BE CONSULTED WHERE THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND 10" IS GREATER THAN 15% "ST" PLUS "D" SHOULD NOT EXCEED 15%.
 11. SEE TRANSPORTATION MANUAL, SECTION 5 FOR OTHER DRIVEWAY REQUIREMENTS.
 12. USE 12 mm (1/2") ASPHALT BOARD, OR OTHER APPROVED MATERIAL, FOR CURB AND GUTTER EXPANSION JOINTS.
 13. THE SIDEWALK, REGARDLESS OF ITS LOCATION WITH RESPECT TO THE CURB OR PROPERTY LINE, SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
 14. PLACE AN EXPANSION JOINT DOWN THE CENTER OF ALL DRIVEWAYS.
 15. WATER METER BOXES AND WASTEWATER CLEAN OUTS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)	STANDARD NO.
<i>[Signature]</i> 10-19-09 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	433S-1 4 OF 4

FOR CITY USE ONLY:

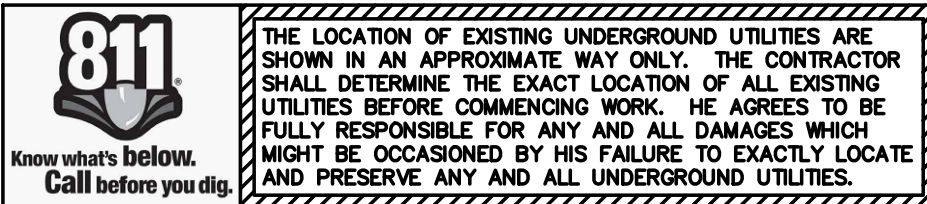
SITE PLAN APPROVAL Sheet 27 of 61
FILE NUMBER: **SPC-2018-0417C** APPLICATION DATE: **September 14, 2018**
APPROVED BY COMMISSION ON: _____ UNDER SECTION **148** OF
CHAPTER **25-4** OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC) _____ CASE MANAGER **Jonathan Devlin**
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: **P**

Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



SITE PLAN DETAILS 2

PEASE PARK KINGSBURY COMMONS
1100 KINGSBURY STREET AUSTIN, TX 78703
PEASE PARK CONSERVANCY

DRAWN BY: JV
DESIGNED BY: CA, AM
CA / OC: JM
PROJECT NO.: 113587-0001

SHEET
27
OF 61

REVISION NO. DATE

APPROVAL

garza
7708 Rialto Blvd., Suite 125
Austin, Texas 78725
Tel: (512) 298-3284 Fax: (512) 298-2592
TBPE # F-14629
Garza EMC, LLC © Copyright 2020

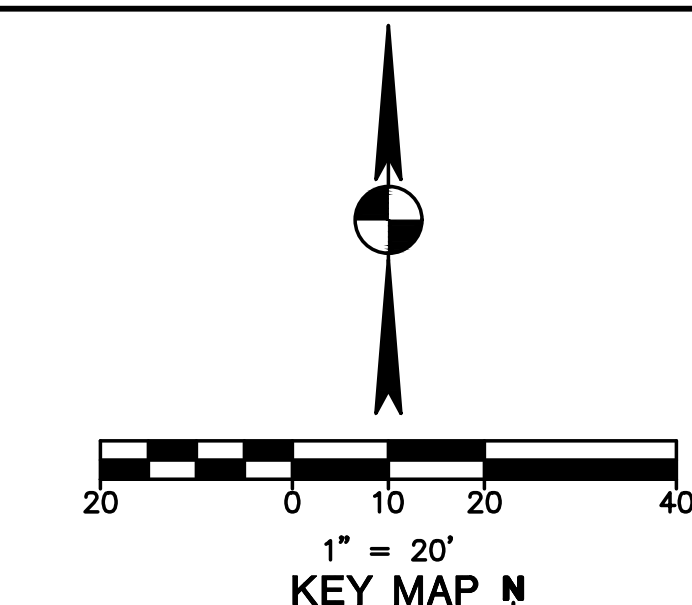
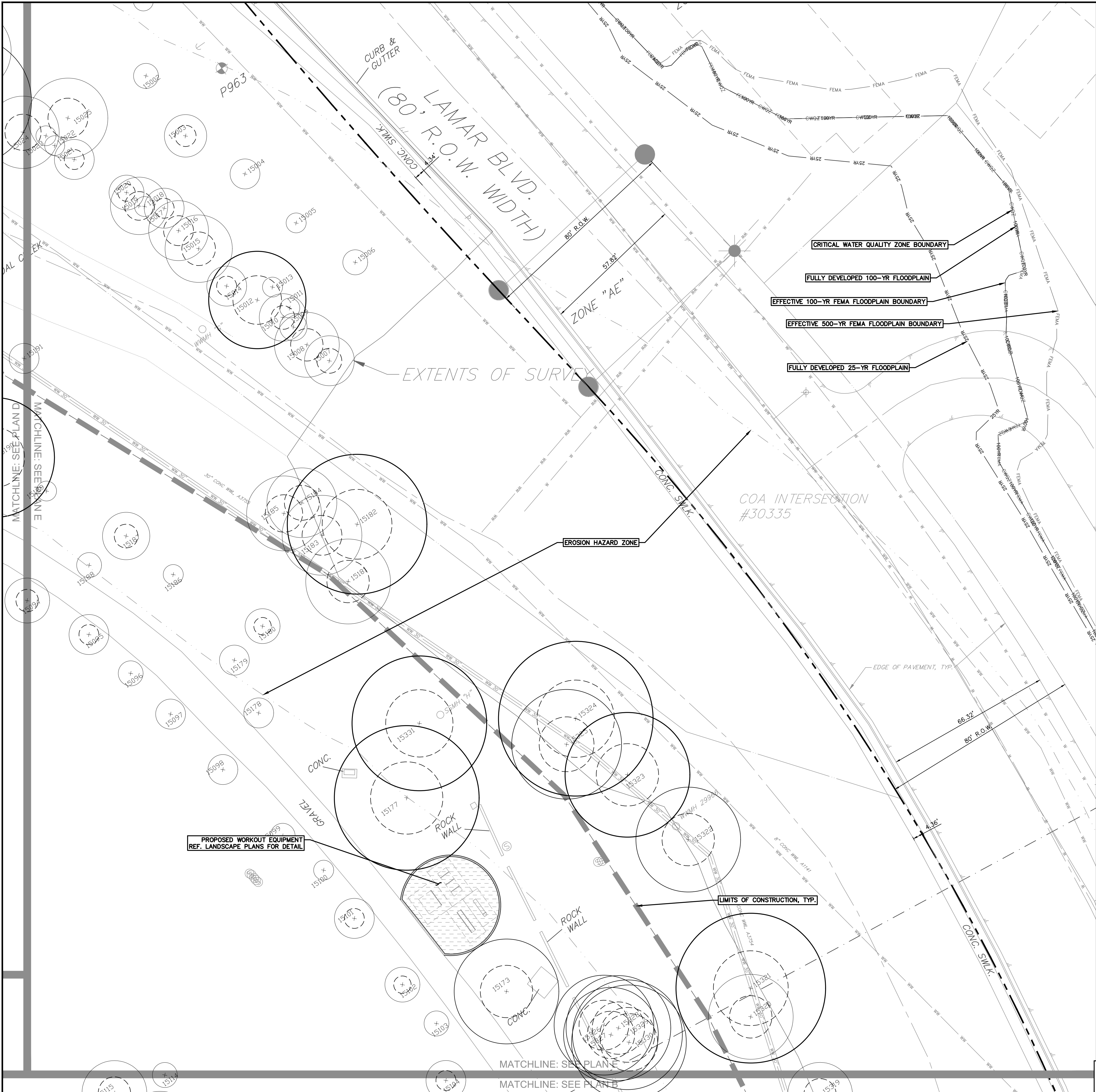
STATE OF TEXAS
JULIA MRSNA
113030
LICENSE
12/20/2019

[illegible]

COMMONS N, TX 78703	SITE PLAN DETAILS

<div style="float: right; width: 100px;">STRIPE ®</div>		PEASE PARK KINGSBURY CO 1100 KINGSBURY STREET AUSTIN TX 78762-9001	PEASE PARK CONSERVATION
NOV 14, 2018 L OF Nathan Devlin DDZ _____	JV	BY: CA, AM	NO.: 119587-00001

