

SUBDIVISION REVIEW SHEET**CASE NO.:** C8-2020-00038.0A**COMMISSION DATE:** April 28, 2020**SUBDIVISION NAME:** Charro Estates**ADDRESS:** 694 Mesa Drive**OWNER/APPLICANT:** Jocelyn Fuentes**AGENT:** ATX Permit & Consulting, LLC (Lila Nelson)**EXISTING ZONING:** None**JURISDICTION:** 5-Mile ETJ**GRIDS:** S-9**COUNTY:** Bastrop**AREA:** 5.46 acres**LOT(S):** 5**WATERSHED:** Cedar Creek**DISTRICT:** N/A**PROPOSED LAND USE:** Single Family

SIDEWALKS: Sidewalks along Mesa Drive are required to be constructed after the abutting roadway is improved and concrete curbs are in place.

DEPARTMENT COMMENTS:

The request is for the approval of Charro Estates, a resubdivision of Lot 15, Charro Estates, comprised of 5 lots on 5.46 acres.

The plat does not comply with the criteria for approval in LDC 25-4-84(B) and staff recommends disapproval for the reasons listed in the attached comment report, **EXHIBIT A**. An application that has been disapproved with reasons may be updated to address those reasons until the application expires.

If the applicant submits an update to address the reasons for disapproval, that update will be presented to the Land Use Commission within fifteen days of submittal.

STAFF RECOMMENDATION:

Staff recommends disapproval of the plat for the reasons listed in the comment report dated April 22, 2020, and attached as **EXHIBIT A**.

CASE MANAGER: Sylvia Limon**PHONE:** 512-974-2767**E-mail:** Sylvia.Limon@austintexas.gov**ATTACHMENTS**

First Attachment: Vicinity map

Second Attachment: Proposed plat (see sheet 2 of the plan set)

Third Attachment: Comment report dated April 22, 2020



CASE NUMBER: **C8-2020-0038.0A**
REVISION #: **00** UPDATE: **U0**
CASE MANAGER: Sylvia Limon PHONE #: 512-974-2767

PROJECT NAME: **Charro Estates** (W/R C8-2019-0031.0A)
LOCATION: 694 MESA DR

SUBMITTAL DATE: March 30, 2020
REPORT DUE DATE: April 24, 2020
FINAL REPORT DATE: April 22, 2020

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed. If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

UPDATE DEADLINE INFORMATION (LDC 25-4-56; 25-4-82):

All comments must be addressed by filing an updated submittal prior to the update deadline of **June 29, 2020**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC 25-1-88; 25-1-89; 25-1-90).

UPDATE SUBMITTAL INSTRUCTIONS (LDC 25-1-83):

1. Applicants must make an appointment with Intake Staff (974-1770) in order to submit an update.
2. Your update must include the following items:
 - a. This report
 - b. The revised plat/plan in pdf format
 - c. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date, between the hours of 8:30 am and 4:00 pm. Refer to the submittal calendar for a list of approved submittal dates.

REVIEWERS:

Planner 1: Cindy Edmond
PARD / Planning & Design: Thomas Rowlinson
Drainage Engineering: David Marquez
Subdivision: Sylvia Limon
Water Quality: David Marquez

Electric Review - Andrea Katz - 512-322-6957

Cleared. Out of Austin Energy service area.

911 Addressing Review - Cathy Winfrey - 512-974-2398

AD1: This plat review is cleared; however, any changes to street names, street name labels, or street layouts will require a new review.

NOTE: This proposed Subdivision is located inside Bastrop County.

Please note that any address assignments to resulting lots or changes to existing addresses will be enacted by Bastrop County 911 Addressing.

ATD Engineering Review - Amber Mitchell - 512-974-5646

No comment.

Drainage Engineering Review - David Marquez - 512-974-3389

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- DE1. Construction plans, or an approved site plan prior to the plat, will be required for the proposed construction if the proposed construction does not meet LDC 25-5-2. If construction plans are to be proposed, the case number will need to be changed to .1A.
- DE2. Per the fiscal policy ordinance, the pond and its grading associated for compliance will need to be included in the fiscal estimate.
- DE3. To demonstrate compliance with DCM 1.2.2 for no adverse impact, submit the drainage model and associated exhibits to demonstrate no adverse impact for the proposed pond will be required per DCM section 2. This will include taking Atlas 14 into consideration. The first link is to our recent code and criteria changes and the second is specifically for Atlas 14. Included in the calculations should be a demonstration of no increase of point discharge which will mean the flows will need to spread to match existing conditions. 1
http://austintexas.gov/cityclerk/postings/land_dev_rules_notices.htm
<http://www.austintexas.gov/edims/document.cfm?id=332437>
- DE4. Per DCM 1.2.oA drainage easement with required maintenance will be required for the water quality and detention pond.

Environmental Review - Jonathan Garner - 512-974-1665

- EV 1. Erosion and sedimentation control fiscal surety is not required for a Final Plat application without a Preliminary Plan. Remove this amount from the Fiscal Estimates worksheet.

PARD / Planning & Design Review - Thomas Rowlinson - 512-974-9372

UPDATE 0 (W/R)

PR 1: The parkland dedication and park development fee is required per City Code §25-1-601 and must be paid before the subdivision may be approved (low density fee for a project with less than 6 dwelling units per acre). However, no parkland fee will be collected for the existing residence, so the fee for 4 units is required at this time. Bastrop County Appraisal District only shows one residence. Site plan in application only shows one residence. Any increase in units allowed by subdivision must satisfy parkland dedication at subdivision.

The park fee bills have now been issued in AMANDA. The person named as an "Applicant" may pay online at Austin Build + Connect. The fee can be made in one payment though there are two bills. Email the PARD reviewer at thomas.rowlinson@austintexas.gov to request the bill numbers. When payment has been made, email the receipt to this reviewer to clear this comment.

PR 2: Update note 11 on the plat:

A fee-in-lieu of parkland dedication and park development has been paid for 4 residences. No fee was charged for the existing residence

Subdivision Review - Sylvia Limon - 512-974-2767

- SR 1. Add the Case # C8-2020-0038.0A, in the bottom right hand corner of each sheet. [LDC 25-1-83]
- SR 2. Provide a subdivision plat where each sheet is 18" x 24"; these sheets should be separate from any construction plan sets. [LDC 25-1-83]
- SR 3. If the drainage easement is being created with the plat, be sure show survey boundary information for the boundary of the easement. It appears there are not corresponding measurements for all of the boundary lines of the easement. [LDC 25-1-83]
- SR 4. Remove plat note number 2. This note is not applicable since City of Austin Water Utility will not be servicing this subdivision. [LDC 25-1-83]
- SR 5. FYI: Submit any legal documents to the reviewer requiring them as soon as possible. The legal review may take an extended time and could delay your project. [LDC 25-1-83]
- SR 6. Revise the City of Austin Commission approval block to appear as follows on the plat [LDC 25-1-83]:
ACCEPTED AND AUTHORIZED FOR RECORD BY THE LANDUSE COMMISSION OF THE
CITY OF AUSTIN, TEXAS, THIS, THE _____ DAY OF _____ 20__.
_____, CHAIR _____, SECRETARY
- SR 7. Show signatures of owner(s), notary public(s) with appropriate seals and dates. Print names under signatures with addresses. These items must be complete on the original mylar prior to approval. [LDC 25-1-83]
- SR 8. All other signatures/seals will be needed on the final plat mylar prior to the Land Use Commission hearing. These include the surveyor, engineer, Aqua Water Supply, On-Site Sewage. [LDC 25-1-83]

- SR 9. (FYI) Original (crimped) tax certificates showing all taxes having been paid for the past year must be provided at the time the plat is cleared for approval. Bastrop County will NOT record the plat without them. [LDC 25-1-83]
- SR 10. Recording fees will be calculated after the plat is approved. [LDC 25-1-83]
- SR 11. Two mylar copies of the plat will be needed after the plat has been cleared for approval and prior to the Land Use Commission hearing. [LDC 25-1-83]
- SR 12. This plat is required to have action no later than 30 days after the application is accepted. If the plat is determined to not meet all applicable subdivision regulations – the plat will be presented to Land Use Commission for disapproval with reasons. The application will be required to file an update to clear any remaining issues and then re-presented to Land Use Commission for approval. [LDC 25-4-32]
- SR 13. The following items will be needed to record the plat [LDC 25-1-83]:
- Plat containing original signatures, with appropriate seals and dates. The seals must be legible.
 - Original tax certificate(s) showing all taxes paid for the previous year.
 - Check for the plat recordation fee and any document to be recorded with the plat.

Transportation Planning - Martin Laws - 512-974-6351
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TR1. Transportation Planning has no comments.

AW Utility Development Services - Bradley Barron - 512-972-0078

- WW1. The landowner intends to serve each lot with a connection to Aqua Water Supply Company water utilities and an On-Site Sewage Facility. No Austin Water review is required.
- WW2. The landowner must obtain plat approval from Bastrop County for on-site sewage facilities. No Austin Water review is required.
- WW3. Bastrop County must approve the plan for fire protection. Austin Water will not verify fire protection availability.

Water Quality Review - David Marquez - 512-974-3389

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- WQ1. To demonstrate compliance with ECM section 1.6.5.A, submit cross sections and details to demonstrate the proposed pond will be in compliance.
- WQ2. Per appendix R-2 of ECM, submit an R table that demonstrates the pond is in compliance and sized for ECM standards. If construction plans are to be provided, an R-1 table will be required for the plat.
- WQ3. Per ECM 1.6.2B2 pertaining to stacked detention, outlet structures are recommended to be on the sedimentation side of the pond to prevent erosion.

- WQ4. Demonstrate erosion control per ECM 1.4.0 and ECM 1.6.2B1, a splitter box is typically required. For stacked detention we allow designs to demonstrate that a splitter is not needed if velocity of flows and erosion control are taken into consideration.
- WQ5. Provide Certification of Compliance 25-1-83 – Applications Related to a Closed Municipal Solid Waste Landfill. The certification form can be found at the following website:

http://www.ci.austin.tx.us/watershed/downloads/engineers_cert_form.pdf

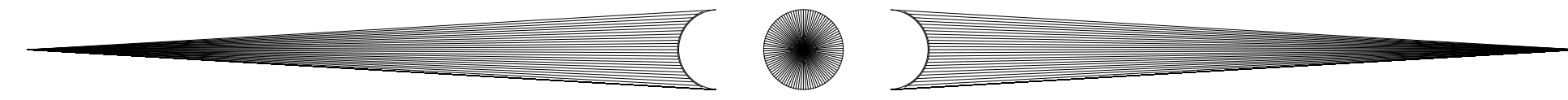
Site Plan Plumbing - Cory Harmon - 512-974-2882

NO SITE PLAN PLUMBING REVIEW REQUIRED

The proposed resubdivision (C8-2020-0038.0A) is outside of the zoning jurisdiction of the City of Austin and will not receive water or wastewater service from Austin Water Utility, therefore the Austin Plumbing Code is not applicable per Chapter 25-1.

End of report

CHARRO ESTATES SUBDIVISION RESUBDIVISION PLAT OF LOT 15



CIVIL CONSTRUCTION PLANS 694 MESA DRIVE DEL VALLE, BASTROP COUNTY, TEXAS

FEBRUARY 2020

OWNER / DEVELOPER:

