

Issue for Permit Drawings

11/13/2019

Ashcraft/Tu Garage Remodel Addition

4010 Avenue G.
Austin, TX 78751



Design Team
Michael Hsu
Office Of Architecture
4810 Burnet Road
Austin, Texas 78756
Office (512) 706-4363
HsuOffice.com



Project
Ashcraft/Tu Garage
Renovation
4010 Ave G.
Austin, TX, 78751
Set
13 Nov 2019 - Permit Corrections

Issue:
 □ 13 May 2019 - Issue for Permit
 △ 26 July 2019 - Permit Corrections
 ▲ 13 Nov 2019 - Permit Corrections

Drawing Title
Cover Sheet

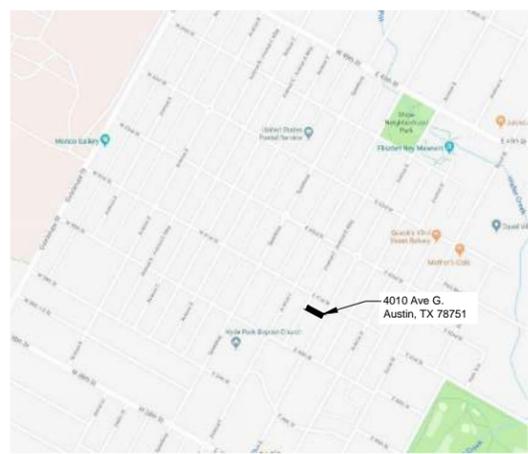
Sheet

A0.1

This drawing and all copyright therein are the sole and exclusive property of Michael Hsu Office of Architecture. Reproduction or use of this drawing in whole or in part by any means in any way whatsoever without the prior written consent of Michael Hsu Office of Architecture is strictly prohibited. Copyright © 2019 Michael Hsu Office of Architecture.

symbol legend	
window	
keynote	
door	
partition type	
equipment/plumbing	
height elevation	
revision	
room	
interior elevation	
detail	
building/wall section	
elevation	

vicinity map



general notes

- All work shall be performed in accordance with all applicable codes; regulations, ordinances and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, ordinances or standards, the contractor is responsible for notifying the designer before proceeding with the work in questions. All necessary permits, licenses, certificates, tests, Etc. shall be procured and paid for by the contractor (or owner if he designates). Refer to specification "General Conditions" section for clarifications on fee responsibilities.
- Contractor is responsible for checking all contract documents, field conditions and dimensions for accuracy and confirming that the work is buildable as shown and meets all applicable codes before proceeding with construction. If there are and questions regarding these or other coordination issues, the contractor is responsible for obtaining a clarification from the designer before proceeding with the work in question or related work.
- The contractor shall certify size and location of all required openings for structural, mechanical, electrical and plumbing work and equipment with trades involved.
- The general contractor and each subcontractor shall be responsible for checking existing conditions at the job site before submitting proposals. Submissions of proposals shall be taken as evidence that such inspections have been made. Claims for extra compensation for work that could have been foreseen by such inspection, whether shown on contract documents or not, shall not be accepted or paid.
- All materials furnished under this contract shall be new unless otherwise noted. All work shall be guaranteed against defective materials and workmanship for a period of one (1) year after the date of substantial completion or acceptance of the work. The contractor shall repair or replace, at his own expense when ordered to do so, all work that may develop defects in material and workmanship within said period of time.
- All equipment shall be installed in accordance with manufacturer's published recommendations for service intended, as interpreted by the engineer. The installation of all equipment shall be made by experienced craftsmen in a neat, workmanlike manner. All materials, tools, costs and services necessary to completely install all mechanical, electrical, and plumbing work shall be provided by the contractor.
- Contractor shall be responsible for adequately bracing and protecting all work during construction against damage, collapse and misalignment according to applicable codes, standards, and good construction practices. Contractor shall take proper precautions to protect all existing operations and property adjacent, with which work comes in contact, or over or under which he may transport, hoist, or move materials, equipment, debris, etc. and shall repair satisfactorily all damages caused by him during construction.
- The contractor shall verify all coordinate sizes, locations and characteristics of all work and equipment to be furnished by the owner, or others with the manufacturer or supplier before any construction is begun.
- The contractor shall submit to the designer confirmations or orders, including delivery dates, for all materials and equipment whose timely delivery is required to avoid changes in the construction documents or in the construction schedule.
- The contractor must submit shop drawings to the designer for approval before proceeding with fabrication. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, for selecting fabrication processes, for techniques or assembly, for performing the work in a safe manner, and for adhering to all applicable codes and standards.
- Location of all ceiling mounted items in the designer's construction documents have precedence over MEP drawings. Designer shall be notified of any conflicts prior to construction.
- It is the intent and meaning of the contract documents that the contractor shall provide a mechanical, electrical, and plumbing installation that is complete. All items and appurtenances necessary, reasonably incidental, or customarily included, even though each and every item is not specifically called out or shown in the construction documents shall be provided.
- All MEP related items should be reviewed by the engineer and may be adjusted pending notice to and approval of the designer.
- Written dimensions shall have precedence. Do not scale dimensions. If no dimension is listed, contact designer for clarification.
- All work noted "N.I.C." or "Not in Contract" is to be accomplished by a contractor other than the general contractor and is not to be part of the construction agreement.
- "Align" as used in these documents shall mean to accurately locate finish faces in the same plane.
- "Typical" or "Typ." as used in these documents shall mean that the condition is the same or representative for all similar conditions throughout, unless otherwise noted.
- "Similar" or "Sim." As used in these documents shall mean that the condition is similar to a condition detailed for another location.
- The contractor shall provide updated record documents of as-built conditions on-site when different from construction documents, and shall provide said documents to designer upon completion of construction.
- This cover sheet is a master index. Not all symbols/items will be included in drawings.
- Do not disassemble this set or distribute partial sets to subcontractors. Cover sheet contains data pertaining to all sheets.
- Refer to additional information for additional general notes, if any.