DATE, IF
WITH THE
LLING
PERMIT IS
ECT



LEGEND

EXISTING	PROPOSED	DESCRIPTION
(000)		PROPERTY LINE / (R.O.W.) LINE
○		RECORD INFORMATION
○		LIGHT POLE
○		GROUND LIGHT
○		POWER POLE
○		DOWN GUY
○		TELEPHONE MANHOLE
○		WATER MANHOLE
○		WATER LINE MARKER
○		UNDERGROUND CABLE MARKER
○		UNDERGROUND GAS LINE MARKER
○		UNDERGROUND TELEPHONE MARKER
○		GAS RISER
○		TELEPHONE RISER
○		SPRINKLER CONTROL BOX
○		SWITCH GEAR & PAD
○		TRANSFORMER (SIZE VARIES)
○		FIRE HYDRANT
○		WATER VALVE
○		WATER METER
○		WATER METER VAULT (SIZE VARIES)
○		CABLE TV RISER
○		ELECTRIC BOX
○		ELECTRIC METER
○		GAS METER
○		GAS VALVE
○		TRAFFIC CONTROL BOX
○		TRAFFIC SIGNAL POST
○		GRATE INLET
○		CURB INLET (SIZE VARIES)
○		GREASE TRAP (SIZE VARIES)
○		OVERHEAD UTILITIES
○		ELECTRIC MANHOLE (SIZE VARIES)
○		WASTEWATER MANHOLE (SIZE VARIES)
○		STORMSEWER MANHOLE (SIZE VARIES)
○		TELEPHONE MANHOLE (SIZE VARIES)
○		WASTEWATER CLEANOUT
○		WOOD FENCE
○		CHAIN LINK FENCE
○		DUMPSTER
○		CURB & GUTTER
○		EDGE OF PAVEMENT
○		TIRE LANE DESIGNATION
○		HANDICAP ACCESS ROUTE
○		WALL
○		SIGN
○		WHEELSTOP
○		BOLLARD
○		FINISH FLOOR ELEVATION
○		PARKING COUNT (REGULAR SPACES)
○		PARKING COUNT (HANDICAP SPACES)
○		PARKING COUNT (PARALLEL SPACES)
○		HANDICAP SPACE
○		BIKE PARKING
○		BARRICADE
○		CONCRETE PAVING
○		STABILIZED DG PAVING, REF. LANDSCAPE
○		PERMEABLE PAVERS, REF. LANDSCAPE
○		FLAGSTONE PAVING, REF. LANDSCAPE
○		ENGINEERED WOOD MULCH, REF. LANDSCAPE
○		STONE PAVING, REF. LANDSCAPE
○		FLEXIBLE PAVEMENT, REF. MASTER SITE PLAN SHEET
○		TREE TO BE SAVED W/ HALF CRITICAL ROOT ZONE
○		HERITAGE/MATURE TREE W/ HALF CRITICAL ROOT ZONE
○		PROTECTED TREE W/ HALF CRITICAL ROOT ZONE

SITE PLAN KEY NOTES

- PROPOSED CONCRETE CURB AND GUTTER, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED STRIPING, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED CONCRETE SIDEWALK, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED RETAINING WALL, REF. STRUCTURAL FOR DETAIL
- PROPOSED DECORATIVE WALL, REF. LANDSCAPE PLANS FOR DETAIL
- TRAIL MAINTENANCE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BASKETBALL/SPORTS COURT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED SAND VOLLEYBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED PLAY EQUIPMENT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BOCCEBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- EXISTING TUTOR COTTAGE BUILDING, REF. LANDSCAPE PLANS FOR DETAIL
- BATHROOM ENTRANCE
- MAINTENANCE BUILDING ENTRANCE
- PROPOSED PEDESTRIAN CROSSWALK, REF. LANDSCAPE FOR DETAIL
- PROPOSED CONCRETE PAVING
- PROPOSED RAIN GARDEN, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED STONE BLOCK, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED STANDARD CURB TO LAYDOWN CURB TRANSITION
- PROPOSED HANDICAP SIGN, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED RAMP, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED FENCE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED SIDEWALK DRAINAGE CROSSING, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED DUMPSTERS, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED LIGHT FIXTURE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BIKE RACKS, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED WHEELSTOP, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED SIGNAGE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED 4" BOLLARD, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED FLOODPLAIN PARKING SIGNAGE, REF. SITE PLAN DETAILS 1 SHEET
- RELOCATED UTILITY POLE
- RELOCATED OVERHEAD ELECTRIC LINE
- PROPOSED DEAD END SIGN, REF. SITE PLAN DETAILS 1 SHEET

NOTE: THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 574-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 25 of 61		APPLICATION DATE: September 14, 2018
FILE NUMBER: SPC-2018-0417C		APPROVED BY COMMISSION ON: UNDER SECTION 148 OF
CHAPTER 25-A OF THE CITY OF AUSTIN		CASE MANAGER Jonathan Devlin
EXPIRATION DATE (25-5-81.LDC)		PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ
Director, Development Services Department:		
RELEASED FOR GENERAL COMPLIANCE: ZONING: P		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

7708 Rialto Blvd., Suite 125
Austin, Texas 78725
Tel: (512) 298-3284 Fax: (512) 298-2592
TBPE # F-14639
Garza EMC, LLC © Copyright 2019

DATE: 12/20/2019

REVISION: NO.

APPROVAL:

PEASE PARK KINGSBURY COMMONS

1100 KINGSBURY STREET AUSTIN, TX 78703

PEASE PARK CONSERVANCY

DRAWN BY: JV

DESIGNED BY: CA, AM

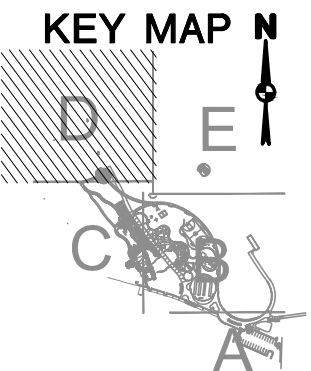
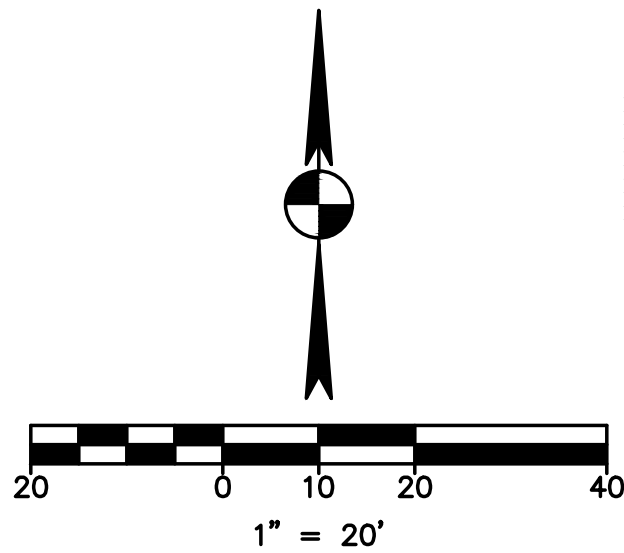
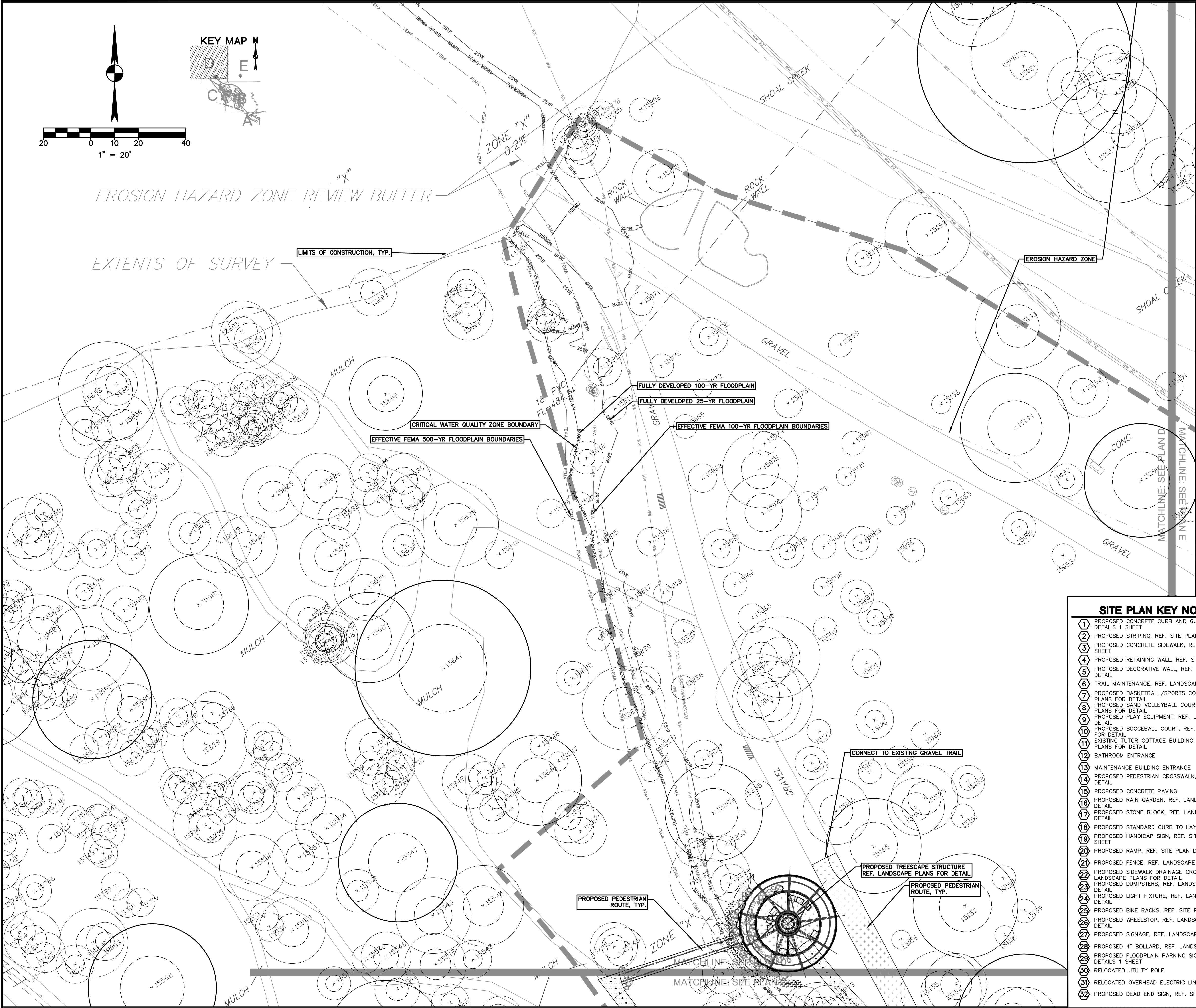
QA / QC: JM