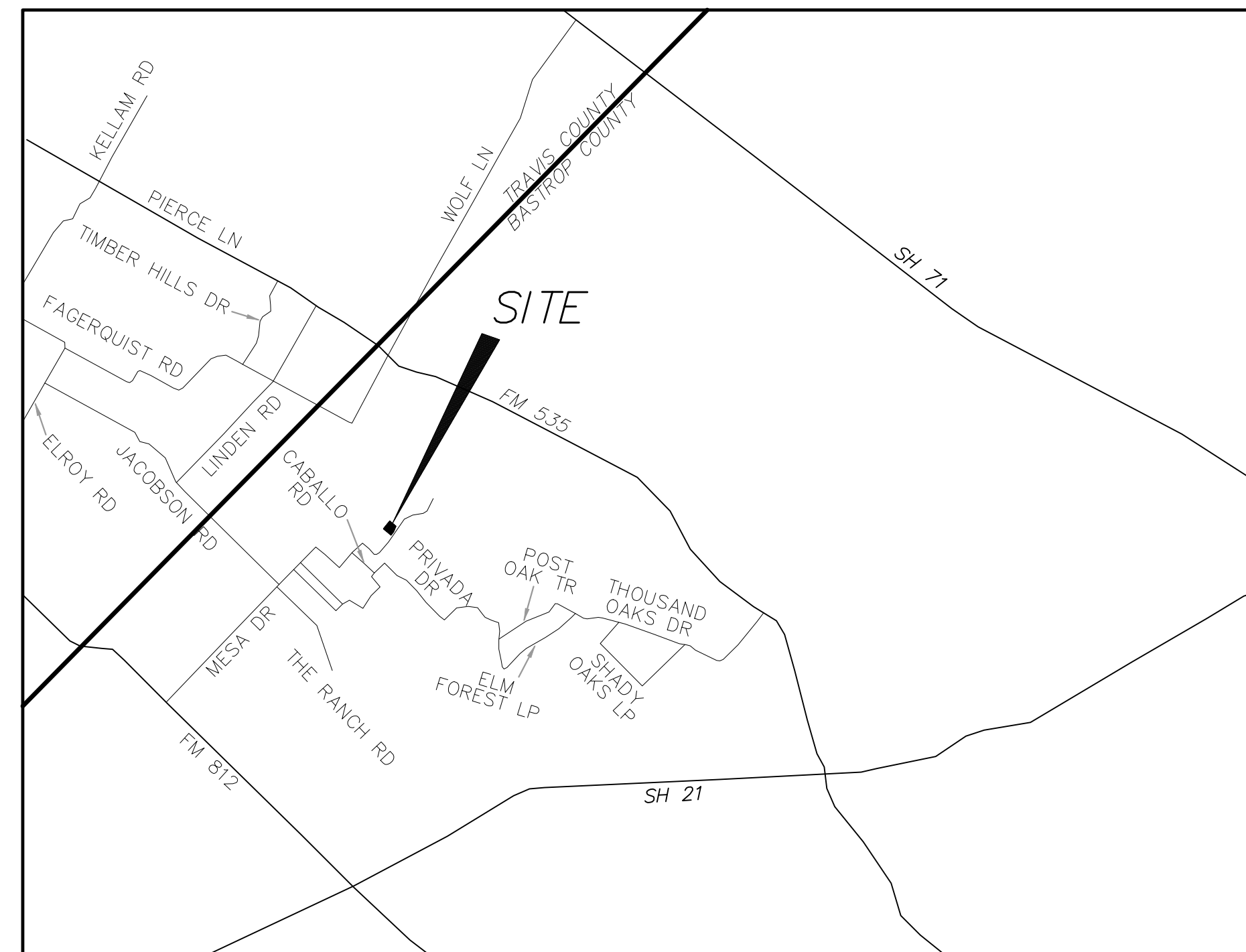
JOCELYN FUENTES
1908 BOBBYWOODS LN
MANCHACA, TX 78652

LEGAL DESCRIPTION:

CHARRO ESTATES, LOT 15, 5.460 ACRES

SUBDIVISION CASE NO.:

C8-2019-0031.0A



LOCATION MAP

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SHEET 9	WATER QUALITY CONTROL PLAN
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SHEET 11	GENERAL NOTES & DETAILS

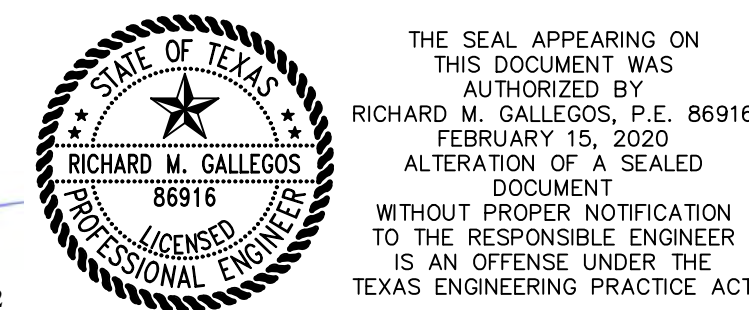
WATERSHED STATUS

THIS SITE IS LOCATED IN THE CEDAR CREEK WATERSHED,
WHICH IS CLASSIFIED AS A SUBURBAN WATERSHED BY THE CITY OF AUSTIN.
THIS SITE IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

FLOODPLAIN INFORMATION:

THE TRACT SHOWN HEREON LIES WITHIN ZONE "X" UNSHADED
(AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN)
AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT
AGENCY, FEDERAL INSURANCE ADMINISTRATION, AS SHOWN ON
MAP NO. 48021C032SE, DATED JANUARY 19, 2006 FOR
BASTROP COUNTY, TEXAS.

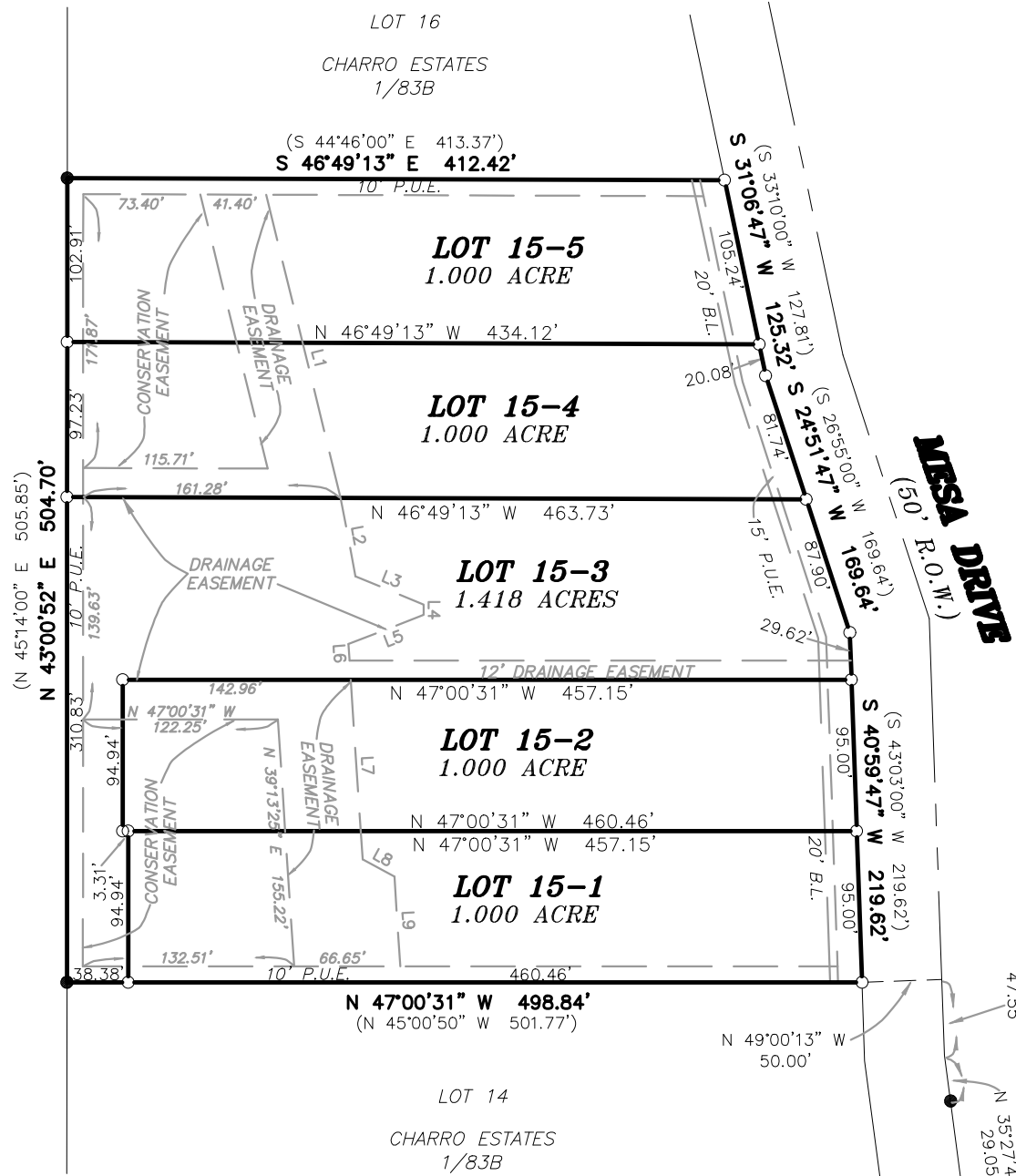
I, RICHARD M. GALLEGOS, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE,
ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE
NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



CHARRO ESTATES
RESUBDIVISION PLAT OF LOT 15

LINE/BEARING	DISTANCE
L1 S 29°11'40" E	W155.50
L2 S 42°20'32" E	W50.00
L3 S 24°26'55" E	E46.43
L4 S 43°00'22" E	W6.37
L5 N 68°15'53" E	W50.74
L6 S 39°13'55" E	W113.39
L7 S 39°13'55" E	W113.01
L8 S 18°37'22" E	E22.72
L9 S 39°13'55" E	W56.44

GRAHAM CALF & COW LLC
2117/884
563.070 ACRES
(TRACT TWO)



LOT	ACRES
LOT 15-1	1.000
LOT 15-2	1.000
LOT 15-3	1.418
LOT 15-4	1.000
LOT 15-5	1.000
TOTAL	5.418

SYLVIA LIMON, FOR:
DENISE LUCAS, ACTING DIRECTOR
DEVELOPMENT SERVICES DEPARTMENT

ACCEPTED AND AUTHORIZED FOR RECORD BY THE ZONING & PLATTING COMMISSION
OF THE CITY OF AUSTIN, TEXAS, THIS, THE ____ DAY OF _____, 20____.

JOLENE KIOLBASSA, CHAIR ANA AGUIRRE, SECRETARY

STATE OF TEXAS }
COUNTY OF BASTROP }

I, ROSE PIETSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY
THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION
WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____, A.D.,
AT ____ O'CLOCK ____ M., IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT
CABINET ____ , PAGE ____.

FILED FOR RECORD ON THE ____ DAY OF _____, 20____, A.D.

DEPUTY

ROSE PIETSCH
COUNTY CLERK
BASTROP COUNTY, TEXAS

CHARRO ESTATES
RESUBDIVISION PLAT OF LOT 15

FIELD BOOK: B-555/54
FILE: Server\Co\Bastrop\Subd\Charro Estates\83217.dwg

JAMES E. GARON & ASSOC.
PROFESSIONAL LAND SURVEYORS
Firm Reg. #10058400
185 McAllister Road
Bastrop, Texas 78602
(512) 303-4185
jgaron@austin.rr.com
www.jamesegaron.com

PLAT PREPARATION DATE: JANUARY 2, 2018
PLAT SUBMITTAL DATE: FEBRUARY 22, 2019
CASE NO. CB-2019-0031.OA

CHARRO ESTATES
RESUBDIVISION PLAT OF LOT 15

FLOOD PLAIN NOTE:

NO PORTION OF THIS SUBDIVISION LIES WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA (1% ANNUAL CHANCE OF FLOODING AREA) AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP, PANEL NO. 480210032E, EFFECTIVE JANUARY 19, 2006 FOR THE COMMUNITY BASTROP COUNTY, COMMUNITY NUMBER 481193.

FLOOD WARNING: THE DEGREE OF FLOOD PROTECTION REQUIRED BY THE BASTROP COUNTY FLOOD DAMAGE PREVENTION ORDER IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS PLAT BY THE COMMISSIONERS COURT DOES NOT IMPLY THAT LAND OUTSIDE THE AREAS OF SPECIAL FLOOD HAZARDS OR USES PERMITTED WITHIN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS PLAT CREATE LIABILITY ON THE PART OF BASTROP COUNTY OR ANY OFFICIAL OR EMPLOYEE THEREOF FOR ANY FLOOD DAMAGES THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS PLAT OR ANY ADMINISTRATION DECISION LAWFULLY MADE THEREUNDER.

EROSION AND SEDIMENTATION CONTROLS ARE REQUIRED FOR CONSTRUCTION ON EACH LOT, INCLUDING SINGLE-FAMILY, DUPLEX, AND MULTI-FAMILY CONSTRUCTION.

UTILITY SERVICE PROVIDERS:

WATER SERVICE IS PROVIDED BY: AQUA WATER SUPPLY CORPORATION
WASTEWATER SERVICE IS PROVIDED BY: INDIVIDUAL ON-SITE SEWAGE FACILITIES
ELECTRIC SERVICE IS PROVIDED BY: BLUEBONNET ELECTRIC COOPERATIVE

STATE OF TEXAS }
COUNTY OF BASTROP }

I, JAMES E. GARON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN WERE PROPERLY PLACED, UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF BASTROP COUNTY, TEXAS.

JAMES E. GARON DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
REG. NO. 4303
FIRM REG. #10058400
185 McALLISTER ROAD
BASTROP, TEXAS 78602
PH. 512-303-4185 FAX 512-321-2107
JAMESEGARON.COM

AQUA WATER NOTE:

AS OF THE DATE INDICATED BELOW, AQUA WATER SUPPLY CORPORATION HAS NOT AGREED TO PROVIDE WATER SUPPLY SERVICE TO THIS SUBDIVISION BECAUSE THE SUBDIVISION HAS NOT COMPLIED WITH THE TARIFF OF AQUA WATER SUPPLY CORPORATION, INCLUDING SPECIFICALLY THE RULES AND REGULATIONS CONCERNING AQUA'S SERVICE TO SUBDIVISIONS. UNDER THE AQUA TARIFF, RETAIL WATER SERVICE IS NOT AVAILABLE TO ANY LOT IN A SUBDIVISION THAT IS NOT IN COMPLIANCE WITH ALL SUCH RULES AND REGULATIONS, INCLUDING THE PAYMENT OF APPLICABLE FEES. NO LOT IN THIS SUBDIVISION WILL BE ELIGIBLE TO RECEIVE RETAIL WATER SERVICE FROM AQUA'S DISTRIBUTION SYSTEM UNTIL THE SUBDIVISION FULLY COMPLIES WITH ALL OF THE PROVISIONS OF AQUA'S TARIFF, INCLUDING THE RULES AND REGULATIONS CONCERNING AQUA'S SERVICE TO SUBDIVISIONS.