code analysis / site data

Zoning: SF-3
 Land Use: Single Family Residential
 Neighborhood: Hyde Park
 Watershed: Urban
 FEMA Flood Plain: No
 Overlays: Hyde Park Residential Design Standards
 TCAD Parcel: 214843

Min. Lot Size: 5,750 sqft
 Min. Lot Width: 50 ft
 Max. Dwelling Units per Lot: See Sect. 25-2-559
 Min. Setbacks:
 Front Yard: 25 ft
 Street Side Yard: 15 ft
 Int. side yard: 5 ft
 Rear Yard: Subchapter F: Article 2.4, 5 ft

Max. Bldg. Height: 32 ft
 Max. Bldg. Coverage: 40%
 Max. Impervious Cover: 45%
 Site Area: 6,499.75 sqft
 Allowable Bldg Coverage (<.4 FAR): 2,599 sqft
 Allowable Impervious Cover (45%): 2,924 sqft

gross floor area

Existing House: 1,558 sqft
 Existing Garage: 0 sqft
 Existing Covered Porch: 0 sqft
 First Floor Garage Addition: 501 sqft
 Second Floor Garage Addition: 538 sqft
 Subchapter F Exemption: -200 sqft
Total: 2,397 sqft
 *Excluded per Subchapter F: Article 3.3
 **Excluded per Subchapter F: Article 3.3.2B

impervious cover

Site Area: TCAD 6,499.75 sqft
 Impervious Cover
 Allowable (45%): **2,924 sqft**
 Existing Buildings:
 House: 1,558 sqft
 Porch: 144 sqft
 Garage: 450 sqft
 Existing Bldg Total: 2,152 sqft
 Existing Landscape:
 Landscape: 360 sqft
 Driveway: 1,353 sqft
 Gravel: 198 sqft
 Existing Landscape Total: 1,911 sqft
 Existing IC Total:
 Existing Bldg Total: 2,152 sqft
 Existing Landscape Total: 1,911 sqft
 Existing IC Total: 4,063 sqft (existing over IC max.)

Proposed:
 Existing Buildings: 1,702 sqft*
 Existing Garage: 0 sqft (non-conforming structure removed)
 Existing Front Walk, Pavers, AC: 162 sqft
 Driveway Ribbons: 120 sqft
 New Garage: 538 sqft
 New Wood Deck: 0 sqft (under overhang)
 New Wood Stairs: 0 sqft (under overhang)
 New Pavers: 40 sqft
 New Drive Ribbons: 60 sqft
 Covered Walkway: 162 sqft
Total: 2,784 sqft < 2,924 sqft

Building Cover
 Allowable (40%): **2,599 sqft**
 Existing:
 House: 1,558 sqft
 Garage: 450 sqft
 Covered Porch: 144 sqft
 Total: 2,152 sqft

Proposed:
 Existing House: 1,558 sqft
 Existing Garage: 0 sqft (non-conforming structure removed)
 Existing Covered Porch: 144 sqft
 New Garage: 538 sqft
 Garage Stairs: 0 sqft (under overhang)
 Covered Walkway: 162 sqft
Total: 2,402 sqft < 2,599 sqft

FAR
 Allowable (40%): **2,599 sqft**
 Existing House: 1,558 sqft
 Existing Garage: 0 sqft (non-conforming structure removed)
 Existing Porch: 0 sqft
 1st Floor Addition: 501 sqft
 2nd Floor Addition: 538 sqft
 Subchapter F Exemption: -200 sqft
Total: 2,397 sqft < 2,599 sqft

project team

architect
 Michael Hsu Office of Architecture
 4910 Burnet Rd.
 Austin, TX 78756
 t: 512.706.4303

contact:
 Ken Johnson, johnson@hsuoffice.com
 Matt Sener, sener@hsuoffice.com

owner
 Betsy Ashcraft & Larry Tu

structural
 JM Engineering
 2013 Wells Branch Parkway, Suite 117
 Austin, Texas 78728
 t: 512.614.0226

general contractor
 Melde Construction
 1112 West Ave, Austin, TX 78701
 t: 512.442.4479

project description

New garage addition with new proposed second floor addition for a home office. Remove existing stone and gravel drive. New rear yard lawn and landscaping.

applicable codes

2015 International Residential Code
 2015 International Energy Conservation Code
 2015 Fire Code
 *And all applicable City of Austin - Subchapter F: Residential Design and Compatibility Standards

parking requirement

required parking: 2 spaces
 provided parking: 2 spaces (in garage)

drawing index

design	1	2	3	4	5
A0.1 Cover Page	●	●	●	●	●
A0.2 Existing Site Photos	●	●	●	●	●
A0.3 Existing Survey	●	●	●	●	●
A1.0 Site Plan	●	●	●	●	●
A1.1 First & Second Floor Plan	●	●	●	●	●
A1.2 Roof Plan	●	●	●	●	●
A2.1 First Floor RCP and Light Fixture Schedule	●	●	●	●	●
A3.1 Exterior Elevations	●	●	●	●	●
A3.2 Exterior Elevations	●	●	●	●	●
A3.3 Building Sections	●	●	●	●	●
A3.4 Building Sections	●	●	●	●	●
A4.1 Wall Sections	●	●	●	●	●
A5.1 Interior Elevations	●	●	●	●	●
A6.1 Details	●	●	●	●	●
A6.2 Interior Millwork Details	●	●	●	●	●
A7.1 Door Schedule & Window Types	●	●	●	●	●
A8.0 Finish Schedule	●	●	●	●	●
A8.1 Finish Floor Plan	●	●	●	●	●
structural					
S0.0 General Notes	●	●	●	●	●
S1.0 Foundation Plan	●	●	●	●	●
S1.1 Framing Plan	●	●	●	●	●
S2.0 Foundation Details	●	●	●	●	●
S3.0 Framing Details	●	●	●	●	●