PROJECT NO.: 113587-0001

SHEET

25

OF 61



LEGEND

EXISTING	PROPOSED	DESCRIPTION
(000)		PROPERTY LINE (R.O.W.) LINE
		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN GUY
		TELEPHONE MANHOLE
		WATER MANHOLE
		WATER LINE MARKER
		UNDERGROUND CABLE MARKER
		UNDERGROUND GAS LINE MARKER
		UNDERGROUND TELEPHONE MARKER
		GAS RISER
		TELEPHONE RISER
		SPRINKLER CONTROL BOX
		SWITCH GEAR & PAD
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		OVERHEAD UTILITIES
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		WASTEWATER CLEANOUT
		WOOD FENCE
		CHAIN LINK FENCE
		DUMPSTER
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		WALL
		WHEELSTOP
		BOLLARD
		FINISH FLOOR ELEVATION
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (HANDICAP SPACES)
		PARKING COUNT (PARALLEL SPACES)
		HANDICAP SPACE
		BIKE PARKING
		BARRICADE
		CONCRETE PAVING
		STABILIZED DG PAVING, REF.
		LANDSCAPE
		PERMEABLE PAVERS, REF. LANDSCAPE
		FLAGSTONE PAVING, REF. LANDSCAPE
		ENGINEERED WOOD MULCH, REF. LANDSCAPE
		STONE PAVING, REF. LANDSCAPE
		FLEXIBLE PAVEMENT, REF. MASTER SITE PLAN SHEET
		TREE TO BE SAVED W/ HALF CRITICAL ROOT ZONE
		HERITAGE/NATIVE TREE W/ HALF CRITICAL ROOT ZONE
		PROTECTED TREE W/ HALF CRITICAL ROOT ZONE

SITE PLAN KEY NOTES

- 1 PROPOSED CONCRETE CURB AND GUTTER, REF. SITE PLAN DETAILS 1 SHEET
- 2 PROPOSED STRIPING, REF. SITE PLAN DETAILS 1 SHEET
- 3 PROPOSED CONCRETE SIDEWALK, REF. SITE PLAN DETAILS 1 SHEET
- 4 PROPOSED RETAINING WALL, REF. STRUCTURAL FOR DETAIL
- 5 PROPOSED DECORATIVE WALL, REF. LANDSCAPE PLANS FOR DETAIL
- 6 TRAIL MAINTENANCE, REF. LANDSCAPE PLANS FOR DETAIL
- 7 PROPOSED BASKETBALL/SPORTS COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 8 PROPOSED SAND VOLLEYBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 9 PROPOSED PLAY EQUIPMENT, REF. LANDSCAPE PLANS FOR DETAIL
- 10 PROPOSED BOCCERBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 11 EXISTING TUTOR COTTAGE BUILDING, REF. LANDSCAPE PLANS FOR DETAIL
- 12 BATHROOM ENTRANCE
- 13 MAINTENANCE BUILDING ENTRANCE
- 14 PROPOSED PEDESTRIAN CROSSWALK, REF. LANDSCAPE FOR DETAIL
- 15 PROPOSED CONCRETE PAVING
- 16 PROPOSED RAIN GARDEN, REF. LANDSCAPE PLANS FOR DETAIL
- 17 PROPOSED STONE BLOCK, REF. LANDSCAPE PLANS FOR DETAIL
- 18 PROPOSED STANDARD CURB TO LAYDOWN CURB TRANSITION
- 19 PROPOSED HANDICAP SIGN, REF. SITE PLAN DETAILS 1 SHEET
- 20 PROPOSED RAMP, REF. SITE PLAN DETAILS 1 SHEET
- 21 PROPOSED FENCE, REF. LANDSCAPE PLANS FOR DETAIL
- 22 PROPOSED SIDEWALK DRAINAGE CROSSING, REF. LANDSCAPE PLANS FOR DETAIL
- 23 PROPOSED DUMPSTERS, REF. LANDSCAPE PLANS FOR DETAIL
- 24 PROPOSED LIGHT FIXTURE, REF. LANDSCAPE PLANS FOR DETAIL
- 25 PROPOSED BIKE RACKS, REF. SITE PLAN DETAILS 1 SHEET
- 26 PROPOSED WHEELSTOP, REF. LANDSCAPE PLANS FOR DETAIL
- 27 PROPOSED SIGNAGE, REF. LANDSCAPE PLANS FOR DETAIL
- 28 PROPOSED 4" BOLLARD, REF. LANDSCAPE PLANS FOR DETAIL
- 29 PROPOSED FLOODPLAIN PARKING SIGNAGE, REF. SITE PLAN DETAILS 1 SHEET
- 30 RELOCATED UTILITY POLE
- 31 RELOCATED OVERHEAD ELECTRIC LINE
- 32 PROPOSED DEAD END SIGN, REF. SITE PLAN DETAILS 1 SHEET



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 24 of 81
FILE NUMBER: SPC-2018-04170 APPLICATION DATE: September 14, 2018
APPROVED BY COMMISSION ON: UNDER SECTION 148 OF CHAPTER 165 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER Jonathan Devlin
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ
Director, Development Services Department:
RELEASED FOR GENERAL COMPLIANCE: ZONING: P
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

APPROVAL

REVISION

DATE

NO.

7708 Rialto Blvd., Suite 125
Austin, Texas 78725
Tel: (512) 298-3284 Fax: (512) 298-2592
TBPE # F-14629
Garza EMC, LLC © Copyright 2019