ALAN DAVID McMURRY DATE
GENERAL MANAGER
AQUA WATER SUPPLY CORPORATION

ON-SITE SEWAGE

AN INDIVIDUAL ON-SITE SEWAGE FACILITY CURRENTLY EXISTS ON LOT 15-3. INDIVIDUAL ON-SITE SEWAGE FACILITY DESIGNS MUST BE SUBMITTED FOR APPROVAL FOR EACH VACANT LOT AND BUILT TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND THE REQUIREMENTS OF THE BASTROP COUNTY ORDER FOR ON-SITE SEWAGE FACILITIES PRIOR TO OCCUPATION OF THE RESIDENCE. THIS SUBDIVISION PLAT RECOMMENDED FOR APPROVAL ON THIS THE ____ DAY OF _____, 20____.

TROY WALTERS, D.R. #0534100 DATE
DESIGNATED REPRESENTATIVE

PLAT NOTES:

1. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE AQUA WATER SUPPLY CORPORATION WATER UTILITY SYSTEM AND ELECTRIC DISTRIBUTION SYSTEMS AND WASTEWATER COLLECTION FACILITIES APPROVED BY BASTROP COUNTY.
2. THE WATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LAND OWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
3. THE OWNER OF THE SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
4. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN.
5. ALL STREETS, DRAINAGE, SIDEWALKS AND EROSION CONTROLS ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO BASTROP COUNTY STANDARDS.
6. BY APPROVING THIS PLAT, NEITHER BASTROP COUNTY NOR THE CITY OF AUSTIN ASSUMES ANY OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATES OF OCCUPANCY.
7. THE LAND OWNER IS RESPONSIBLE FOR PROVIDING THE SUBDIVISION INFRASTRUCTURE, INCLUDING THE WATER UTILITY IMPROVEMENTS.
8. EROSION AND SEDIMENTATION CONTROLS ARE REQUIRED FOR CONSTRUCTION ON EACH LOT, INCLUDING SINGLE-FAMILY AND DUPLEX CONSTRUCTION.
9. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
10. SIDEWALKS ALONG MESA DRIVE ARE REQUIRED TO BE CONSTRUCTED BY THE PROPERTY OWNER AFTER THE ABUTTING ROADWAY IS IMPROVED AND CONCRETE CURBS ARE IN PLACE. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
11. A FEE-IN-LIEU OF PARKLAND DEDICATION AND PARK DEVELOPMENT HAS BEEN PAID FOR 2 RESIDENCES. NO FEE WAS CHARGED FOR THE EXISTING 3 RESIDENCES.

BASTROP COUNTY PLAT NOTES:

1. THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS FROM THE PREVIOUS SUBDIVISION, CHARRO ESTATES AS RECORDED IN CABINET NO. 1, PAGE 838, PLAT RECORDS BASTROP COUNTY, TEXAS.
2. PERMITS: PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, AND ON-SITE SEWAGE FACILITY. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT.
3. NO ON-SITE WATER WELL MAY BE PLACED WITHIN 100' (50' IF ENCASED) OF AN ON-SITE SEWAGE DISPOSAL AREA, NOR CAN ANY ON-SITE SEWAGE DISPOSAL AREA BE PLACED WITHIN 100' (50' IF ENCASED) OF AN ON-SITE WELL.
4. EACH LOT SHALL HAVE A 50' WATER WELL SETBACK ADJACENT TO PROPERTY LINES. PROPERTY OWNERS AND/OR REGISTERED WATER WELL INSTALLERS ARE RESPONSIBLE TO DETERMINE APPROPRIATE LOCATIONS FOR SAME, IF NOT SPECIFIED HEREIN.
5. INDIVIDUAL ON-SITE SEWAGE FACILITY DESIGNS MUST BE SUBMITTED FOR APPROVAL FOR EACH LOT AND BUILT TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND THE REQUIREMENTS OF THE BASTROP COUNTY ORDER FOR ON-SITE SEWAGE FACILITIES PRIOR TO OCCUPATION OF THE RESIDENCE.
6. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER AND ELECTRIC DISTRIBUTION SYSTEMS AND WASTEWATER COLLECTION FACILITIES.
7. NO STRUCTURES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION.
8. ALL DRIVEWAYS IN THIS SUBDIVISION MUST BE CONSTRUCTED TO FACILITATE DRAINAGE ALONG THE ROW. THE DEVELOPER AND/OR PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF DRIVEWAYS IN ACCORDANCE WITH BASTROP COUNTY SPECIFICATIONS, WHICH MAY INCLUDE CULVERT PIPE INSTALLATION. A PERMIT MUST BE OBTAINED FROM BASTROP COUNTY PRIOR TO THE CREATION OF A DRIVEWAY. ACCESS TO STATE HIGHWAYS IS REGULATED BY TxDOT AND THEREFORE MUST BE APPROVED AND CONSTRUCTED TO ITS STANDARDS.

JAMES E. GARON & ASSOC.
PROFESSIONAL LAND SURVEYORS
Firm Reg. #10058400
185 McAllister Road
Bastrop, Texas 78602
(512) 303-4185
jgaron@austin.rr.com
www.jamesegaron.com

CHARRO ESTATES SUBDIVISION

FINAL PLAT

694 MESA DR., DEL VALLEY, TX 78617

SHEET 02
OF 11

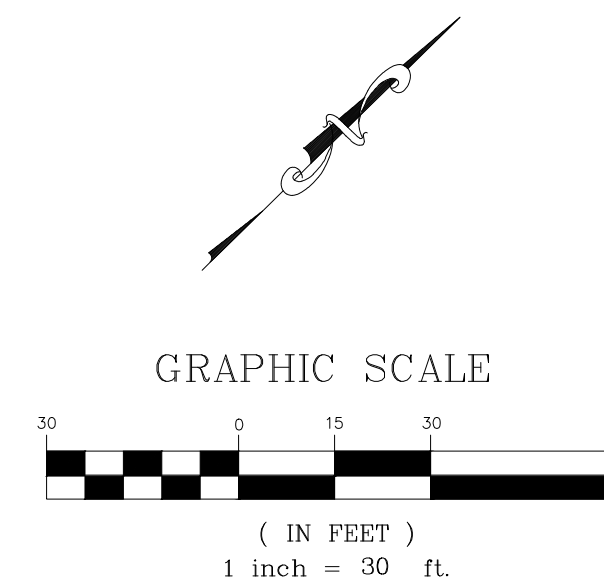




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		DESCRIPTION	
PROJ. #:	DATE:	DGN. BY:	CHKD. BY:
00-CHARRO	01/31/20	S.G.	R.G.

[illegible]

LEGEND	
	PROPOSED CONTOUR ELEVATIONS
	EXISTING CONTOURS

REVISIONS					
NO.	DATE	DESCRIPTION	BY		

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CHARRO ESTATES SUBDIVISION

SITE PLAN

694 MESA DR., DEL VALLEY, TX 780

SHEET 03
OF 11

197LF SILT FENCING

50LF ROCK BERM

LIMITS OF DISTURBANCE

570

575

582

583

584

585

586

587

99LF SILT FENCING

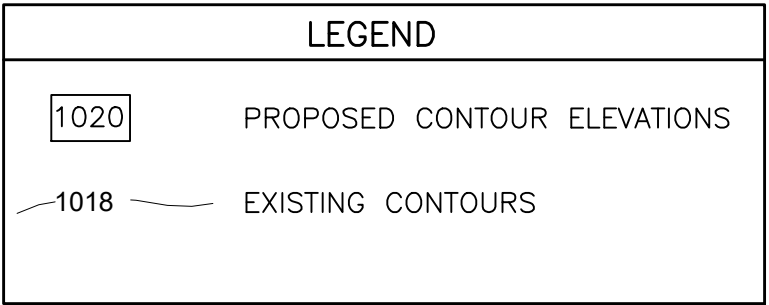
LIMITS OF DISTURBANCE

189LF SILT FENCING

LIMITS OF DISTURBANCE

STABILIZED CONSTRUCTION ENTRANCE/EXIT

MESA DR.



1020 PROPOSED CONTOUR ELEVATIONS

1018 EXISTING CONTOURS

- 1) BMPs CALLED OUT IN THIS SHEET ARE TEMPORARY, AND SHALL BE REMOVED BY THE CONTRACTOR AFTER FINAL SITE STABILIZATION.
- 2) SEE SHEET 5 FOR TEMPORARY BMP DETAILS.
- 3) SEE SHEET 9 FOR PERMANENT BMP DETAILS.

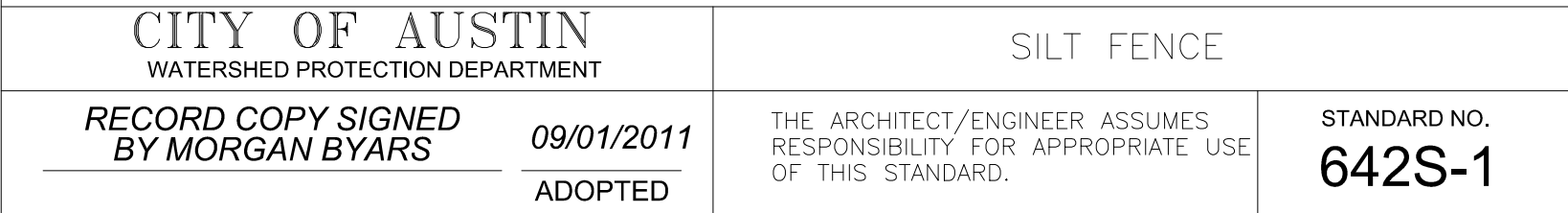
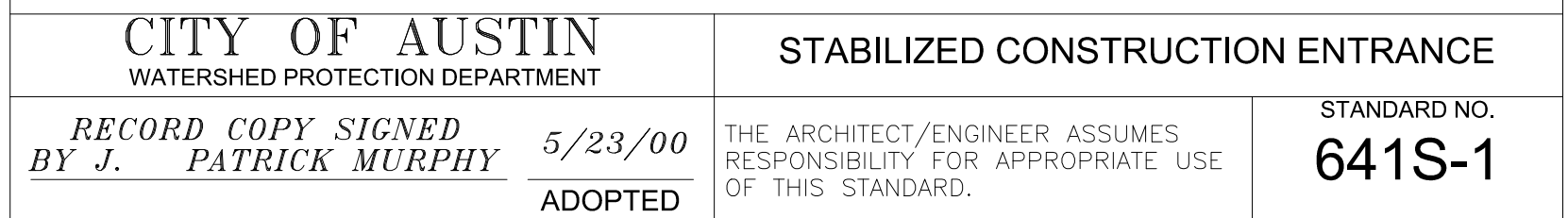
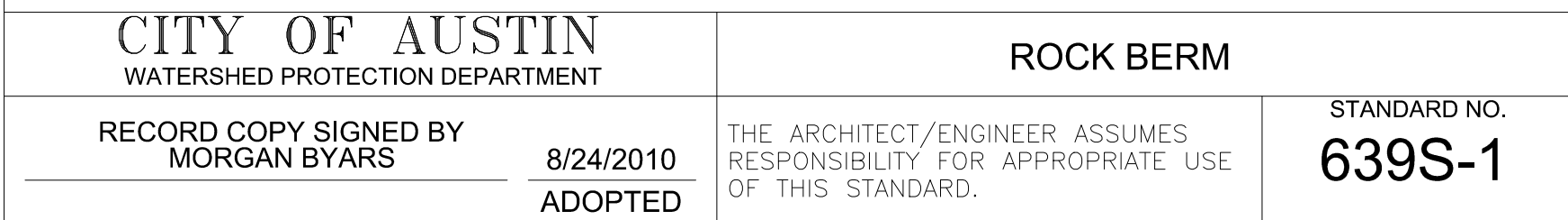
TEMPORARY EROSION CONTROL PLAN