3 Garage Facing North West
Scale: NTS



2 Garage Facing North
Scale: NTS



1 View from Street
Scale: NTS



5 Garage Facing South East
Scale: NTS



4 Garage Facing South West
Scale: NTS



11/19/2019

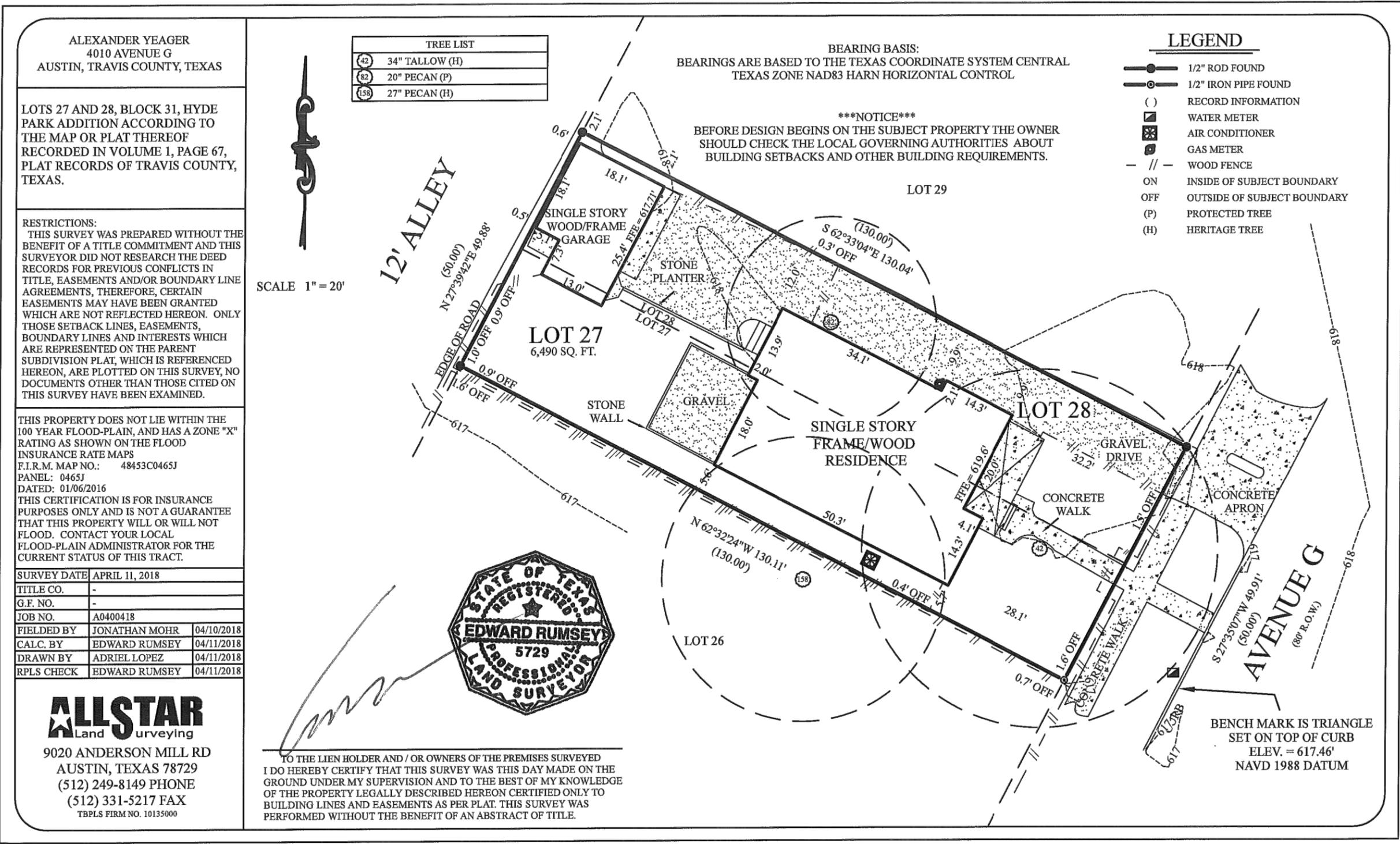


Project
Ashcraft/Tu Garage
Renovation
 4010 Ave G,
 Austin, TX, 78751
 Set
 13 Nov 2019 - Permit Corrections

Issue:
 13 May 2019 - Issue for Permit
 26 July 2019 - Permit Corrections
 13 Nov 2019 - Permit Corrections

Drawing Title
Existing Survey

Sheet



ALEXANDER YEAGER
 4010 AVENUE G
 AUSTIN, TRAVIS COUNTY, TEXAS

LOTS 27 AND 28, BLOCK 31, HYDE PARK ADDITION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 67, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

RESTRICTIONS:
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS
 F.I.R.M. MAP NO.: 48453C0465J
 PANEL: 0465J
 DATED: 01/06/2016
 THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD-PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

SURVEY DATE	APRIL 11, 2018	
TITLE CO.	-	
G.F. NO.	-	
JOB NO.	A0400418	
FIELD BY	JONATHAN MOHR	04/10/2018
CALC. BY	EDWARD RUMSEY	04/11/2018
DRAWN BY	ADRIEL LOPEZ	04/11/2018
RPLS CHECK	EDWARD RUMSEY	04/11/2018

ALLSTAR
 Land surveying
 9020 ANDERSON MILL RD
 AUSTIN, TEXAS 78729
 (512) 249-8149 PHONE
 (512) 331-5217 FAX
 TBPLS FIRM NO. 10135000

TREE LIST	
(42)	34" TALLOW (H)
(82)	20" PECAN (P)
(158)	27" PECAN (H)

SCALE 1" = 20'



TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

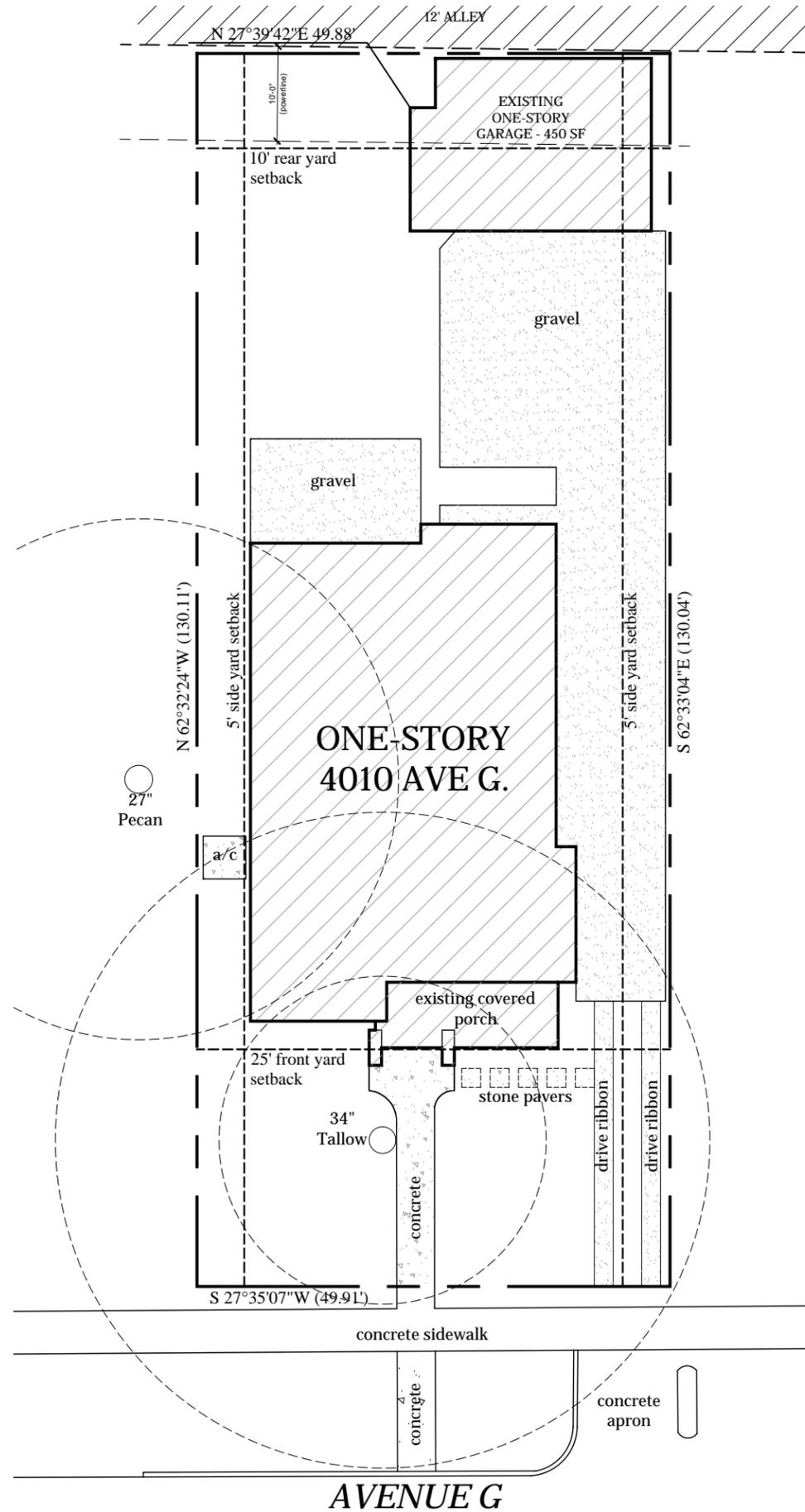
BEARING BASIS:
 BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL

NOTICE
 BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

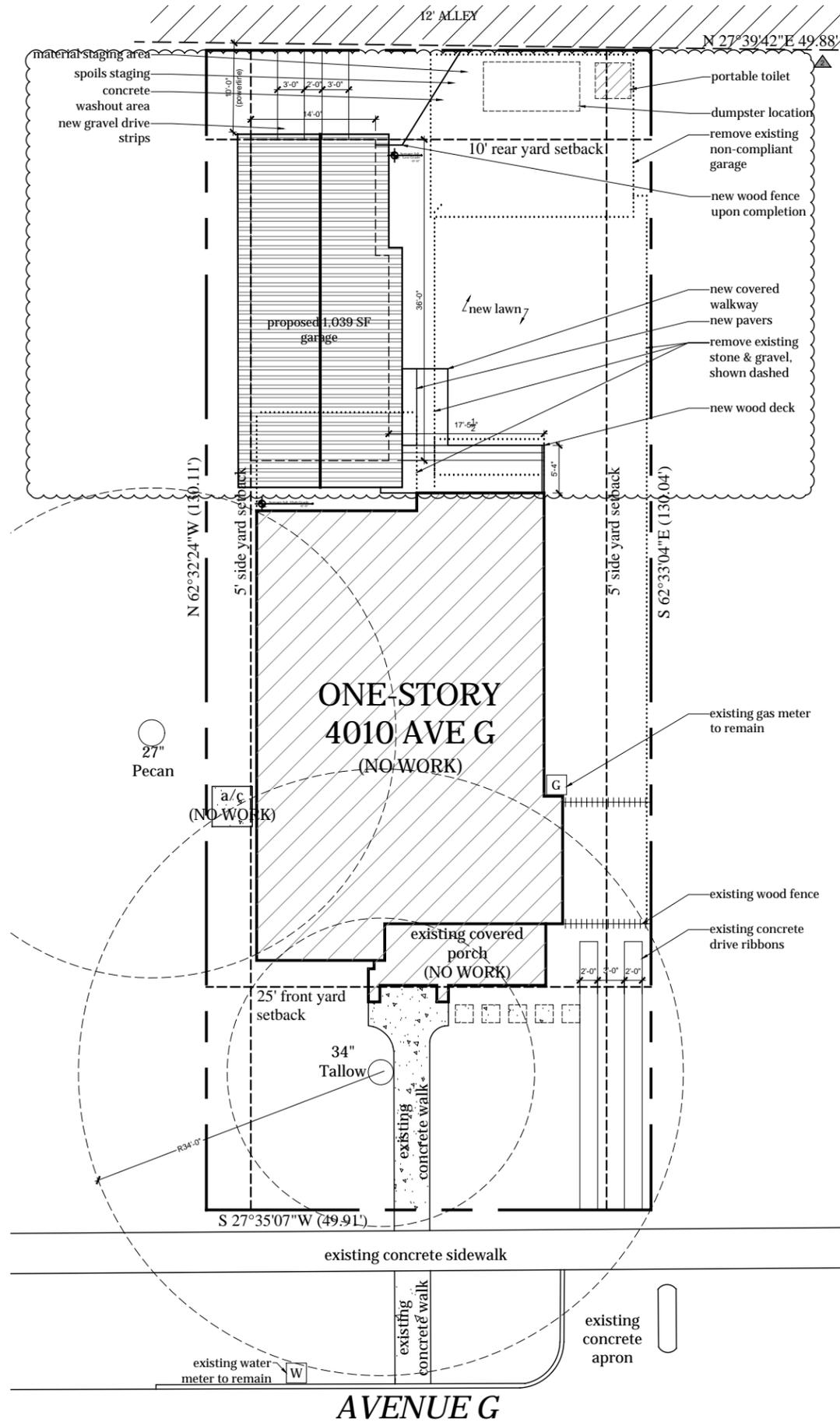
LEGEND	
	1/2" ROD FOUND
	1/2" IRON PIPE FOUND
	RECORD INFORMATION
	WATER METER
	AIR CONDITIONER
	GAS METER
	WOOD FENCE
ON	INSIDE OF SUBJECT BOUNDARY
OFF	OUTSIDE OF SUBJECT BOUNDARY
(P)	PROTECTED TREE
(H)	HERITAGE TREE