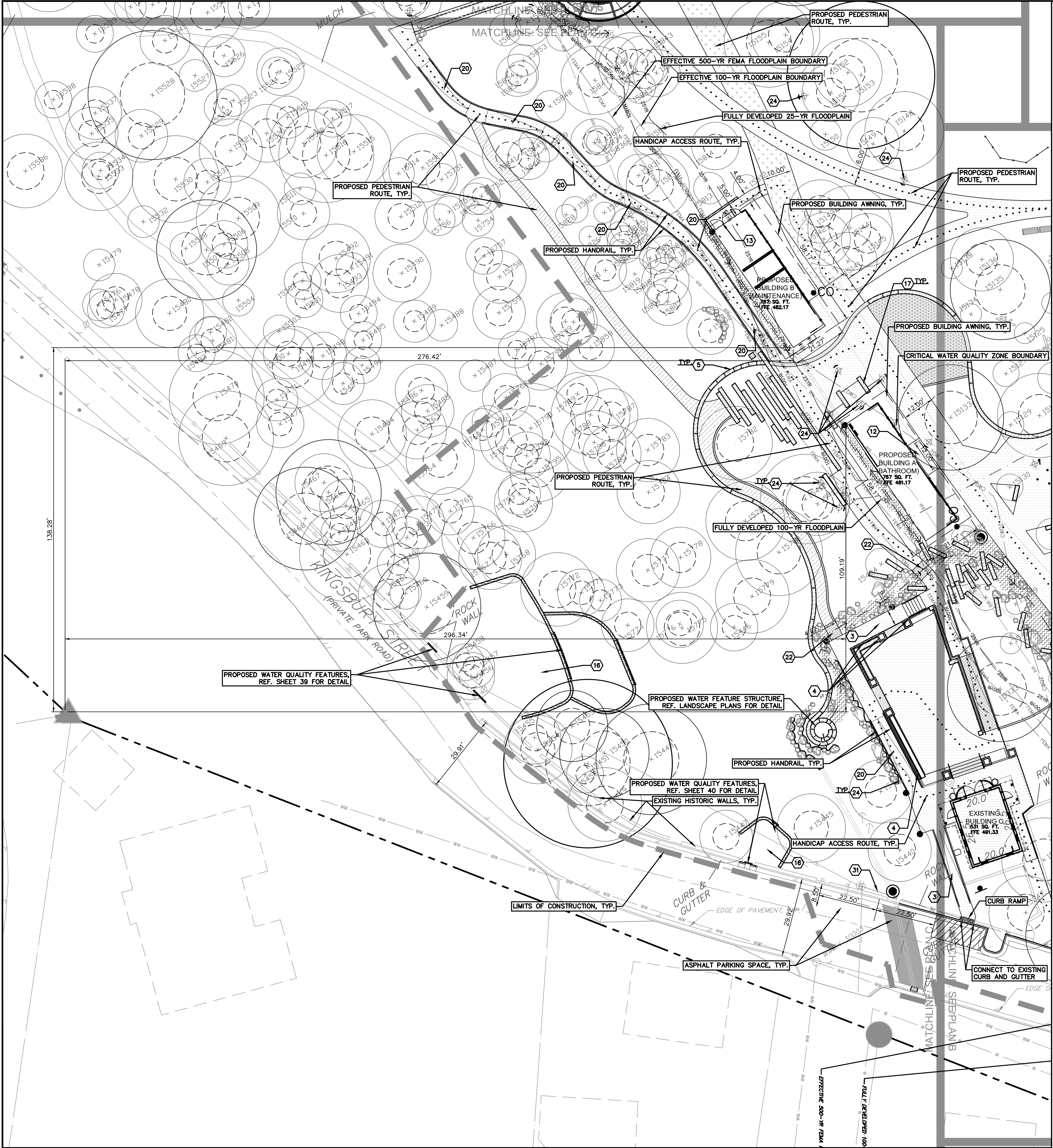
SITE AND PAVING PLAN D

PEASE PARK KINGSBURY COMMONS
1100 KINGSBURY STREET AUSTIN, TX 78703

PEASE PARK CONSERVANCY

DRAWN BY: JV
DESIGNED BY: CA, AM
QA / QC: JM
PROJECT NO.: 113587-00001

SHEET
24
OF
61



SITE PLAN KEY NOTES

- 1 PROPOSED CONCRETE CURB AND GUTTER, REF. SITE PLAN DETAILS 1 SHEET
- 2 PROPOSED STRIPING, REF. SITE PLAN DETAILS 1 SHEET
- 3 PROPOSED CONCRETE SIDEWALK, REF. SITE PLAN DETAILS 1 SHEET
- 4 PROPOSED RETAINING WALL, REF. STRUCTURAL FOR DETAIL
- 5 PROPOSED DECORATIVE WALL, REF. LANDSCAPE PLANS FOR DETAIL
- 6 TRAIL MAINTENANCE, REF. LANDSCAPE PLANS FOR DETAIL
- 7 PROPOSED BASKETBALL/SPORTS COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 8 PROPOSED SAND VOLLEYBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 9 PROPOSED PLAY EQUIPMENT, REF. LANDSCAPE PLANS FOR DETAIL
- 10 PROPOSED BOCCEBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 11 EXISTING TUTOR COTTAGE BUILDING, REF. LANDSCAPE PLANS FOR DETAIL
- 12 BATHROOM ENTRANCE
- 13 MAINTENANCE BUILDING ENTRANCE
- 14 PROPOSED PEDESTRIAN CROSSWALK, REF. LANDSCAPE FOR DETAIL
- 15 PROPOSED CONCRETE PAVING
- 16 PROPOSED RAIN GARDEN, REF. LANDSCAPE PLANS FOR DETAIL
- 17 PROPOSED STONE BLOCK, REF. LANDSCAPE PLANS FOR DETAIL
- 18 PROPOSED STANDARD CURB TO LAYDOWN CURB TRANSITION
- 19 PROPOSED HANDICAP SIGN, REF. SITE PLAN DETAILS 1 SHEET
- 20 PROPOSED RAMP, REF. SITE PLAN DETAILS 1 SHEET
- 21 PROPOSED FENCE, REF. LANDSCAPE PLANS FOR DETAIL
- 22 PROPOSED SIDEWALK DRAINAGE CROSSING, REF. LANDSCAPE PLANS FOR DETAIL
- 23 PROPOSED DUMPSTERS, REF. LANDSCAPE PLANS FOR DETAIL
- 24 PROPOSED LIGHT FIXTURE, REF. LANDSCAPE PLANS FOR DETAIL
- 25 PROPOSED BIKE RACKS, REF. SITE PLAN DETAILS 1 SHEET
- 26 PROPOSED WHEELSTOP, REF. LANDSCAPE PLANS FOR DETAIL
- 27 PROPOSED SIGNAGE, REF. LANDSCAPE PLANS FOR DETAIL
- 28 PROPOSED 4" BOLLARD, REF. LANDSCAPE PLANS FOR DETAIL
- 29 PROPOSED FLOODPLAIN PARKING SIGNAGE, REF. SITE PLAN DETAILS 1 SHEET
- 30 RELOCATED UTILITY POLE
- 31 RELOCATED OVERHEAD ELECTRIC LINE
- 32 PROPOSED DEAD END SIGN, REF. SITE PLAN DETAILS 1 SHEET

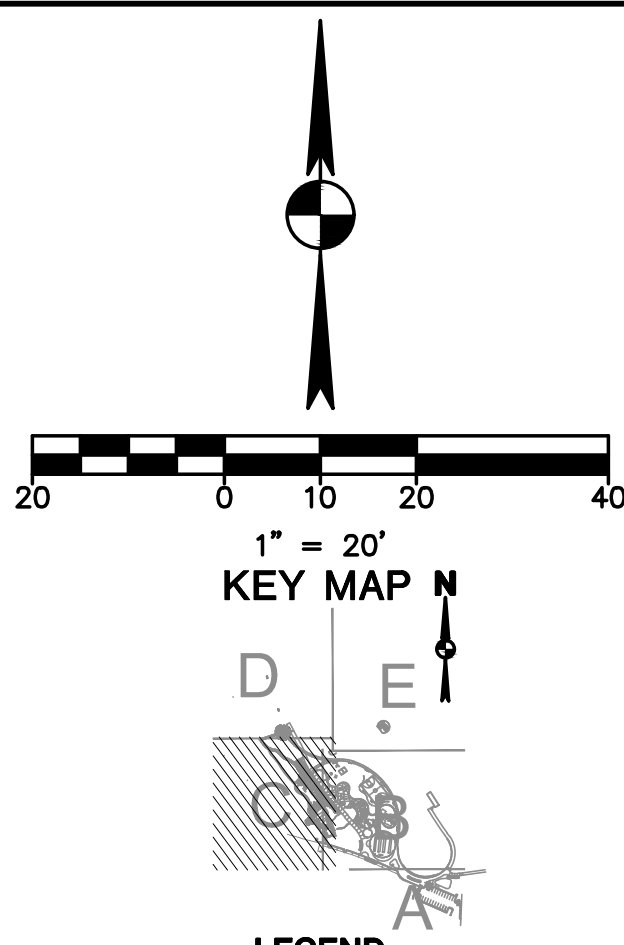
NOTE: THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 974-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 23 of 61
FILE NUMBER: SPC-2018-0417C APPLICATION DATE: September 14, 2018
APPROVED BY COMMISSION ON: UNDER SECTION 148 OF
CHAPTER 25-4 OF THE CITY OF AUSTIN
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER Jonathan Devlin
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ
Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: ZONING: P
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