694 MESA DR., DEL VALLEY, TX 78617

SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812

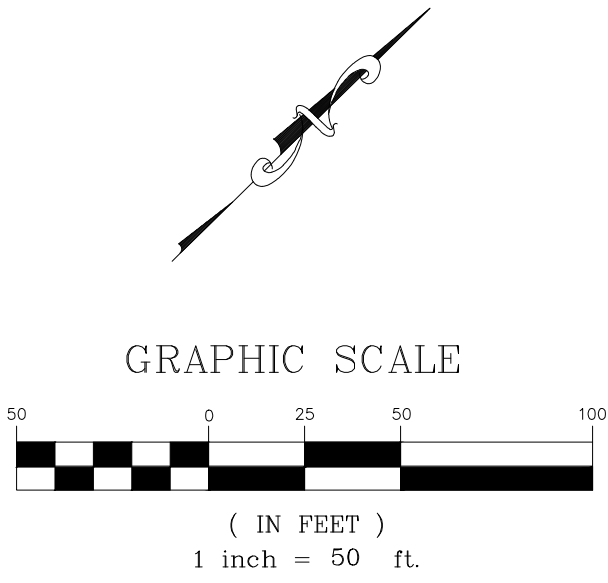
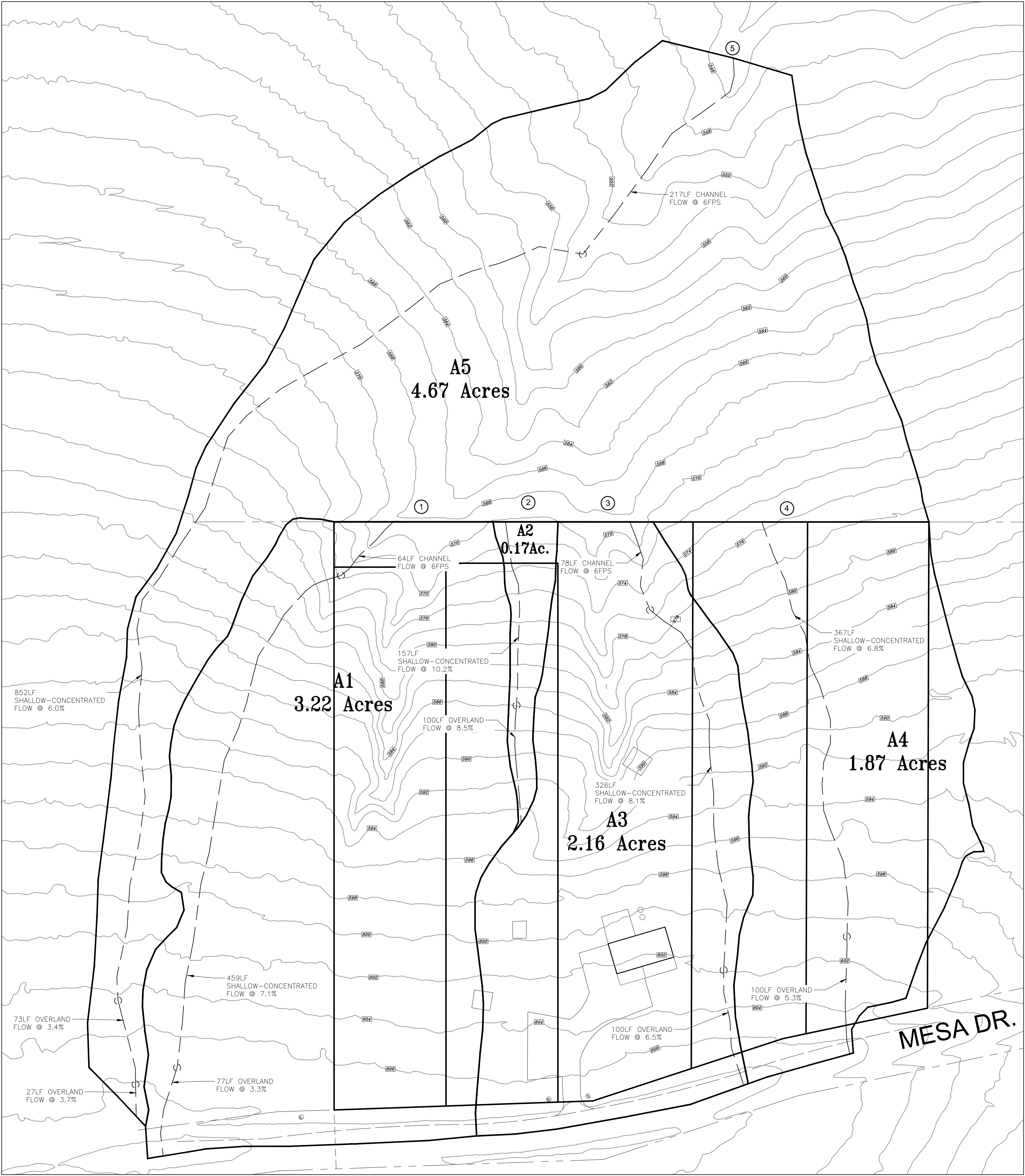
REVISIONS					
NO.	DATE	DESCRIPTION	BY		

N:\2020_projects\GEI\Charro Estates - GEI\CAD\civil Plans\Sheets\C-05-TEMP EROSION CONTROL PLAN



SHEET 05
OF 11

EXISTING DRAINAGE AREA MAP & CALCULATIONS



LEGEND

- 1018 EXISTING CONTOURS
- TIME-OF-CONCENTRATION FLOWPATHS
- A1**
3.22 Acres
SUB-BASIN LABEL AND AREA
- ① HYDROLOGIC COMPUTATION NODES

SUB-BASIN	IMPERVIOUS COVER AREA (AC.)	UN-DEVELOPED AREA (AC.)	% IMPERVIOUS COVER
A1	0.15	3.07	4.66%
A2	0	0.17	0.00%
A3	0.24	1.92	11.11%
A4	0	1.87	0.00%
A5	0.02	4.65	0.43%

PEAK DISCHARGES (CFS) - EXISTING CONDITIONS				
NODE	2-YR	10-YR	25-YR	100-YR
1	6.2	14.2	18.9	26.7
2	0.4	0.8	1.1	1.6
3	4.4	9.8	13	18.3
4	3.5	8.1	10.9	15.4
1+2+3	11	24.8	33	46.6
1+2+3+4	14.5	32.9	43.9	62
5	22.1	50.6	67.5	95.5

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. #:

00-CHARRO

DATE:

07/31/20

DGN. BY:

S.G.

CHKD. BY:

R.G.

FIRM REGISTRATION #

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CALLEGOS ENGINEERING, INC.

SAN ANTONIO, TEXAS

PH: 210.641.0812

WWW.CALLEGOS.COM

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SEAL OF THE STATE OF TEXAS

REGISTERED PROFESSIONAL ENGINEER

RICHARD M. CALLEGOS

88916

CHARRO ESTATES SUBDIVISION

EXISTING DRAINAGE AREA MAP AND CALCULATIONS

694 MESA DR., DEL VALLEY, TX 78617

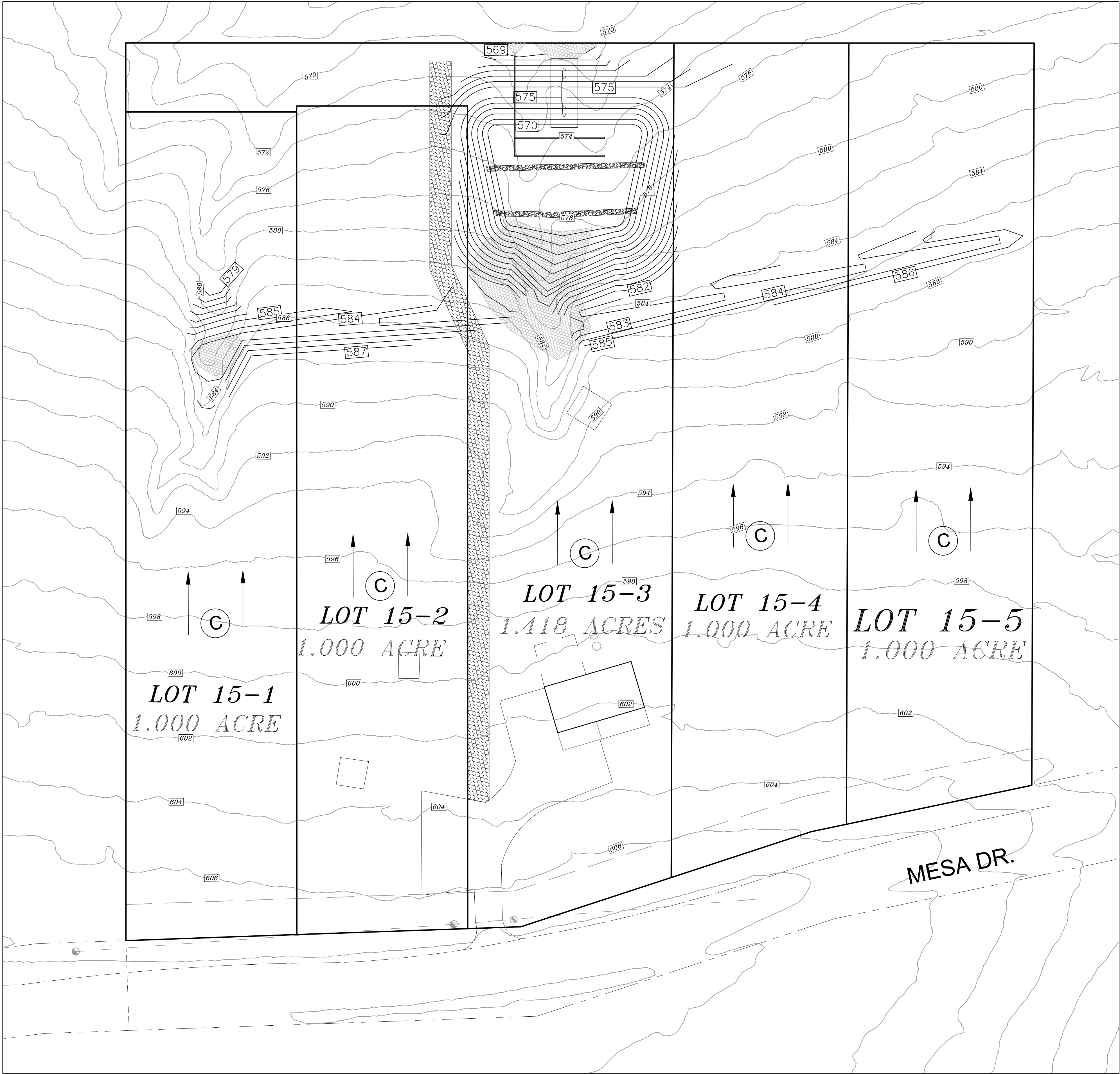
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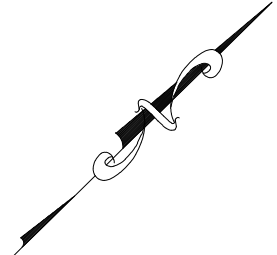
06

OF

11

GRADING PLAN





GRAPHIC SCALE

30 0 15 30 60

(IN FEET)

1 inch = 30 ft.

LEGEND

1020 PROPOSED CONTOUR ELEVATIONS

1018 EXISTING CONTOURS

Ⓢ LOT GRADING TYPE "C"
DRAINS FROM FRONT TO BACK

- GENERAL NOTES:**
- IF AN ELEVATION DISCREPANCY IS FOUND, CONTRACTOR MUST NOTIFY ENGINEER IMMEDIATELY BEFORE COMMENCING CONSTRUCTION; OTHERWISE PROCEEDING WITHOUT GEI NOTIFICATION/COORDINATION WILL CONSTITUTE CONTRACTOR PROCEEDING AT OWN RISK. OWNER NOT RESPONSIBLE FOR PAYING TO REWORK AREAS THAT CONTRACTOR PROCEEDED WITHOUT GEI NOTIFICATION/COORDINATION.
 - CONTRACTOR MUST ENSURE THAT ALL DISTURBED AREAS ARE GRADED TO DRAIN PROPERLY AFTER CONSTRUCTION HAS BEEN COMPLETED.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE CITY OF AUSTIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - CONTRACTOR TO CALL TEXAS 811 AT 1-800-669-8344 PRIOR TO CONSTRUCTION FOR UTILITY LOCATES.