BENCH MARK IS TRIANGLE
 SET ON TOP OF CURB
 ELEV. = 617.46'
 NAVD 1988 DATUM





2 Existing Site Plan
Scale: 1/16"=1'-0"



1 Proposed Site Plan
Scale: 1/16"=1'-0"

Yin
Michael Hsu
Office Of Architecture
 4810 Burnet Road
 Austin, Texas 78756
 Office (512) 706-4363
 HsuOffice.com



Project
Ashcraft/Tu Garage
Renovation
 4010 Ave G.
 Austin, TX, 78751
 Set
 13 Nov 2019 - Permit Corrections

Issue:
 13 May 2019 - Issue for Permit
 26 July 2019 - Permit Corrections
 13 Nov 2019 - Permit Corrections

Drawing Title
Site Plan

Sheet
A1.0

This drawing and all copyright therein are the sole and exclusive property of Michael Hsu, Office of Architecture. Reproduction or use of this drawing in whole or part by any means in any way whatsoever without the prior written consent of Michael Hsu, Office of Architecture is strictly prohibited. Copyright © 2019 Michael Hsu Office of Architecture.

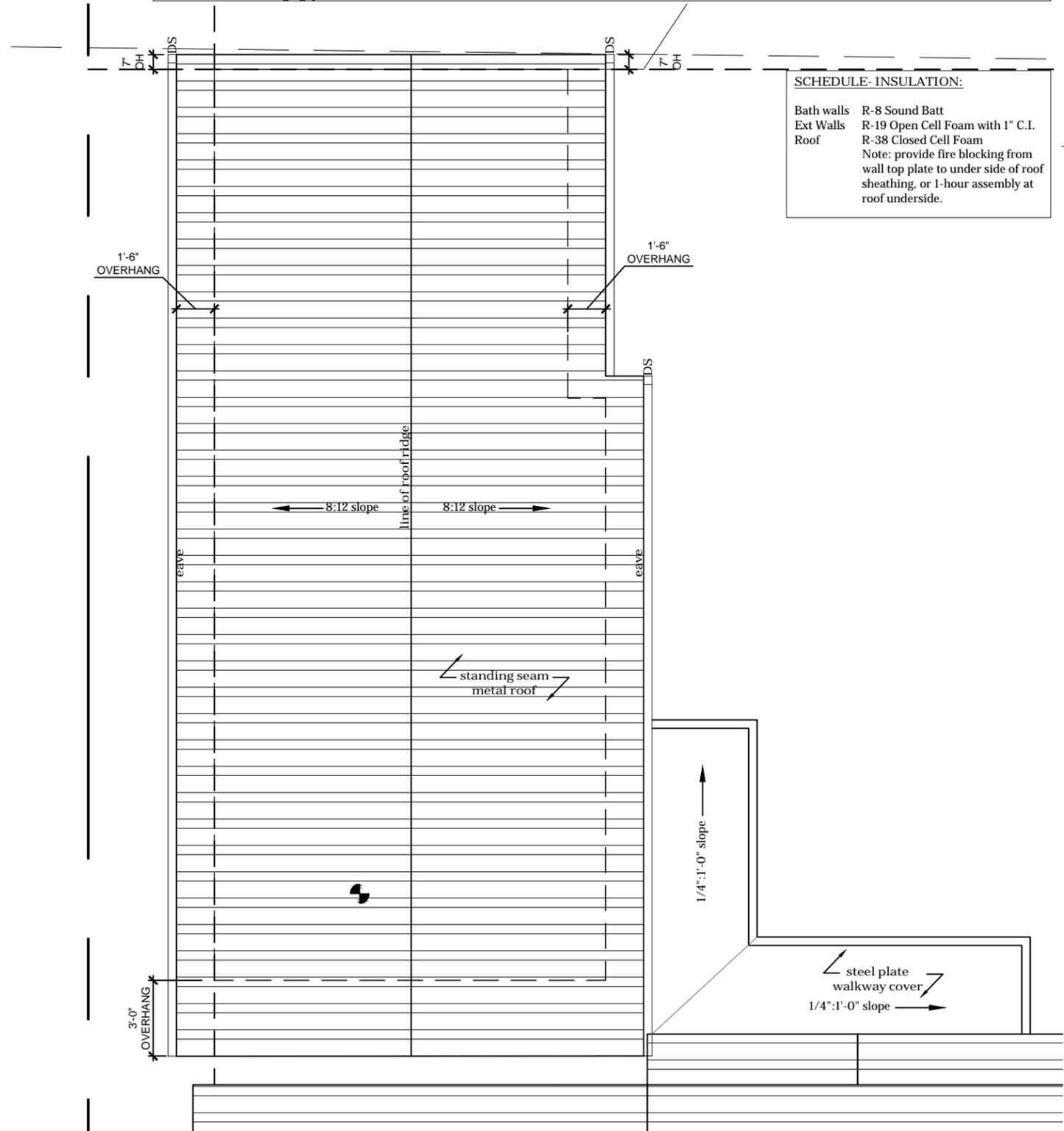
11/13/2019

FLOOR PLAN GENERAL NOTES:

1. The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
2. GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
3. GC to verify final locations for fire extinguishers with fire marshal and architect prior to installation.
4. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
5. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
6. GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
7. GC to provide portable fire extinguishers per International Fire Code Section 906 and/or local fire code and coordinate a final review of counts and locations with the local fire marshal/inspector.
8. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

SCHEDULE- INSULATION:

Bath walls R-8 Sound Batt
 Ext Walls R-19 Open Cell Foam with 1" C.I.
 Roof R-38 Closed Cell Foam
 Note: provide fire blocking from wall top plate to under side of roof sheathing, or 1-hour assembly at roof underside.



1 Proposed Roof Plan 
 Scale: 3/16"=1'-0"

Yin 

Design Team
Michael Hsu
Office Of Architecture
 4810 Burnet Road
 Austin, Texas 78756
 Office (512) 706-4363
 HsuOffice.com



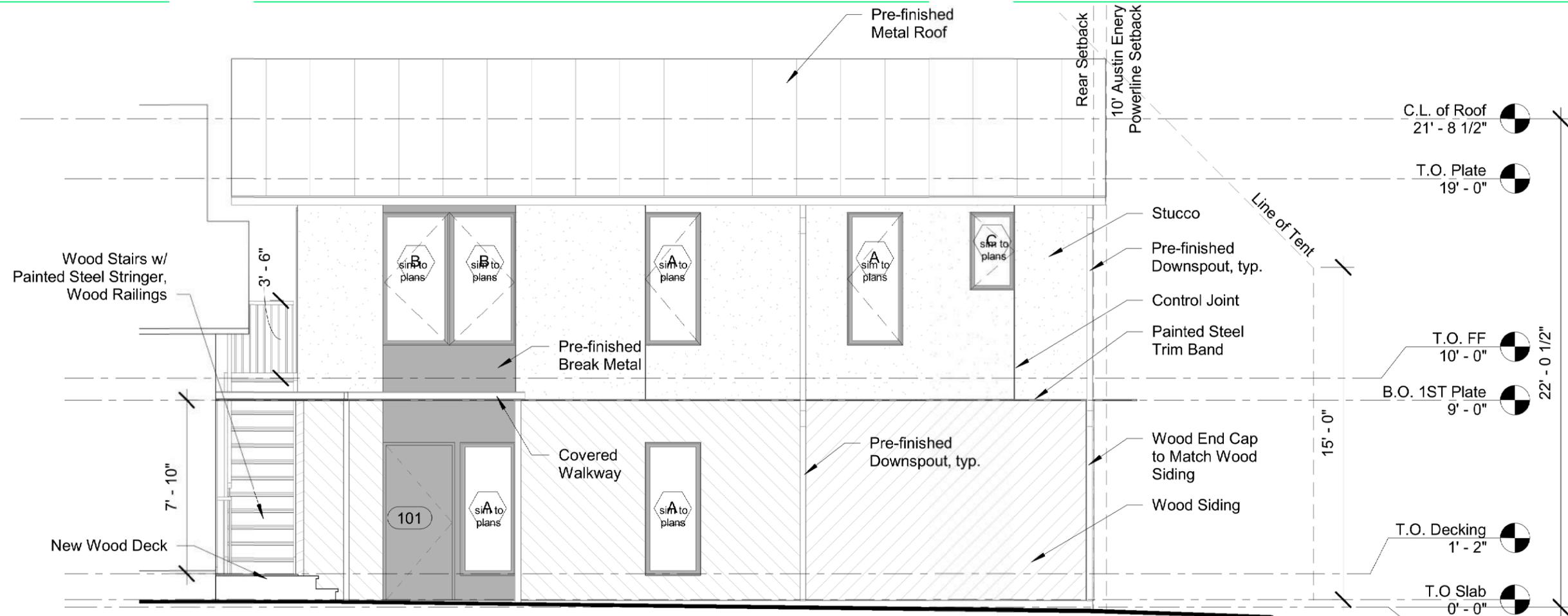
Project
Ashcraft/Tu Garage
Renovation
 4010 Ave G,
 Austin, TX, 78751
 Set
 13 Nov 2019 - Permit Corrections

Issue:
 13 May 2019 - Issue for Permit
 26 July 2019 - Permit Corrections
 13 Nov 2019 - Permit Corrections