EXISTING	PROPOSED	DESCRIPTION
(---)		PROPERTY LINE / (R.O.W.) LINE
RECORD		RECORD INFORMATION
☆		LIGHT POLE
○		GROUND LIGHT
○		POWER POLE
○		DOWN GUY
○		TELEPHONE MANHOLE
○		WATER MANHOLE
○		WATER LINE MARKER
○		UNDERGROUND CABLE MARKER
○		UNDERGROUND GAS LINE MARKER
○		UNDERGROUND TELEPHONE MARKER
○		GAS RISER
○		TELEPHONE RISER
○		SPRINKLER CONTROL BOX
○		SWITCH GEAR & PAD
○		TRANSFORMER (SIZE VARIES)
○		FIRE HYDRANT
○		WATER VALVE
○		WATER METER
○		WATER METER VAULT (SIZE VARIES)
○		CABLE TV RISER
○		ELECTRIC BOX
○		ELECTRIC METER
○		GAS METER
○		GAS VALVE
○		TRAFFIC CONTROL BOX
○		TRAFFIC SIGNAL POST
○		GRATE INLET
○		CURB INLET (SIZE VARIES)
○		GREASE TRAP (SIZE VARIES)
○		OVERHEAD UTILITIES
○		ELECTRIC MANHOLE (SIZE VARIES)
○		WASTEWATER MANHOLE (SIZE VARIES)
○		STORMSEWER MANHOLE (SIZE VARIES)
○		TELEPHONE MANHOLE (SIZE VARIES)
○		WASTEWATER CLEANOUT
○		WOOD FENCE
○		CHAIN LINK FENCE
○		DUMPSTER
○		CURB & GUTTER
○		EDGE OF PAVEMENT
○		FIRE LANE DESIGNATION
○		HANDICAP ACCESS ROUTE
○		WALL
○		SIGN
○		WHEELSTOP
○		BOLLARD
○		FINISH FLOOR ELEVATION
○		PARKING COUNT (REGULAR SPACES)
○		PARKING COUNT (HANDICAP SPACES)
○		PARKING COUNT (PARALLEL SPACES)
○		HANDICAP SPACE
○		BIKE PARKING
○		BARRICADE
○		CONCRETE PAVING
○		STABILIZED DG PAVING, REF. LANDSCAPE
○		PERMEABLE PAVERS, REF. LANDSCAPE
○		FLAGSTONE PAVING, REF. LANDSCAPE
○		ENGINEERED WOOD MULCH, REF. LANDSCAPE
○		STONE PAVING, REF. LANDSCAPE
○		FLEXIBLE PAVEMENT, REF. MASTER SITE PLAN SHEET
○		TREE TO BE SAVED W/ HALF CRITICAL ROOT ZONE
○		HERITAGE/MATURE TREE W/ HALF CRITICAL ROOT ZONE
○		PROTECTED TREE W/ HALF CRITICAL ROOT ZONE

SITE AND PAVING PLAN C

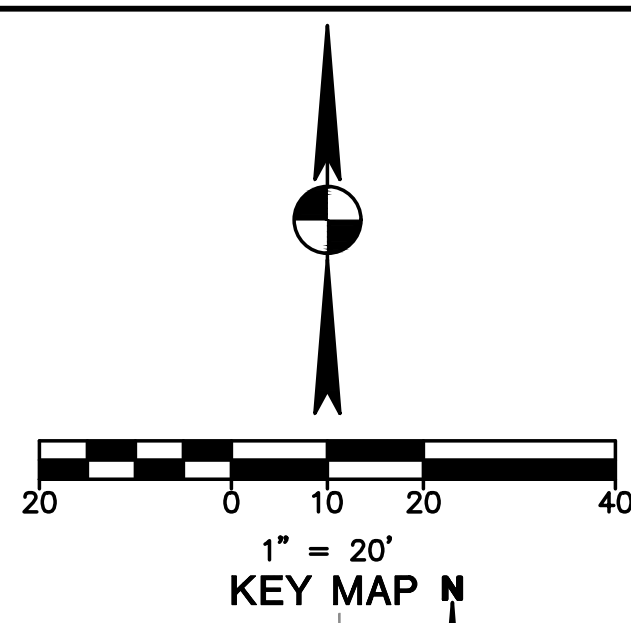
PEASE PARK KINGSBURY COMMONS
1100 KINGSBURY STREET AUSTIN, TX 78703

PEASE PARK CONSERVANCY

DRAWN BY: JV
DESIGNED BY: CA, AM
QA / QC: JM

PROJECT NO.: 115897-00001

SHEET
23
OF 61



EXISTING	PROPOSED	DESCRIPTION
1" = 20'		PROPERTY LINE / (R.O.W.) LINE
1" = 20'		RECORD INFORMATION
1" = 20'		LIGHT POLE
1" = 20'		GROUND LIGHT
1" = 20'		POWER POLE
1" = 20'		DOWN GUY
1" = 20'		TELEPHONE MANHOLE
1" = 20'		WATER MANHOLE
1" = 20'		WATER LINE MARKER
1" = 20'		UNDERGROUND CABLE MARKER
1" = 20'		UNDERGROUND GAS LINE MARKER
1" = 20'		UNDERGROUND TELEPHONE MARKER
1" = 20'		GAS RISER
1" = 20'		TELEPHONE RISER
1" = 20'		SPRINKLER CONTROL BOX
1" = 20'		SWITCH GEAR & PAD
1" = 20'		TRANSFORMER (SIZE VARIES)
1" = 20'		FIRE HYDRANT
1" = 20'		WATER VALVE
1" = 20'		WATER METER
1" = 20'		WATER METER VAULT (SIZE VARIES)
1" = 20'		CABLE TV RISER
1" = 20'		ELECTRIC BOX
1" = 20'		ELECTRIC METER
1" = 20'		GAS METER
1" = 20'		GAS VALVE
1" = 20'		TRAFFIC CONTROL BOX
1" = 20'		TRAFFIC SIGNAL POST
1" = 20'		GRATE INLET
1" = 20'		CURB INLET (SIZE VARIES)
1" = 20'		GREASE TRAP (SIZE VARIES)
1" = 20'		OVERHEAD UTILITIES
1" = 20'		ELECTRIC MANHOLE (SIZE VARIES)
1" = 20'		WASTEWATER MANHOLE (SIZE VARIES)
1" = 20'		STORMSEWER MANHOLE (SIZE VARIES)
1" = 20'		TELEPHONE MANHOLE (SIZE VARIES)
1" = 20'		WASTEWATER CLEANOUT
1" = 20'		WOOD FENCE
1" = 20'		CHAIN LINK FENCE
1" = 20'		DUMPSTER
1" = 20'		CURB & GUTTER
1" = 20'		EDGE OF PAVEMENT
1" = 20'		FIRE LANE DESIGNATION
1" = 20'		HANDICAP ACCESS ROUTE
1" = 20'		WALL
1" = 20'		WHEELSTOP
1" = 20'		BOLLARD
1" = 20'		FINISH FLOOR ELEVATION
1" = 20'		PARKING COUNT (REGULAR SPACES)
1" = 20'		PARKING COUNT (HANDICAP SPACES)
1" = 20'		PARKING COUNT (PARALLEL SPACES)
1" = 20'		HANDICAP SPACE
1" = 20'		BIKE PARKING
1" = 20'		BARRICADE
1" = 20'		CONCRETE PAVING
1" = 20'		STABILIZED DG PAVING, REF. LANDSCAPE
1" = 20'		PERMEABLE PAVERS, REF. LANDSCAPE
1" = 20'		FLAGSTONE PAVING, REF. LANDSCAPE
1" = 20'		ENGINEERED WOOD MULCH, REF. LANDSCAPE
1" = 20'		STONE PAVING, REF. LANDSCAPE
1" = 20'		FLEXIBLE PAVEMENT, REF. MASTER SITE PLAN SHEET
1" = 20'		TREE TO BE SAVED W/ HALF CRITICAL ROOT ZONE
1" = 20'		HERITAGE/MATURE TREE W/ HALF CRITICAL ROOT ZONE
1" = 20'		RELOCATED UTILITY POLE
1" = 20'		RELOCATED OVERHEAD ELECTRIC LINE
1" = 20'		PROTECTED TREE W/ HALF CRITICAL ROOT ZONE

SITE PLAN KEY NOTES

- PROPOSED CONCRETE CURB AND GUTTER, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED STRIPING, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED CONCRETE SIDEWALK, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED RETAINING WALL, REF. STRUCTURAL FOR DETAIL
- PROPOSED DECORATIVE WALL, REF. LANDSCAPE PLANS FOR DETAIL
- TRAIL MAINTENANCE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BASKETBALL/SPORTS COURT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED SAND VOLLEYBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED PLAY EQUIPMENT, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BOCCERBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- EXISTING TUTOR COTTAGE BUILDING, REF. LANDSCAPE PLANS FOR DETAIL
- BATHROOM ENTRANCE
- MAINTENANCE BUILDING ENTRANCE
- PROPOSED PEDESTRIAN CROSSWALK, REF. LANDSCAPE FOR DETAIL
- PROPOSED CONCRETE PAVING
- PROPOSED RAIN GARDEN, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED STONE BLOCK, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED STANDARD CURB TO LAYDOWN CURB TRANSITION
- PROPOSED HANDICAP SIGN, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED RAMP, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED FENCE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED SIDEWALK DRAINAGE CROSSING, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED DUMPSTERS, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED LIGHT FIXTURE, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED BIKE RACKS, REF. SITE PLAN DETAILS 1 SHEET
- PROPOSED WHEELSTOP, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED 4" BOLLARD, REF. LANDSCAPE PLANS FOR DETAIL
- PROPOSED FLOODPLAIN PARKING SIGNAGE, REF. SITE PLAN DETAILS 1 SHEET
- RELOCATED UTILITY POLE
- RELOCATED OVERHEAD ELECTRIC LINE
- PROPOSED DEAD END SIGN, REF. SITE PLAN DETAILS 1 SHEET