!!CAUTION!!
Contractor to Verify
Exact Location &
Depth of Exist
Facilities Prior to any
Construction Activities

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- NOTES**
- SEE GENERAL DETAILS FOR FILL COMPACTION REQUIREMENTS OUTSIDE THE RIGHT-OF-WAY; AREAS TO BE COMPACTED TO 90% PROCTOR MAX. DRY DENSITY.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETRAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

REVISIONS	
NO.	DESCRIPTION

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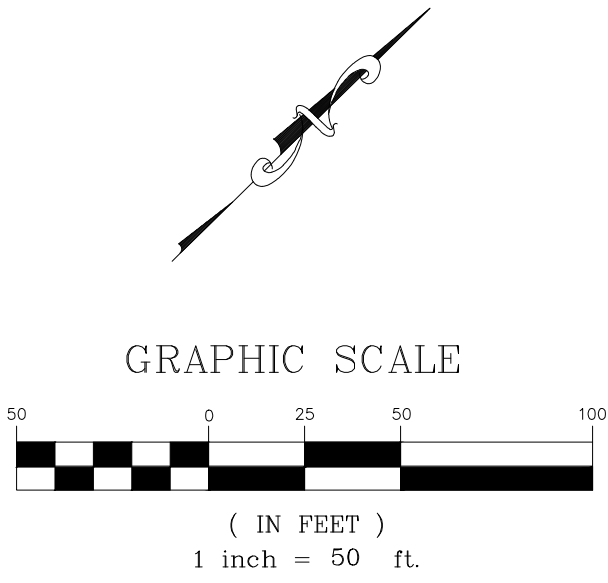
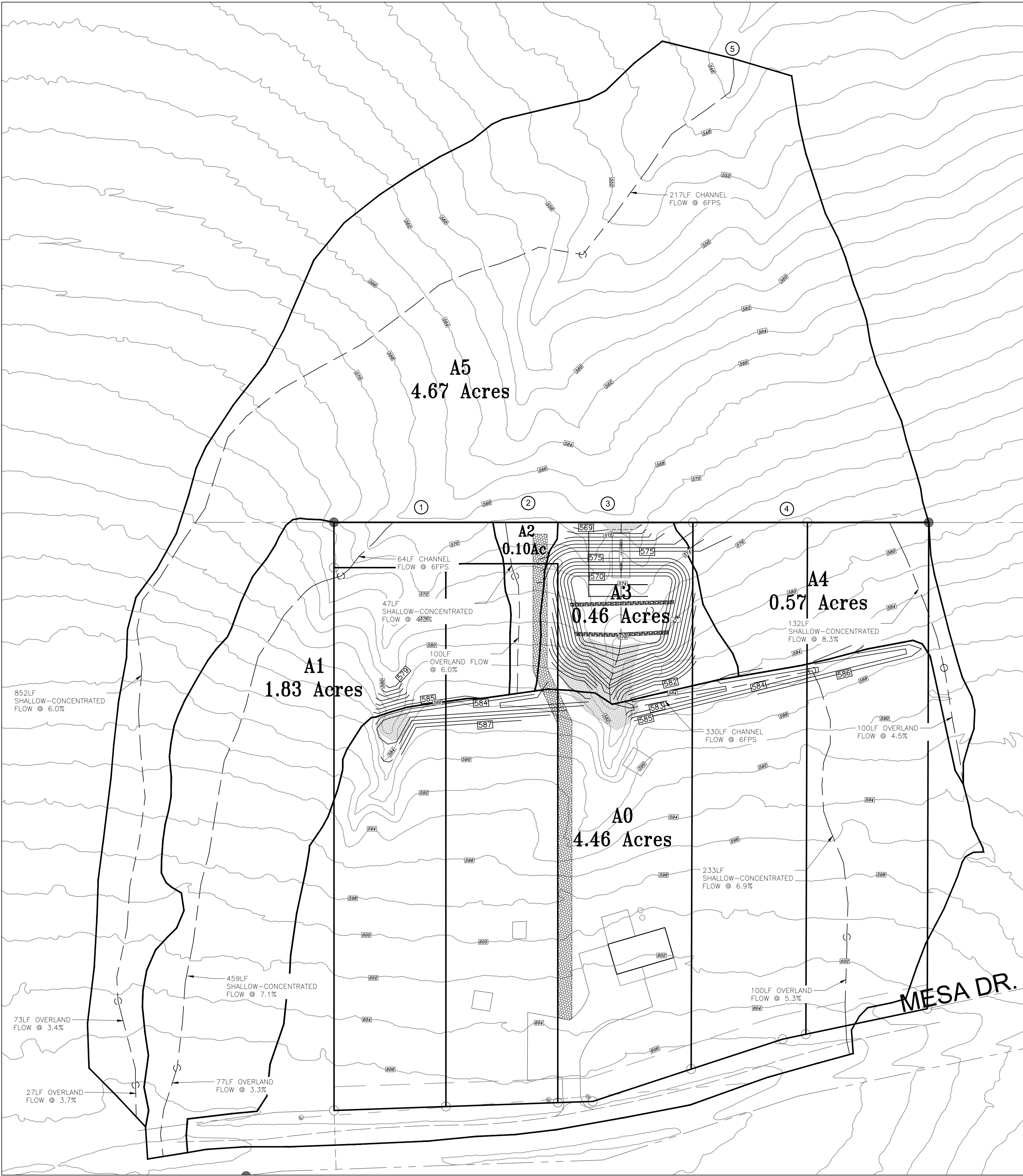
GRADING PLAN

694 MESA DR., DEL VALLEY, TX 78617

SHEET **07**

OF **11**

FULLY-DEVELOPED DRAINAGE AREA MAP & CALCULATIONS



LEGEND

1020

PROPOSED CONTOUR ELEVATIONS

1018

EXISTING CONTOURS

TIME-OF-CONCENTRATION FLOWPATHS

A1

3.22 Acres

SUB-BASIN LABEL AND AREA

1

HYDROLOGIC COMPUTATION NODES

SUB-BASIN	IMPERVIOUS COVER AREA (AC.)	UN-DEVELOPED AREA (AC.)	% IMPERVIOUS COVER	TOTAL AREA (AC)
A1	0.15	1.68	8.20%	1.83
A2	0	0.1	0.00%	0.1
A3	0.75	4.17	15.24%	4.92
A4	0	0.57	0.00%	0.57
16	0.02	4.65	0.43%	4.67

PEAK DISCHARGES (CFS) - POST CONDITIONS (WITH DETENTION)				
NODE	2-YR	10-YR	25-YR	100-YR
1	3.7	8.3	11	15.6
2	0.2	0.5	0.7	1
3	5.8	14.1	19	29.6
4	1.1	2.5	3.3	4.7
1+2+3	9.7	22.9	30.7	46.2
1+2+3+4	10.8	25.4	34	50.9
5	17.8	42.4	56.9	83.1

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NO.	DATE	DESCRIPTION	BY		
PROJ. #:	DATE:	DGN. BY:	DWN. BY:	CHKD. BY:	
00-CHARRO	01/31/20	S.G.	S.G.	S.G.	R.G.

FIRM REGISTRATION # F40004

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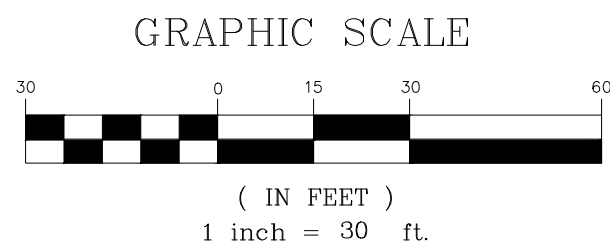
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CHARRO ESTATES SUBDIVISION

FULLY-DEVELOPED DRAINAGE AREA MAP AND CALCULATIONS

694 MESA DR., DEL VALLEY, TX 78617



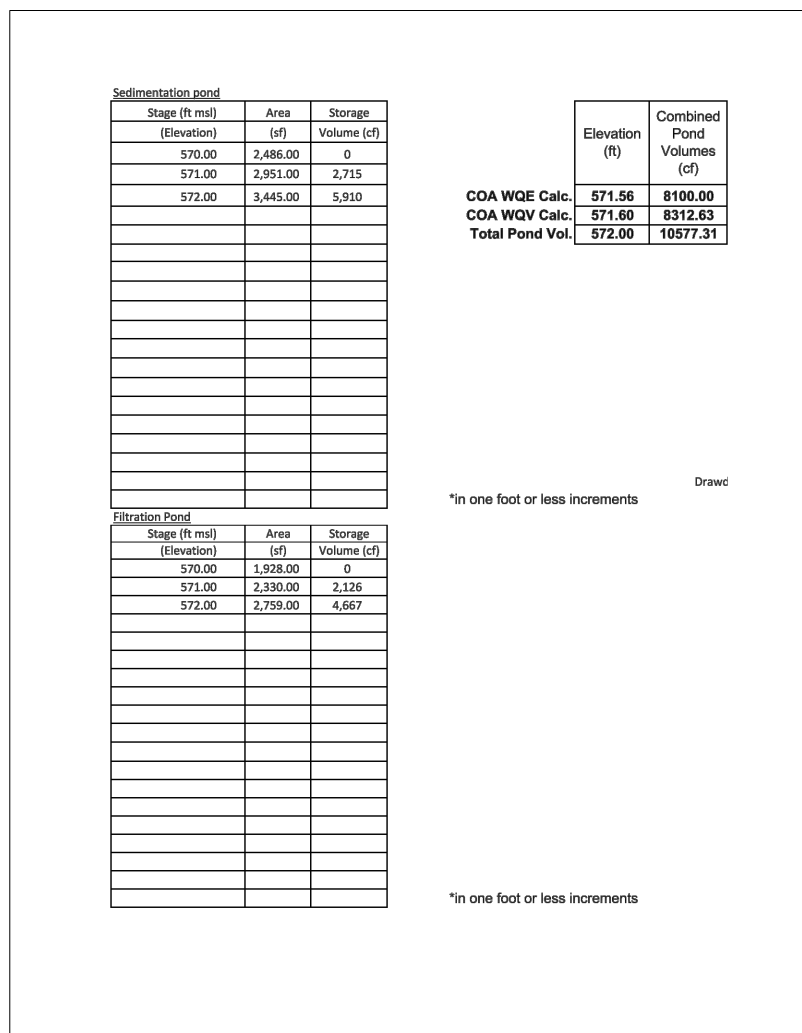
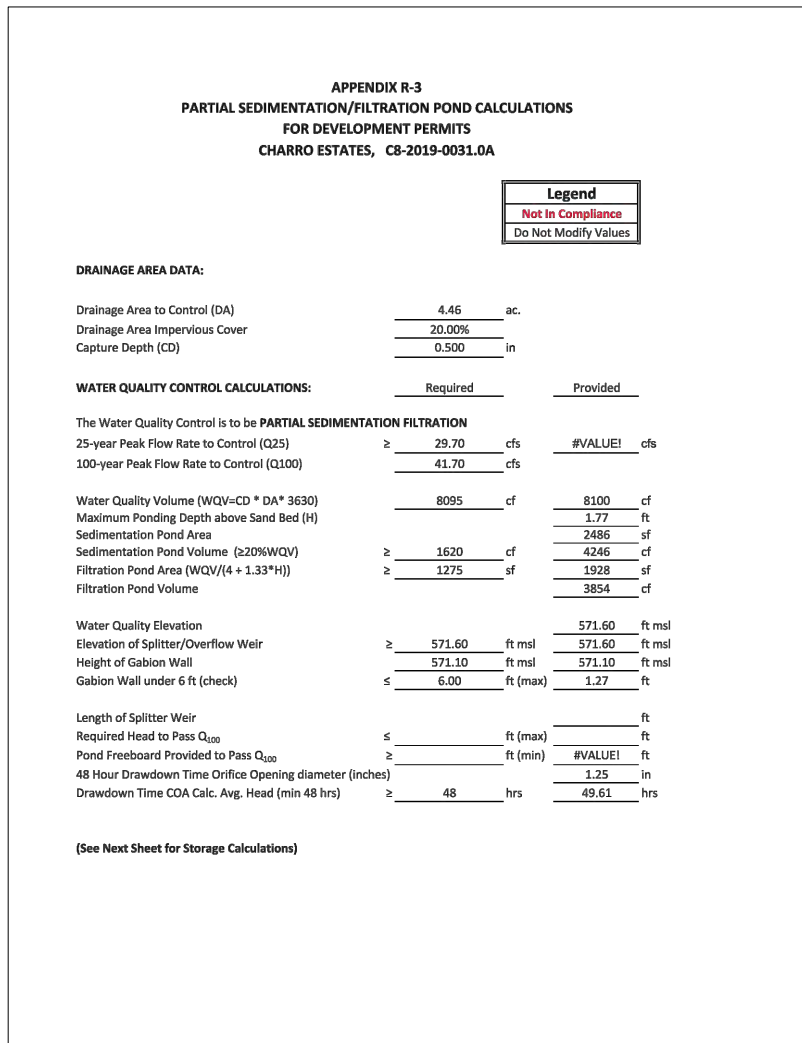
!!CAUTION!!
Contractor to Verify
Exact Location &
Depth of Exist
Facilities Prior to any
Construction Activities

CAUTION!!!
CONTACT:
1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF EXISTING UNDERGROUND UTILITIES
ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE
CONTRACTOR SHALL DETERMINE THE EXACT
LOCATION OF ALL EXISTING UTILITIES BEFORE
COMMENCING WORK. HE AGREES TO BE FULLY
RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH
MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE
AND PRESERVE ANY AND ALL UNDERGROUND
UTILITIES.

NOTES

- 1) PROPOSED BASIN SHALL "STACK" REQUIRED STORMWATER DETENTION VOLUME ABOVE THE REQUIRED WATER QUALITY TREATMENT VOLUME.
- 2) EMBANKMENT SLOPES FOR ALL CUT/FILL AREAS TO BE 3 FT HORIZONTAL TO 1 FT VERTICAL.
- 3) ALL EMBANKMENT AREAS TO BE COMPACTED WITH 8" LIFTS TO 90% MAXIMUM DRY ROUGH DENSITY.
- 4) SEE SHEET 10 FOR STORM WATER DETENTION OUTFALL, LEVEL SPREADER, ROCK RIP-RAP PROTECTION, INTERCEPTOR SWALE, AND PVC UNDERDRAIN DETAILS.
- 5) SEE SHEET 11 FOR POND GRAVEL MAINTENANCE POND DETAILS.