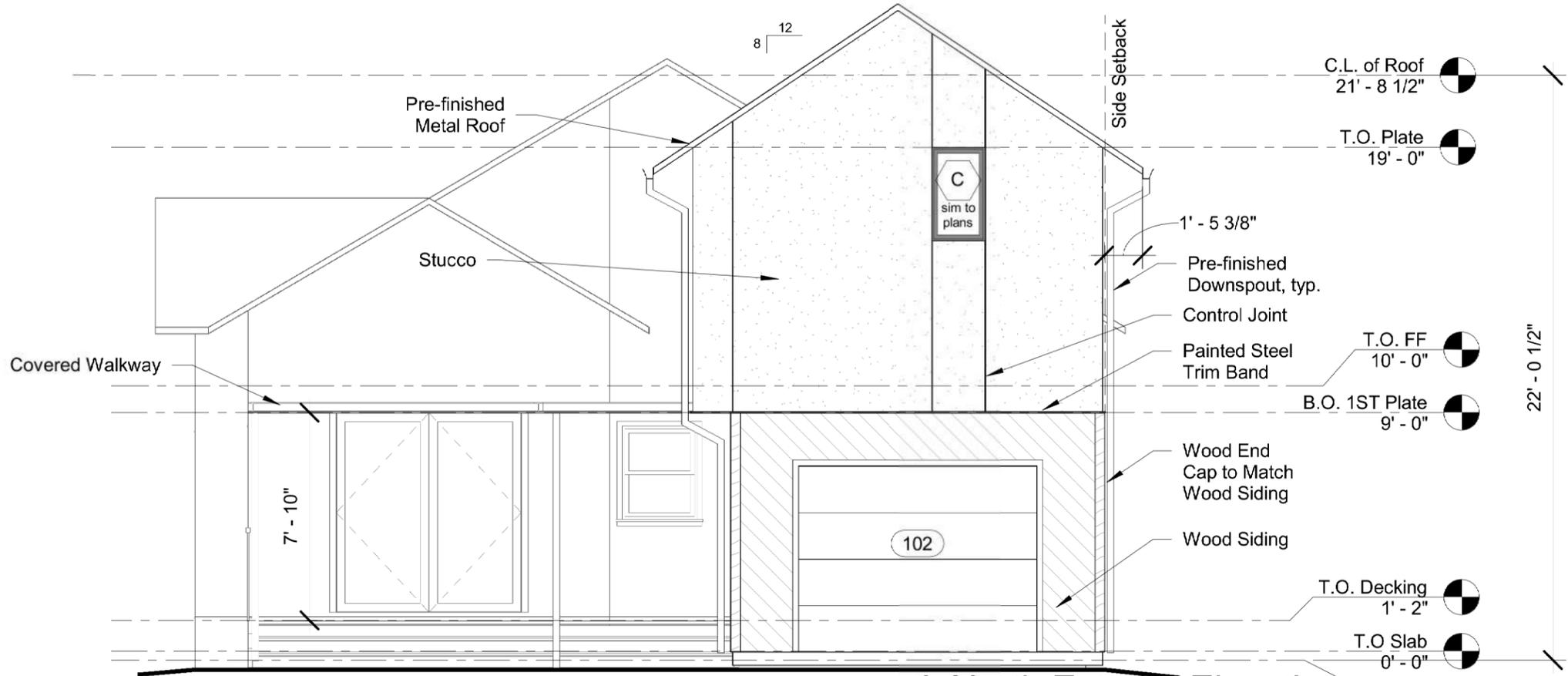
Drawing Title
Roof Plan

Sheet

This drawing and all copyright therein are the sole and exclusive property of Michael Hsu, Office of Architecture. Reproduction or use of this drawing in whole or in part by any means in any way whatsoever without the prior written consent of Michael Hsu, Office of Architecture is strictly prohibited. Copyright © 2019 Michael Hsu Office of Architecture.



2 East Exterior Elevation
3/16" = 1'-0"



1 North Exterior Elevation
3/16" = 1'-0"

Yin

Michael Hsu
Office of Architecture

4910 Burnet Road
Austin, Texas 78756
Office (512) 766-4303

HsuOffice.com



Project
Ashcraft/Tu Garage Renovation
4010 Ave G.
Austin, TX, 78751
Set
13 Nov 2019 - Permit Corrections

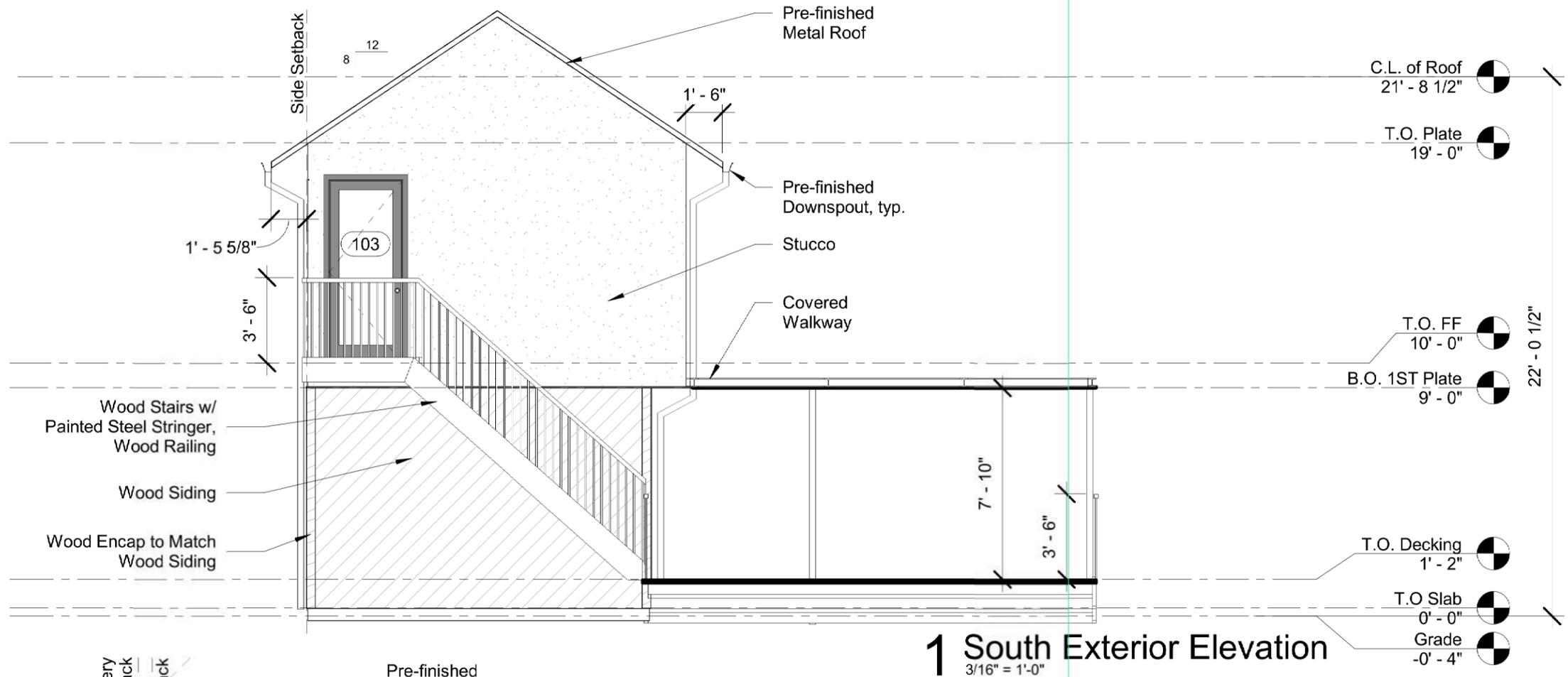
Issue:
 □ 13 May 2019 - Issue for Permit
 ▲ 26 July 2019 - Permit Corrections
 ▲ 13 Nov 2019 - Permit Corrections