NOTE: THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 974-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 22 of 61
FILE NUMBER: SPC-2018-0417C APPLICATION DATE: September 14, 2018
APPROVED BY COMMISSION ON: UNDER SECTION 148 OF CHAPTER 148 OF THE CITY OF AUSTIN
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER Jonathan Devlin
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DDZ

Director, Development Services Department:
RELEASED FOR GENERAL COMPLIANCE: ZONING: P
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

garza

7708 Rialto Blvd., Suite 125
Austin, Texas 78725
Tel: (512) 298-3284 Fax: (512) 298-2592
TBPE # F-1453
Garza EMC, LLC © Copyright 2020

STATE OF TEXAS

JULIA MRNAL

113030

12/20/2019

SITE AND PAVING PLAN B

PEASE PARK CONSERVANCY

PEASE PARK KINGSBURY COMMONS

1100 KINGSBURY STREET AUSTIN, TX 78703

DRAWN BY: JV

DESIGNED BY: CA, AM

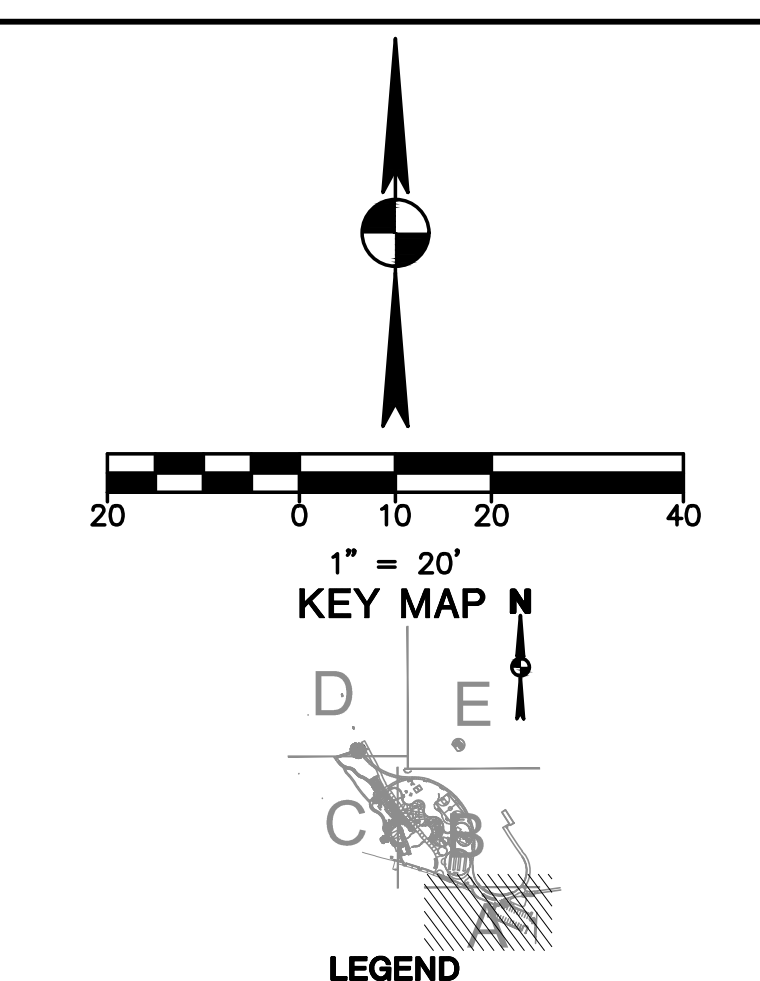
QA / QC: JM

PROJECT NO.: 113587-00001

SHEET

22

OF 61



NOTE:
THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 974-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.

- 1) PROPOSED CONCRETE CURB AND GUTTER, REF. SITE PLAN DETAILS 1 SHEET
- 2) PROPOSED STRIPING, REF. SITE PLAN DETAILS 1 SHEET
- 3) PROPOSED CONCRETE SIDEWALK, REF. SITE PLAN DETAILS 1 SHEET
- 4) PROPOSED RETAINING WALL, REF. STRUCTURAL FOR DETAIL
- 5) PROPOSED DECORATIVE WALL, REF. LANDSCAPE PLANS FOR DETAIL
- 6) TRAIL MAINTENANCE, REF. LANDSCAPE PLANS FOR DETAIL
- 7) PROPOSED BASKETBALL/SPORTS COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 8) PROPOSED SAND VOLLEYBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 9) PROPOSED PLAY EQUIPMENT, REF. LANDSCAPE PLANS FOR DETAIL
- 10) PROPOSED BOCCEBALL COURT, REF. LANDSCAPE PLANS FOR DETAIL
- 11) EXISTING TUTOR COTTAGE BUILDING, REF. LANDSCAPE PLANS FOR DETAIL
- 12) BATHROOM ENTRANCE
- 13) MAINTENANCE BUILDING ENTRANCE
- 14) PROPOSED PEDESTRIAN CROSSWALK, REF. LANDSCAPE FOR DETAIL
- 15) PROPOSED CONCRETE PAVING
- 16) PROPOSED RAIN GARDEN, REF. LANDSCAPE PLANS FOR DETAIL
- 17) PROPOSED STONE BLOCK, REF. LANDSCAPE PLANS FOR DETAIL
- 18) PROPOSED STANDARD CURB TO LAYDOWN CURB TRANSITION
- 19) PROPOSED HANDICAP SIGN, REF. SITE PLAN DETAILS 1 SHEET
- 20) PROPOSED RAMP, REF. SITE PLAN DETAILS 1 SHEET
- 21) PROPOSED FENCE, REF. LANDSCAPE PLANS FOR DETAIL
- 22) PROPOSED SIDEWALK DRAINAGE CROSSING, REF. LANDSCAPE PLANS FOR DETAIL
- 23) PROPOSED DUMPSTERS, REF. LANDSCAPE PLANS FOR DETAIL
- 24) PROPOSED LIGHT FIXTURE, REF. LANDSCAPE PLANS FOR DETAIL
- 25) PROPOSED BIKE RACKS, REF. SITE PLAN DETAILS 1 SHEET
- 26) PROPOSED WHEELSTOP, REF. LANDSCAPE PLANS FOR DETAIL
- 27) PROPOSED SIGNAGE, REF. LANDSCAPE PLANS FOR DETAIL
- 28) PROPOSED 4" BOLLARD, REF. LANDSCAPE PLANS FOR DETAIL
- 29) PROPOSED FLOODPLAIN PARKING SIGNAGE, REF. SITE PLAN DETAILS 1 SHEET
- 30) RELOCATED UTILITY POLE
- 31) RELOCATED OVERHEAD ELECTRIC LINE
- 32) PROPOSED DEAD END SIGN, REF. SITE PLAN DETAILS 1 SHEET

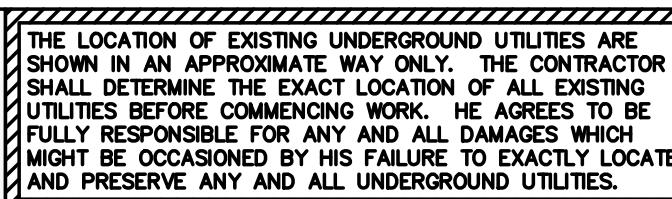
SITE PLAN APPROVED Sheet 21 of 81
FILE NUMBER: 890-280-0419C APPLICATION DATE: September 14, 2010
APPROVED BY COMMISSION ON: _____ UNDER SECTION 148 OF
CHAPTER 20-6 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER Jonathan Devlin
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWFPZ DDZ

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: P

Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE. IF APPLICABLE, SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



BUILDING TABLE						
BUILDING	HEIGHT (FT)	STORIES	PROPOSED USE	FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	FOUNDATION TYPE
(A) RESTROOM (RELOCATED)	11.33'	1	RESTROOM	767	767	SLAB
(B) MAINTENANCE (RELOCATED)	10.33'	1	MAINTENANCE	767	767	SLAB
(C) TUDOR COTTAGE (EXISTING)	-	1	EVENT SPACE	531	531	-
FFE						