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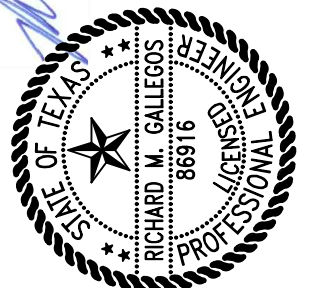
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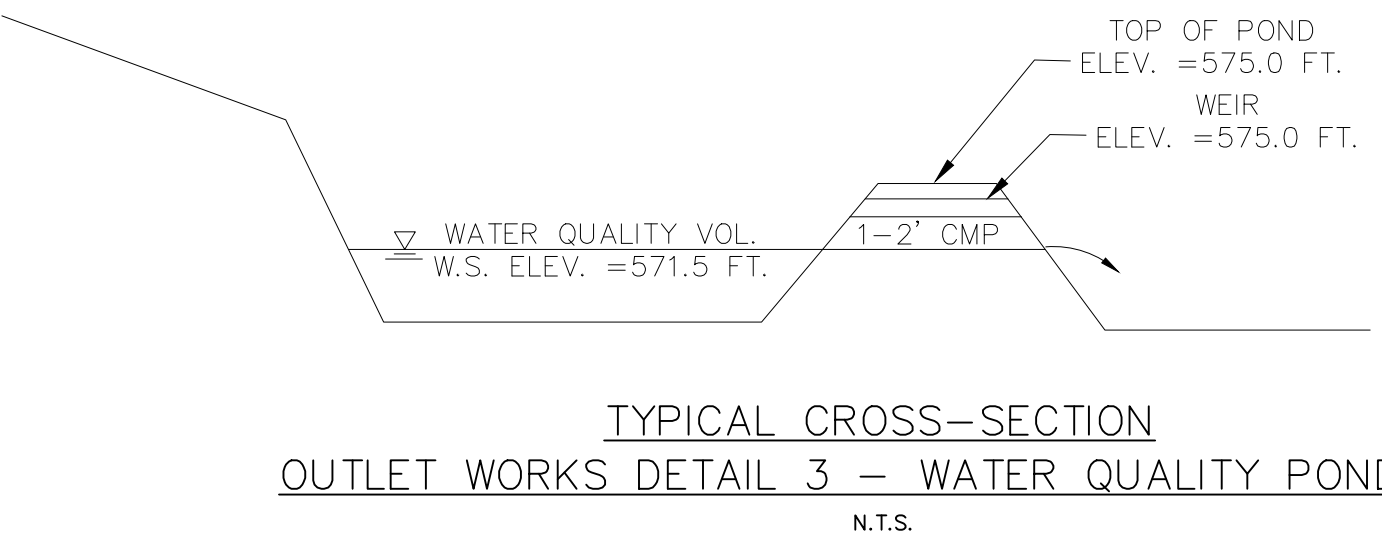
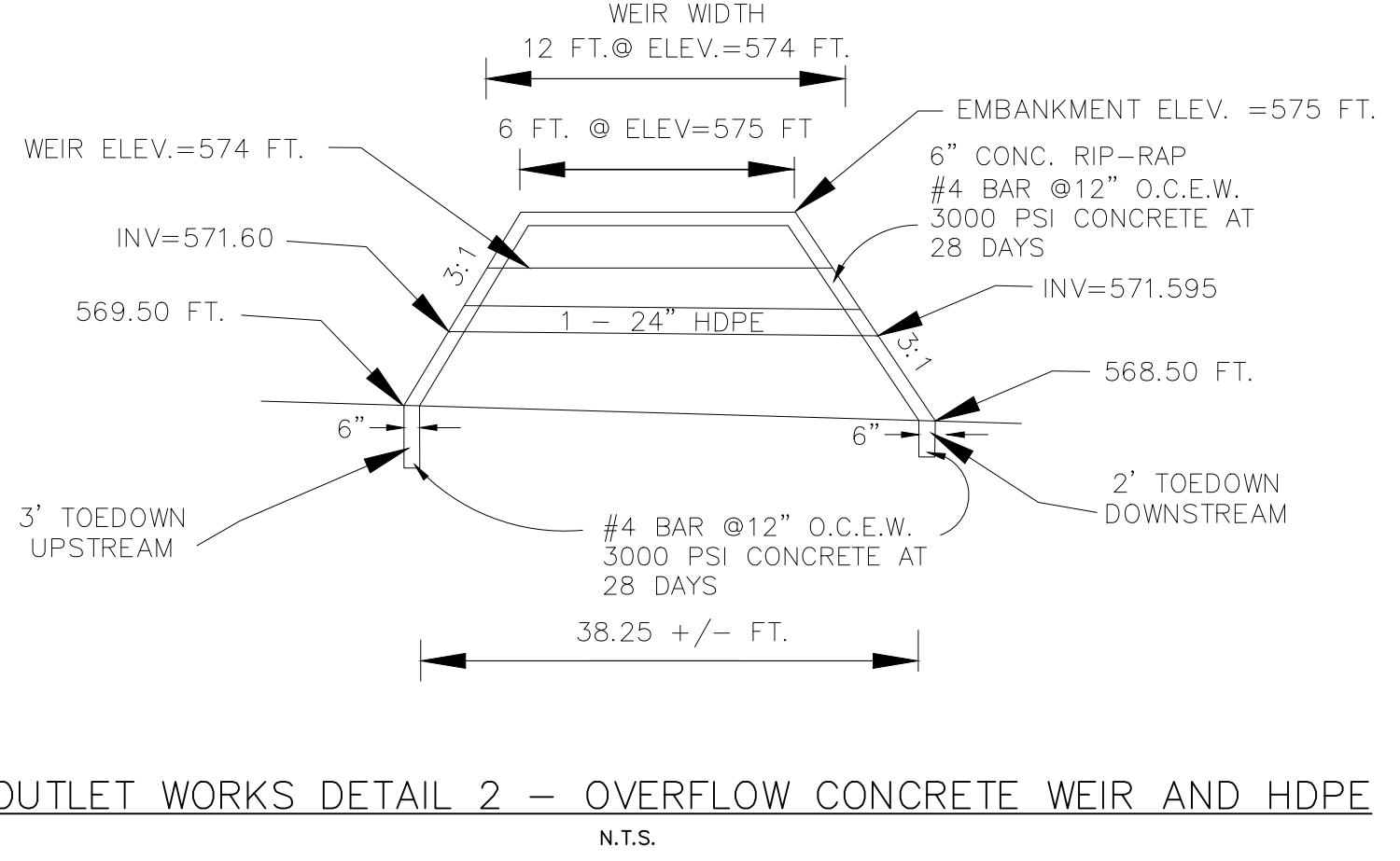