Drawing Title
Exterior Elevations

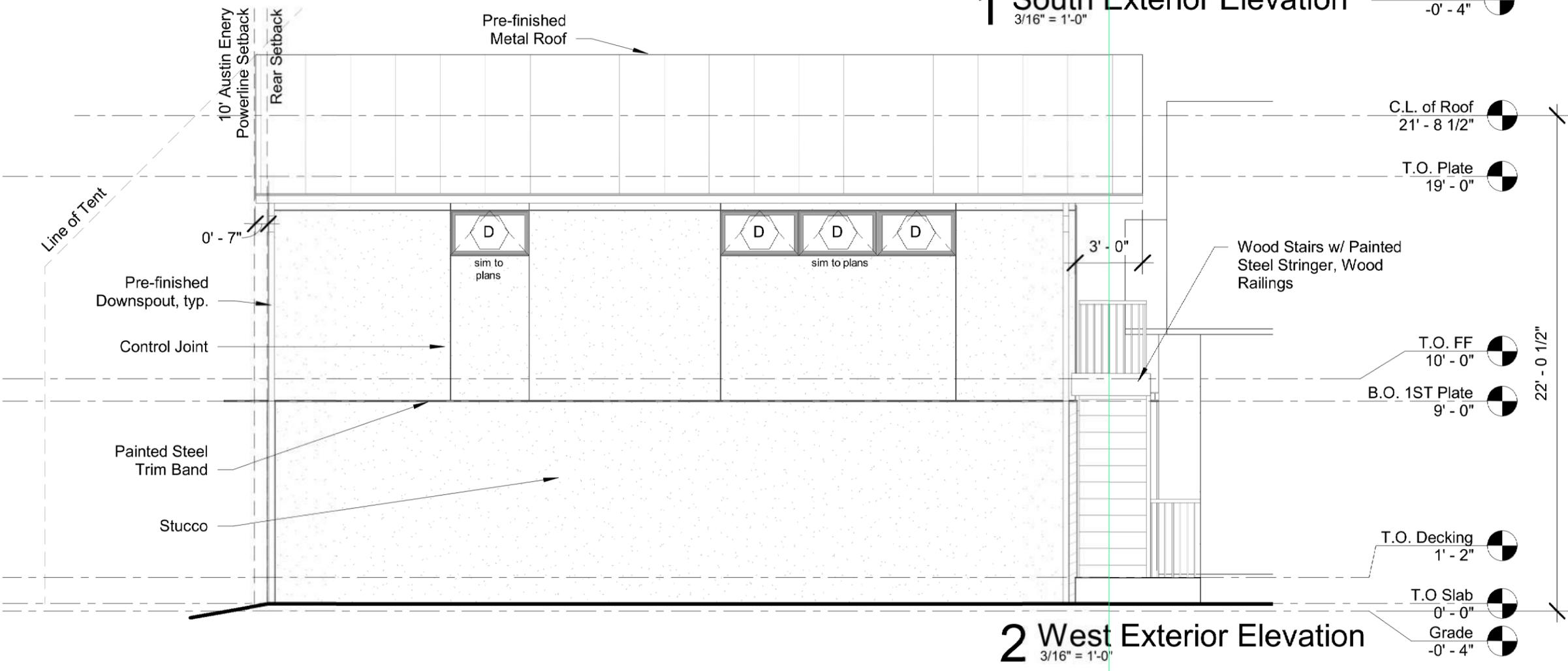
Sheet

A3.1

This drawing and all copyright items are the sole and exclusive property of Michael Hsu Office of Architecture. Reproduction or use of this drawing without the prior permission of Michael Hsu Office of Architecture is strictly prohibited. Copyright © 2019 Michael Hsu Office of Architecture



1 South Exterior Elevation
3/16" = 1'-0"



2 West Exterior Elevation
3/16" = 1'-0"



Design Team
Michael Hsu
Office of Architecture
 4910 Burnet Road
 Austin, Texas 78756
 Office (512) 766-4303
 HsuOffice.com



Project
Ashcraft/Tu Garage
Renovation
 4010 Ave G.
 Austin, TX, 78751
 Set
 13 Nov 2019 - Permit Corrections

Issue:
 □ 13 May 2019 - Issue for Permit
 △ 26 July 2019 - Permit Corrections
 ▲ 13 Nov 2019 - Permit Corrections

Drawing Title
Exterior Elevations

Sheet

A3.2

This drawing and all copyright items are the sole and exclusive property of Michael Hsu Office of Architecture. Reproduction or use of this drawing without the prior written consent of Michael Hsu Office of Architecture is strictly prohibited. Copyright © 2019 Michael Hsu Office of Architecture.