SITE DATA TABLE		
ZONING DISTRICT	P (PUBLIC)	
TOTAL SITE AREA (SF)	1,974,434	(45.327 AC)
LIMITS OF CONSTRUCTION (SF)		(10.305 AC)
PROPOSED F.A.R.	0.001:1	
PROPOSED I.C. (SF)	17,262	0.87%
PROPOSED BUILDING COVERAGE	0.112%	
GENERAL RECREATIONAL LAWN (ACRES)	APPROX. 2.6	
EXISTING 11FT WIDE URBAN TRAIL (LF)	1,073	
RESURFACED 11FT WIDE URBAN TRAIL (LF)	380	
CONCRETE 11FT WIDE URBAN TRAIL (LF)	685	
CONCRETE 6FT WIDE URBAN TRAIL (LF)	978	
EXISTING 4FT WIDE MULCH TRAIL (LF)	1,490	
RESURFACED 4FT WIDE MULCH TRAIL (LF)	245	

EXISTING AMENITY	COUNT	AREA (SF)
COTTAGE	1	531
RESTROOM BLDG	1	477
MAINTENANCE BLDG	1	291
BASKETBALL COURT	2	6,365
SOFTBALL FIELD	1	6,885
VOLLEYBALL COURT	3	9,000
PICNIC AREA	1	5,608
SPLASH PAD	1	1,672
PLAYGROUND	1	10,400
URBAN TRAIL	1	16,177
OPEN FIELD	1	2,975

PROPOSED AMENITY	COUNT	AREA (SF)
EVENT SPACE	1	1,589
RESTROOM BLDG	1	767
MAINTENANCE BLDG	1	767
BASKETBALL COURT	1	4,472
WORKOUT EQUIP	1	1,085
BOCCEBALL COURT	1	714
SPLASH PAD	1	3,325
PLAYGROUND	1	8,889
URBAN TRAIL	1	15,453
TREHOUSE	1	1,296

*MODIFIED OR REPLACED EXISTING ITEMS IN SHADED.

PARKING SUMMARY TABLE	
EXISTING PARKING OUTSIDE OF KINGSBURY STREET	
TYPE OF PARKING	PARKING PROVIDED
ADA PARALLEL	1
90 DEGREE	5
TOTAL PROVIDED	6

*REFERENCE OVERALL PEASE PARK SHEET.

EXISTING PARKING ON KINGSBURY STREET	
TYPE OF PARKING	PARKING PROVIDED
PARALLEL	5
PARKING IN FLOODPLAIN	PARKING PROVIDED
PARALLEL	12
ADA PARALLEL	2
90 DEGREE	11
TOTAL FLOODPLAIN PROVIDED	25
TOTAL PROVIDED	30
EXISTING BICYCLE PARKING	6

PROPOSED PARKING ON KINGSBURY STREET	
TYPE OF PARKING	PARKING PROVIDED
PARALLEL	4
PARKING IN FLOODPLAIN	PARKING PROVIDED
PARALLEL	6
90 DEGREE	15
GREEN 90 DEGREE	2
ADA 90 DEGREE	2
TOTAL FLOODPLAIN PROVIDED	25
TOTAL PROVIDED	29
PROPOSED BICYCLE PARKING	40

IMPERVIOUS COVER SUMMARY		
DESCRIPTION	EXISTING AREA (SF)	PROPOSED AREA (SF)
BUILDING	1,096	2,210
CONCRETE	9,573	10,283
ROCK WALL	2,562	4,769
TOTAL	13,231	17,262
	0.67%	0.87%

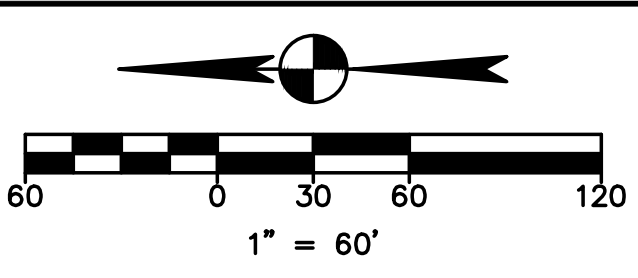
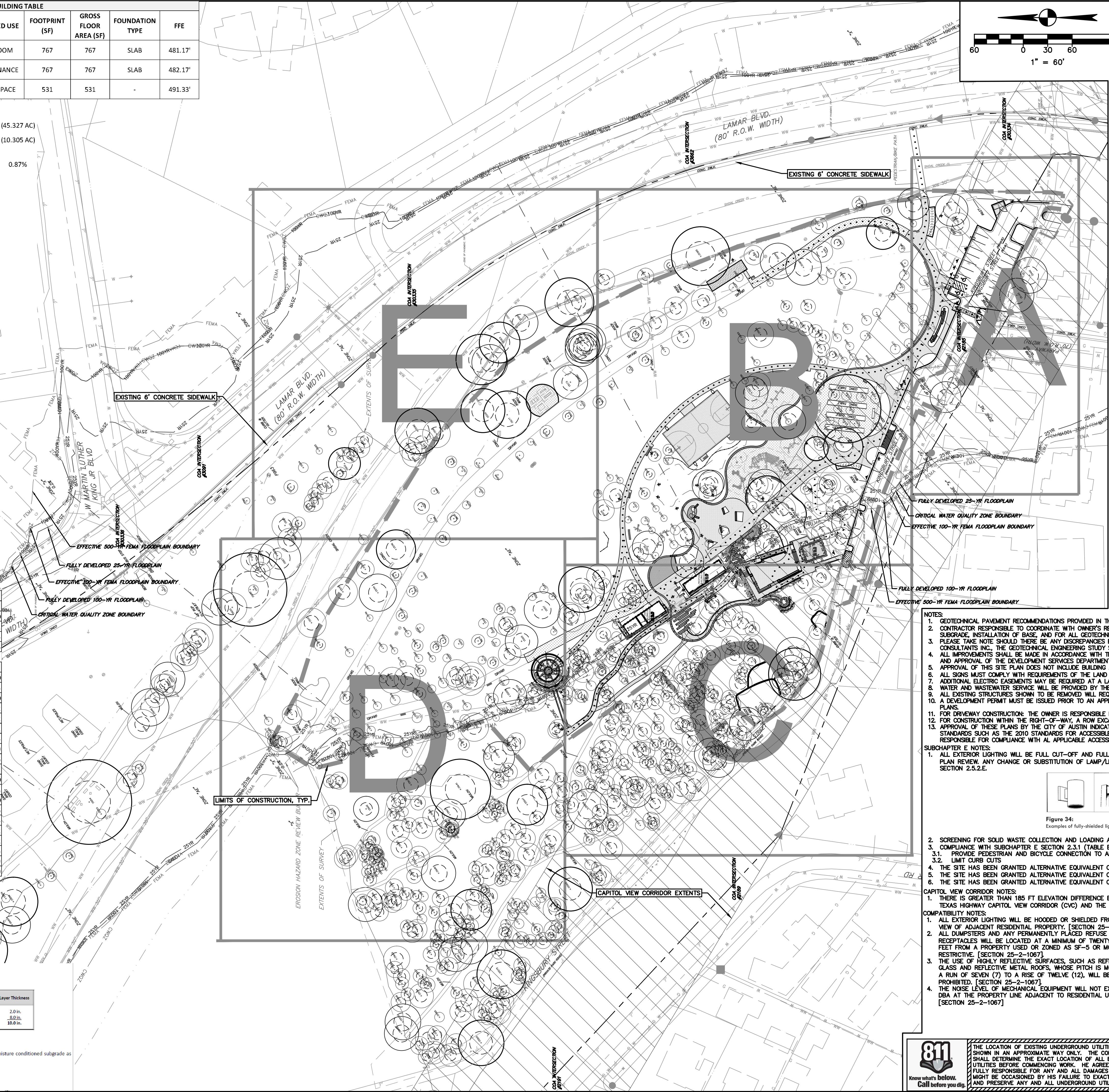
The following flexible pavement section is recommended for this site:

Layer Description			Layer Thickness
Local Residential (ADT = 500)	HMAC Surface Course, Type "D"		2.0 in.
	Flexible Base		8.0 in.
	Combined Total		10.0 in.