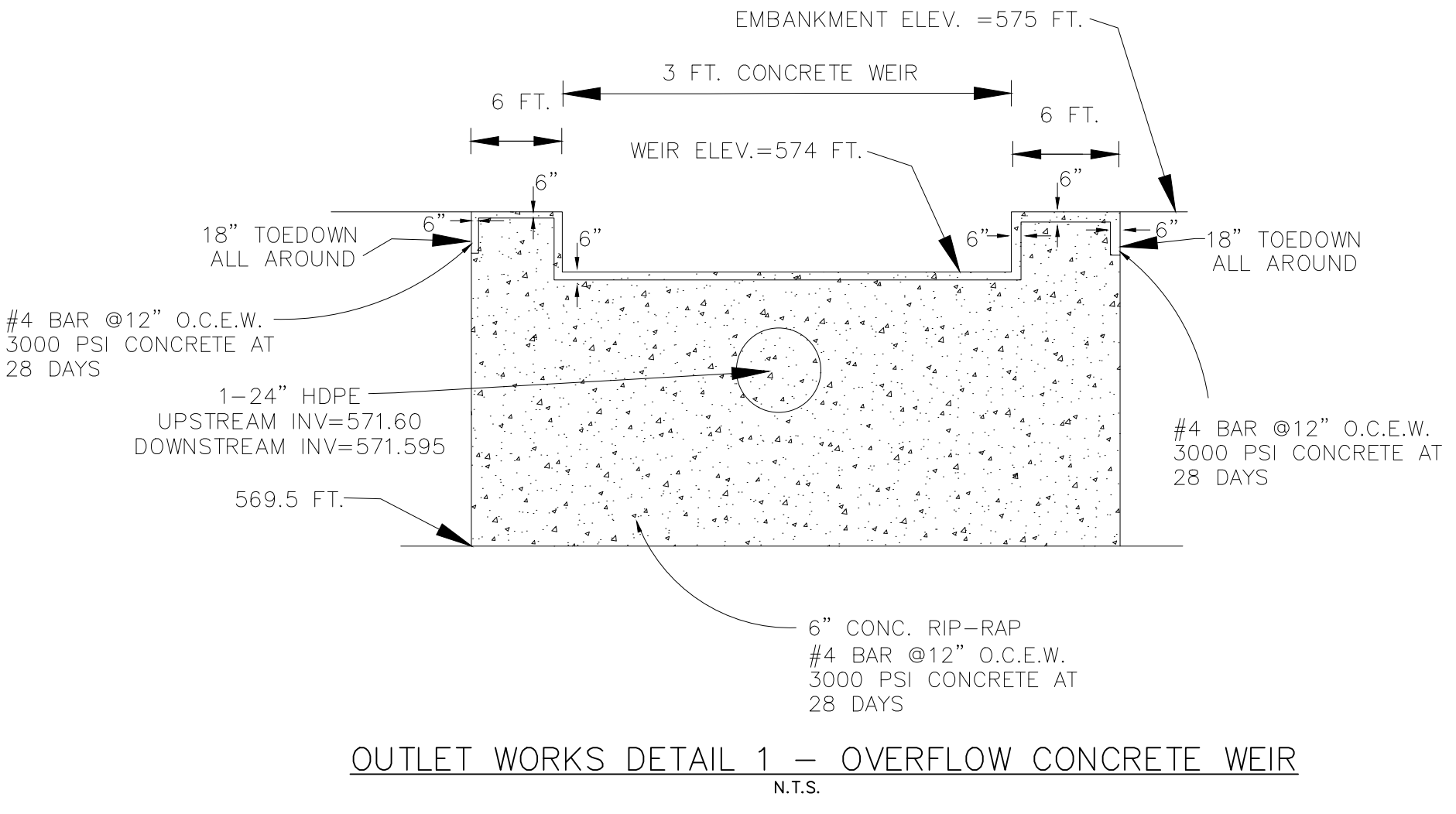
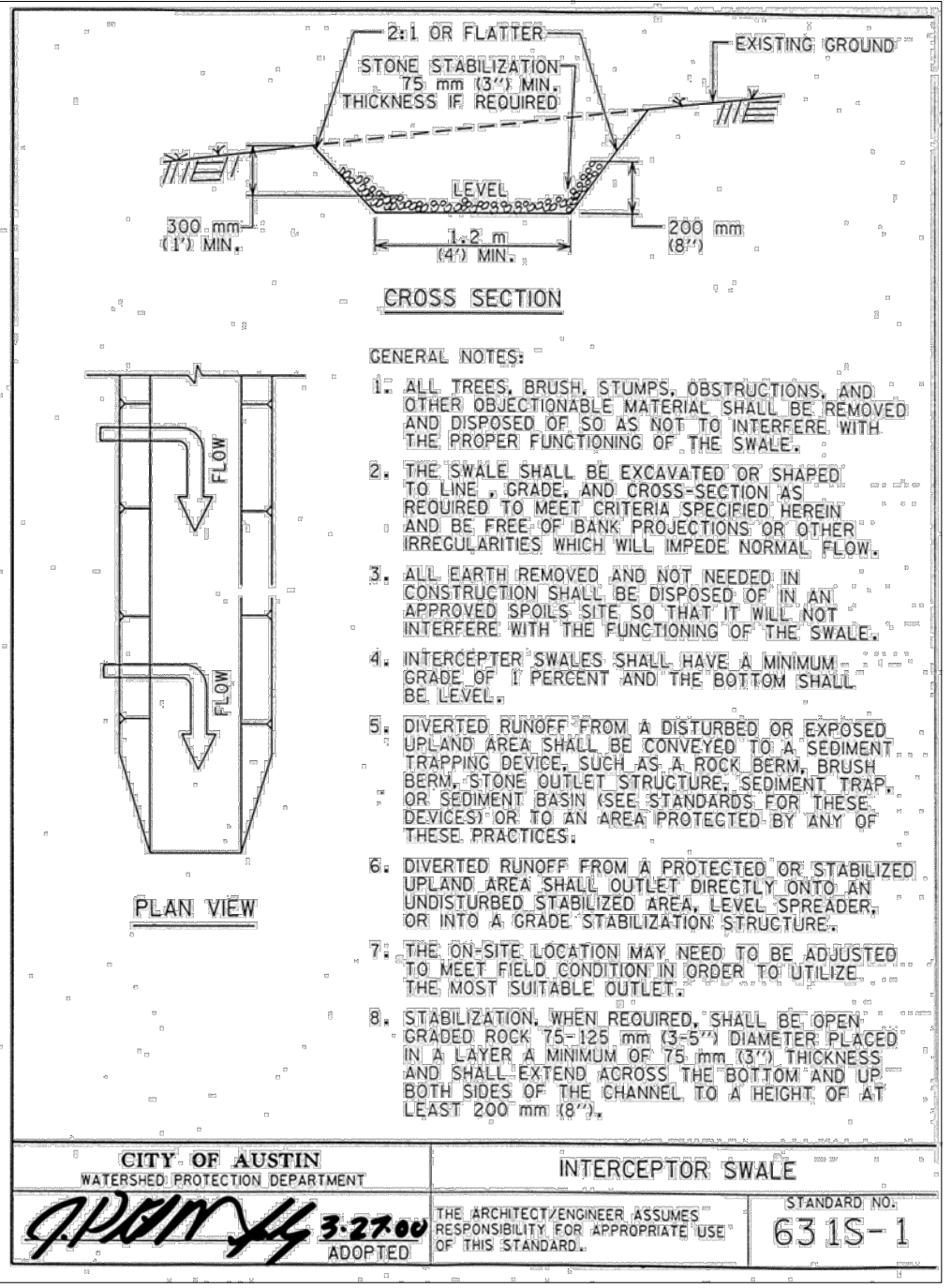
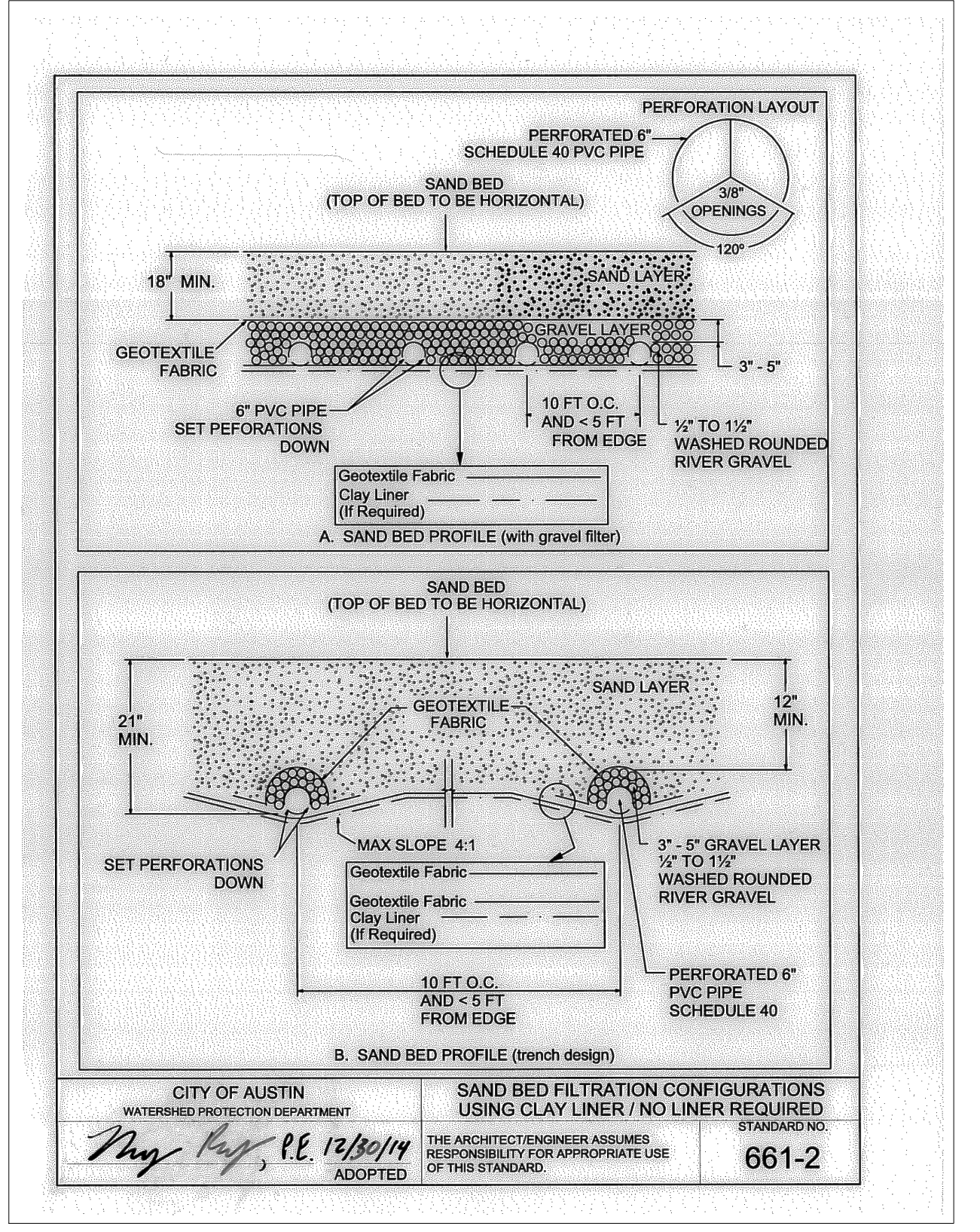
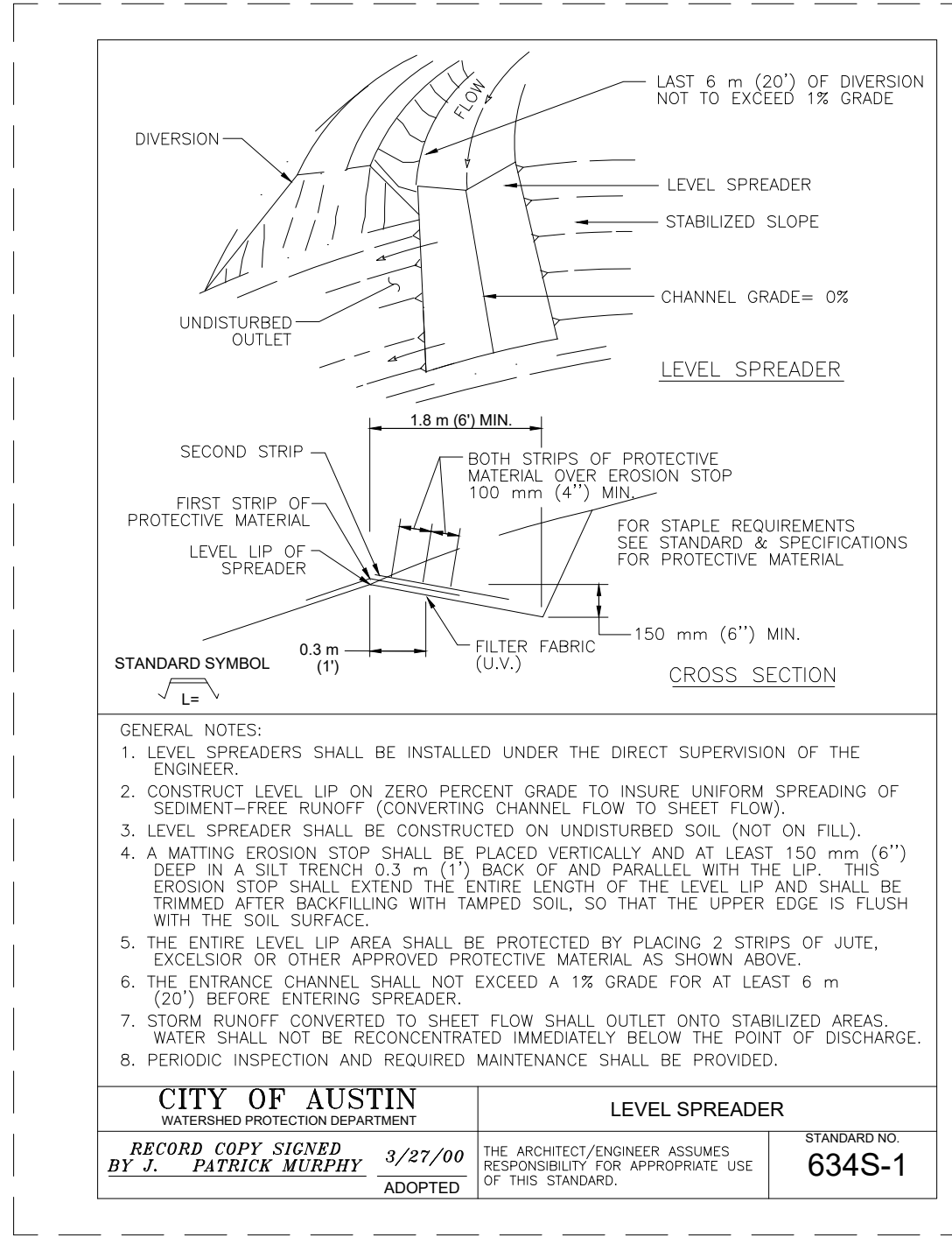
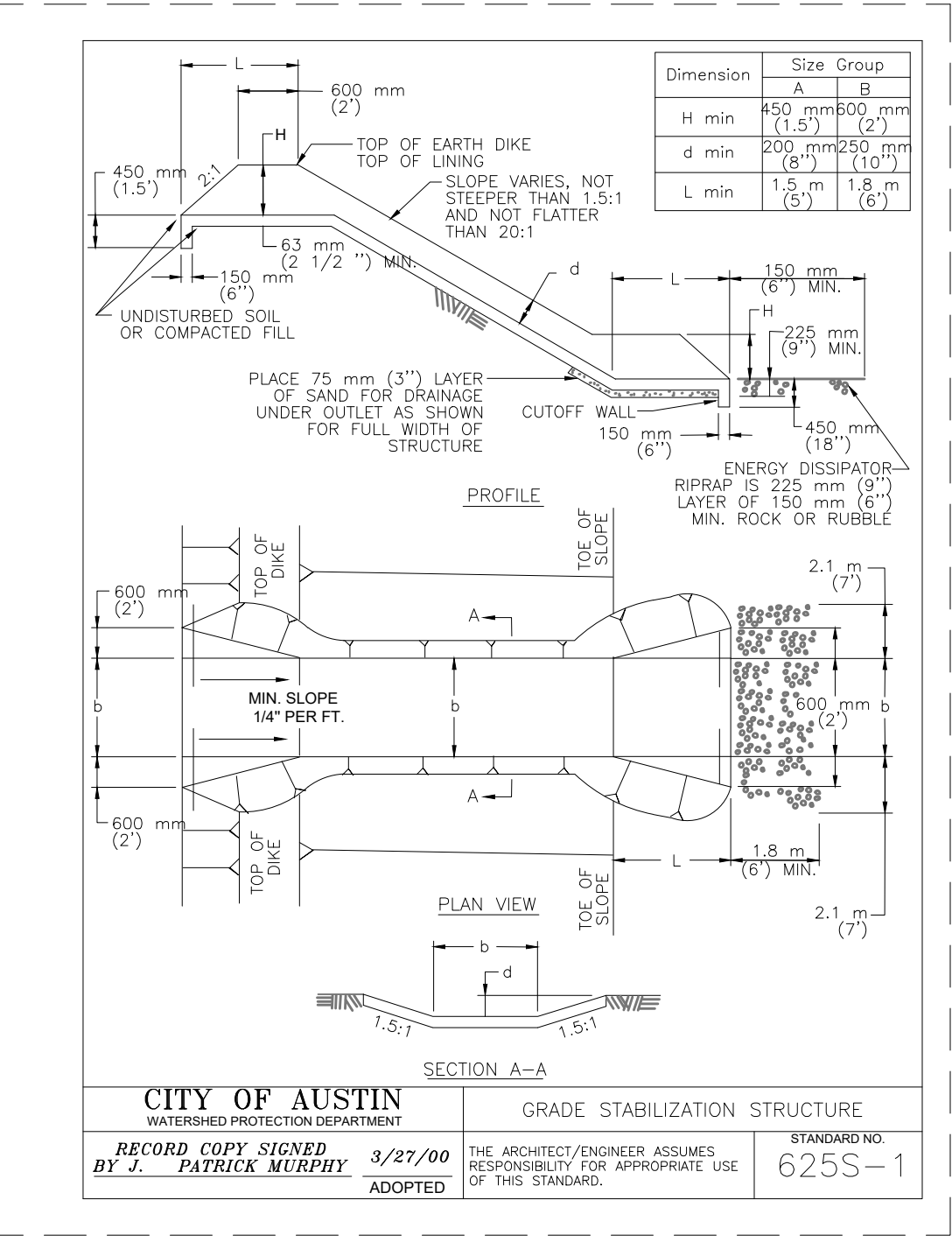
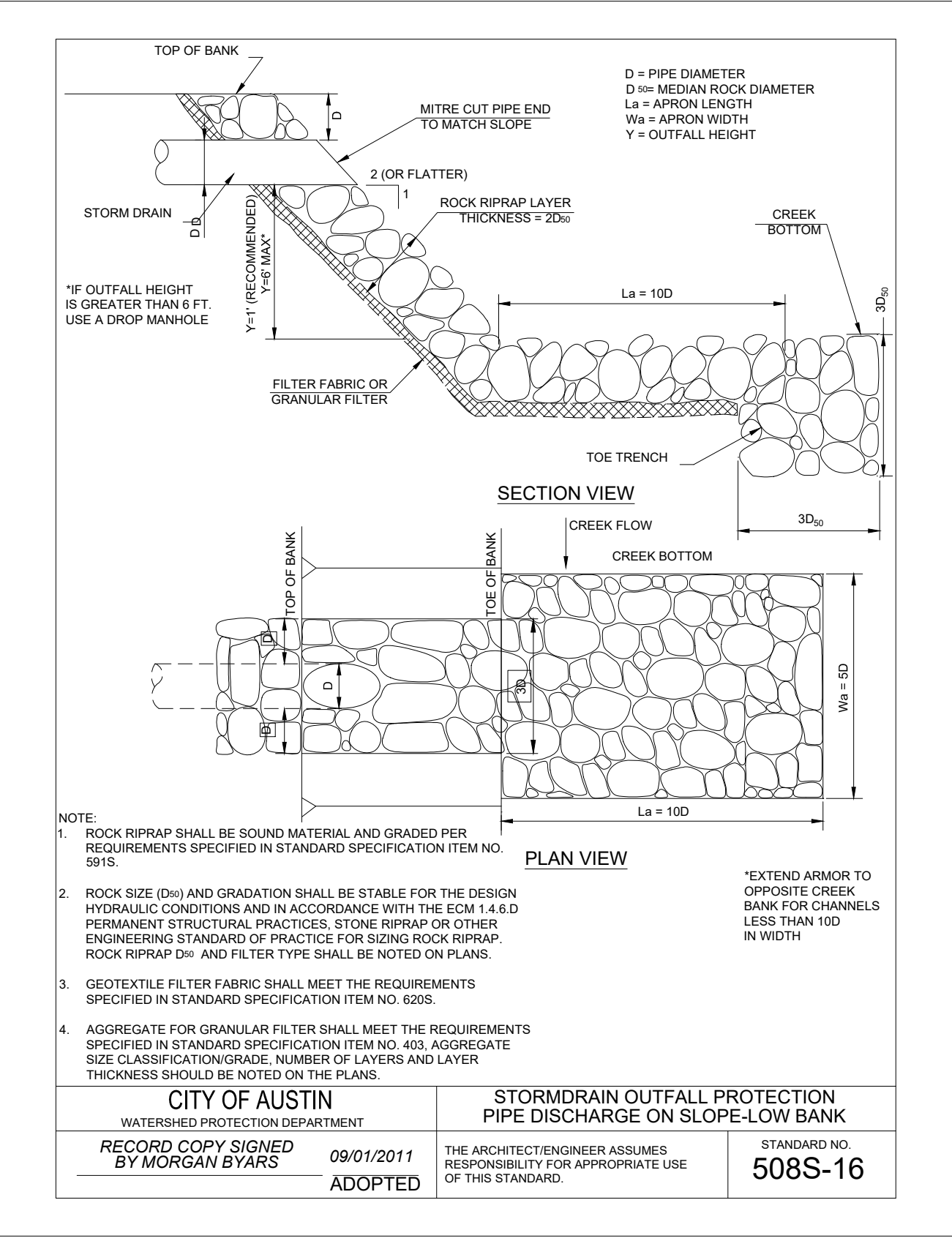