RIGID PAVEMENT

The following rigid pavement section is recommended over 6 in. of moisture conditioned subgrade as described in the pavement Subgrade Preparation section of this report

Portland Cement Concrete		5 in.
--------------------------	--	-------



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	PROPERTY LINE/ (R.O.W.) LINE
(Symbol)	(Symbol)	RECORD INFORMATION
(Symbol)	(Symbol)	LIGHT POLE
(Symbol)	(Symbol)	GROUND LIGHT
(Symbol)	(Symbol)	POWER POLE
(Symbol)	(Symbol)	DOWN GUY
(Symbol)	(Symbol)	TELEPHONE MANHOLE
(Symbol)	(Symbol)	WATER MANHOLE
(Symbol)	(Symbol)	WATER LINE MARKER
(Symbol)	(Symbol)	UNDERGROUND CABLE MARKER
(Symbol)	(Symbol)	UNDERGROUND GAS LINE MARKER
(Symbol)	(Symbol)	UNDERGROUND TELEPHONE MARKER
(Symbol)	(Symbol)	GAS RISER
(Symbol)	(Symbol)	TELEPHONE RISER
(Symbol)	(Symbol)	SPRINKLER CONTROL BOX
(Symbol)	(Symbol)	SWITCH GEAR & PAD
(Symbol)	(Symbol)	TRANSFORMER (SIZE VARIES)
(Symbol)	(Symbol)	FIRE HYDRANT
(Symbol)	(Symbol)	WATER VALVE
(Symbol)	(Symbol)	WATER METER
(Symbol)	(Symbol)	WATER METER VAULT (SIZE VARIES)
(Symbol)	(Symbol)	CABLE TV RISER
(Symbol)	(Symbol)	ELECTRIC BOX
(Symbol)	(Symbol)	ELECTRIC METER
(Symbol)	(Symbol)	GAS METER
(Symbol)	(Symbol)	GAS VALVE
(Symbol)	(Symbol)	TRAFFIC CONTROL BOX
(Symbol)	(Symbol)	TRAFFIC SIGNAL POST
(Symbol)	(Symbol)	GRATE INLET
(Symbol)	(Symbol)	CURB INLET (SIZE VARIES)
(Symbol)	(Symbol)	GREASE TRAP (SIZE VARIES)
(Symbol)	(Symbol)	OVERHEAD UTILITIES
(Symbol)	(Symbol)	ELECTRIC MANHOLE (SIZE VARIES)
(Symbol)	(Symbol)	WASTEWATER MANHOLE (SIZE VARIES)
(Symbol)	(Symbol)	STORMSEWER MANHOLE (SIZE VARIES)
(Symbol)	(Symbol)	TELEPHONE MANHOLE (SIZE VARIES)
(Symbol)	(Symbol)	WASTEWATER CLEANOUT
(Symbol)	(Symbol)	WOOD FENCE
(Symbol)	(Symbol)	CHAIN LINK FENCE
(Symbol)	(Symbol)	DUMPSTER
(Symbol)	(Symbol)	CURB & GUTTER
(Symbol)	(Symbol)	EDGE OF PAVEMENT
(Symbol)	(Symbol)	FIRE LANE DESIGNATION
(Symbol)	(Symbol)	HANDICAP ACCESS ROUTE
(Symbol)	(Symbol)	WALL
(Symbol)	(Symbol)	BIKE PARKING
(Symbol)	(Symbol)	BARRICADE
(Symbol)	(Symbol)	CONCRETE PAVING
(Symbol)	(Symbol)	STABILIZED DG PAVING, REF. LANDSCAPE
(Symbol)	(Symbol)	PERMEABLE PAVERS, REF. LANDSCAPE
(Symbol)	(Symbol)	FLAGSTONE PAVING, REF. LANDSCAPE
(Symbol)	(Symbol)	ENGINEERED WOOD MULCH, REF. LANDSCAPE
(Symbol)	(Symbol)	STONE PAVING, REF. LANDSCAPE
(Symbol)	(Symbol)	FLEXIBLE PAVEMENT, REF. MASTER SITE PLAN SHEET
(Symbol)	(Symbol)	TREE TO BE SAVED W/ HALF CRITICAL ROOT ZONE
(Symbol)	(Symbol)	HERITAGE/MATURE TREE W/ HALF CRITICAL ROOT ZONE
(Symbol)	(Symbol)	PROTECTED TREE W/ HALF CRITICAL ROOT ZONE

NOTE: THIS PROJECT WILL REQUIRE A MINIMUM SILVER SUSTAINABLE SITES CERTIFICATION. COORDINATE WITH PETER DAVIS, LEED PROJECT MANAGER, 974-7267, AND PROVIDE DOCUMENTATION OF SUSTAINABLE SITES REQUIREMENT.

- NOTES:
1. GEOTECHNICAL PAVEMENT RECOMMENDATIONS PROVIDED IN THE RABA KISTNER CONSULTANTS INC. REPORT AA418-091-00 DATED AUGUST 30, 2018.
 2. CONTRACTOR RESPONSIBLE TO COORDINATE WITH OWNER'S REPRESENTATIVE RABA KISTNER FOR UTILITY TRENCHES (INCLUDING WET AND DRY UTILITIES), SUBGRADE, INSTALLATION OF BASE, AND FOR ALL GEOTECHNICAL GRADING DONE FOR PAVEMENT WORK.
 3. PLEASE TAKE NOTE SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE PLANS AND SAID GEOTECHNICAL ENGINEERING STUDY PREPARED BY RABA KISTNER CONSULTANTS INC.; THE GEOTECHNICAL ENGINEERING STUDY SHALL PREVAIL.
 4. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE DEVELOPMENT SERVICES DEPARTMENT.
 5. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
 6. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
 7. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
 8. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
 9. ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN DEVELOPMENT SERVICES DEPT.
 10. DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
 11. FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
 12. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
 13. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH AL APPLICABLE ACCESSIBILITY STANDARDS.

SUBCHAPTER E NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
3. COMPLIANCE WITH SUBCHAPTER E SECTION 2.3.1 (TABLE B) IS PROVIDED BY THE FOLLOWING OPTIONS TO IMPROVE CONNECTIVITY:
 - 3.1. PROVIDE PEDESTRIAN AND BICYCLE CONNECTION TO ADJACENT RESIDENTIAL DEVELOPMENT
 - 3.2. LIMIT CURB CUTS
4. THE SITE HAS BEEN GRANTED ALTERNATIVE EQUIVALENT COMPLIANCE (AEC) FROM SECTION 25-2 SUBCHAPTER E SECTION 2.3.1.B.
5. THE SITE HAS BEEN GRANTED ALTERNATIVE EQUIVALENT COMPLIANCE (AEC) FROM SECTION 25-2 SUBCHAPTER E SECTION 2.2.2.
6. THE SITE HAS BEEN GRANTED ALTERNATIVE EQUIVALENT COMPLIANCE (AEC) FROM SECTION 25-2 SUBCHAPTER E SECTION 2.2.5.C AND 2.2.5.E.

CAPITOL VIEW CORRIDOR NOTES:

1. THERE IS GREATER THAN 185 FT ELEVATION DIFFERENCE BETWEEN THE HIGHEST POINT OF ANY PROPOSED IMPROVEMENT WITHIN THE CAPITOL OF TEXAS HIGHWAY CAPITOL VIEW CORRIDOR (CVC) AND THE LOWEST POINT IN THE CORRESPONDING CVC PLANE.

COMPATIBILITY NOTES:

1. ALL EXTERIOR LIGHTING WILL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL PROPERTY. [SECTION 25-2-1064]
2. ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE. [SECTION 25-2-1067]
3. THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED. [SECTION 25-2-1067]
4. THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES. [SECTION 25-2-1067]



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

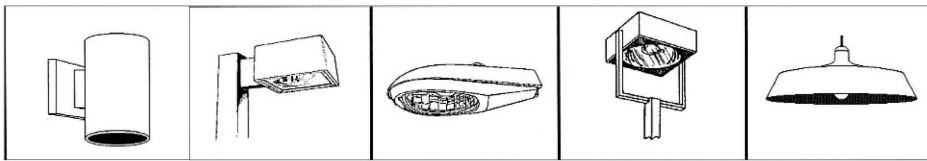


Figure 34: Examples of fully-shielded light fixtures.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 20 of 81
FILE NUMBER: **SPC-2018-0417C** APPLICATION DATE: **September 14, 2018**
APPROVED BY COMMISSION ON: _____ UNDER SECTION **148** OF CHAPTER **39-4** OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-6-81.LDC) CASE MANAGER **Jonathan Devlin**
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Development Services Department:
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: **P**
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

7708 Rialto Blvd., Suite 125
Austin, Texas 78725
Tel: (512) 298-3284 Fax: (512) 298-2592
TBPE # F-14639
© Copyright 2020
Garza EMC, LLC

JULIA M. RINAL
113030
AUGUST 1, 2019

12/20/2019

APPROVAL

REVISION

DATE

NO.

MASTER SITE PLAN

PEASE PARK KINGSBURY COMMONS
1100 KINGSBURY STREET AUSTIN, TX 78703

PEASE PARK CONSERVANCY

DRAWN BY: JV
DESIGNED BY: CA, AM
CA / OC: JM
PROJECT NO.: 113587-00001

SHEET
20
OF 61