CHARRO ESTATES SUBDIVISION

WATER QUALITY CONTROL PLAN

694 MESA DR., DEL VALLEY, TX 78617

WATER QUALITY CONTROL PLAN DETAILS



TRENCH EXCAVATION SAFETY PROTECTION

Contractor and/or Contractor's independently retained employee or structural design/geotechnical/safety/equipment consultant, if any, shall review these plans and available geotechnical information and the anticipated installation site(s) within the project work area in order to implement contractor's trench excavation safety protection systems, programs and/or procedures for the project described in the contract documents. The Contractor's implementation of these systems, programs and/or procedures shall provide for adequate trench excavation safety protection that comply with as a minimum, OSHA standards for trench excavations. Specifically, Contractor and/or Contractor's independently retained employee or safety consultant shall implement a trench safety program in accordance with OSHA standards governing the presence and activities of individuals working in and around trench excavation.

NOTE:
CONTRACTOR TO COMPACT DETENTION BASIN EMBANKMENT FILL TO 90% STANDARD PROCTOR DENSITY.

REVISIONS		BY		DATE		DESCRIPTION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
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CHARRO ESTATES SUBDIVISION

WATER QUALITY CONTROL PLAN DETAILS

694 MESA DR., DEL VALLEY, TX 78617

CALLEGOS ENGINEERING, INC.

SEAL

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CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY J. PATRICK MURPHY 3/27/00 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 631S-1

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BASTROP COUNTY SUBDIVISION REGULATIONS.
5. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
6. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS ARE APPROPRIATE.
7. ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. RE-VEGETATION IS TO TAKE PLACE WITHIN 14 DAYS OF CONSTRUCTION INACTIVITY. RE-VEGETATION OF ALL DISTURBED OR EXPOSED AREAS SHALL CONSIST OF SODDING OR SEEDING, AT THE CONTRACTOR'S OPTION. HOWEVER, THE TYPE OF RE-VEGETATION MUST EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION
8. WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE DIRECTOR.
9. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
10. AVAILABLE BENCHMARKS THAT MAY BE UTILIZED FOR THE CONSTRUCTION OF THIS PROJECT ARE DESCRIBED AS FOLLOWS:

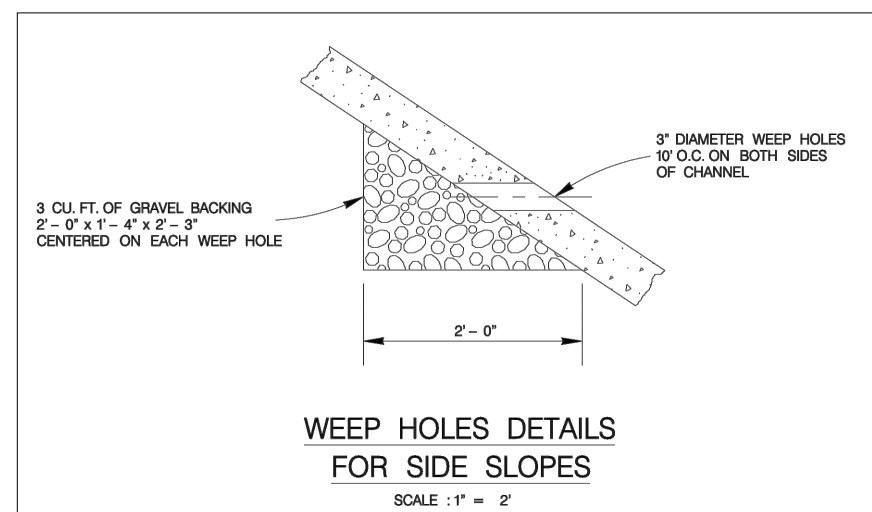
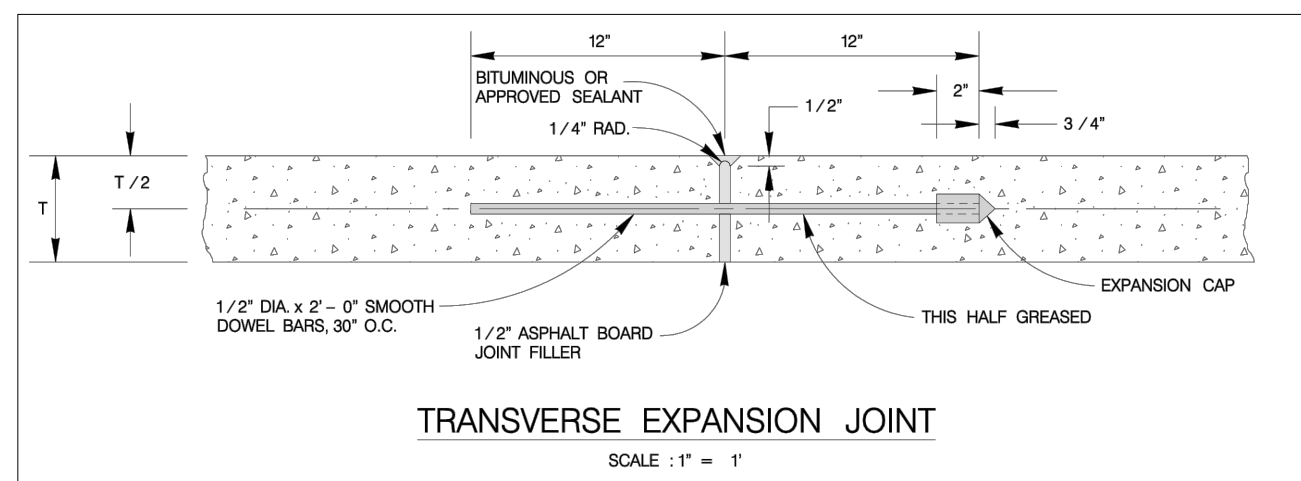
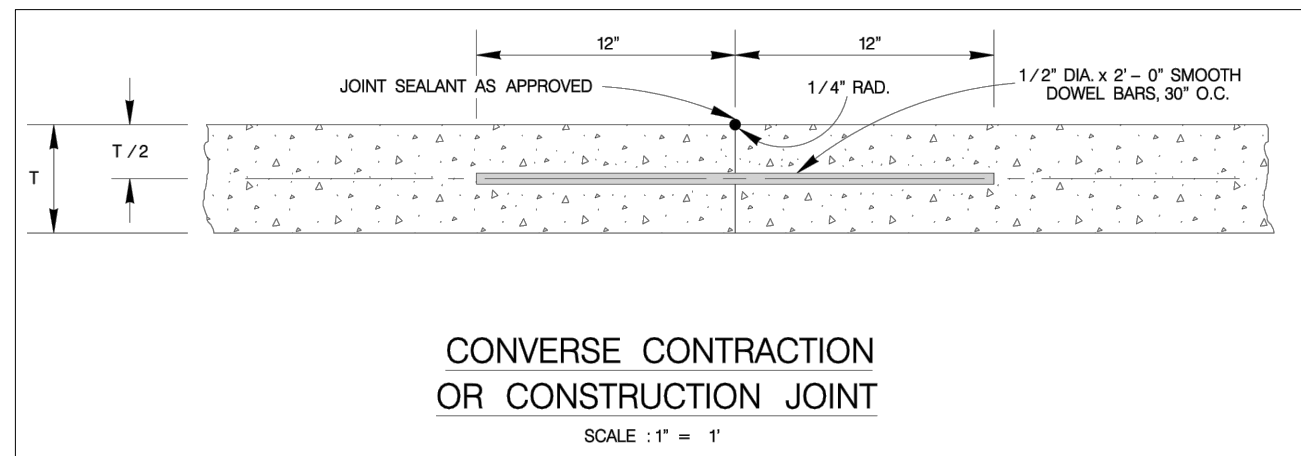
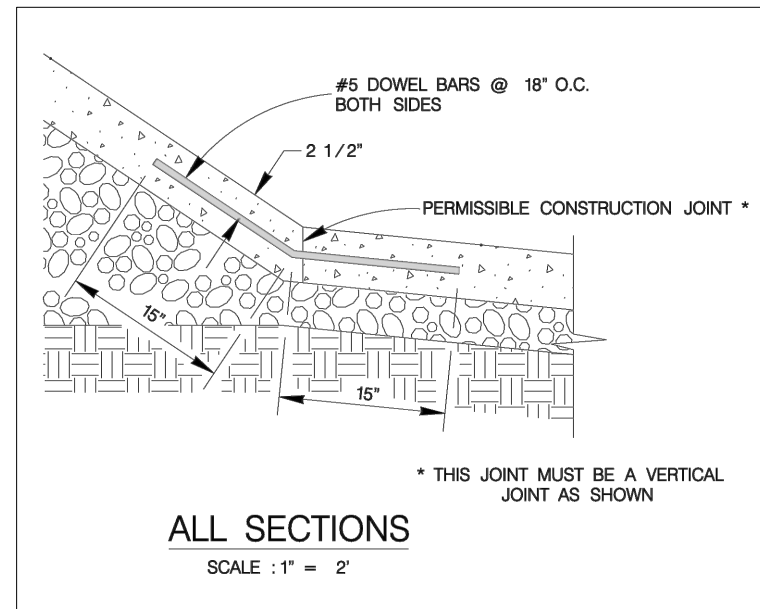
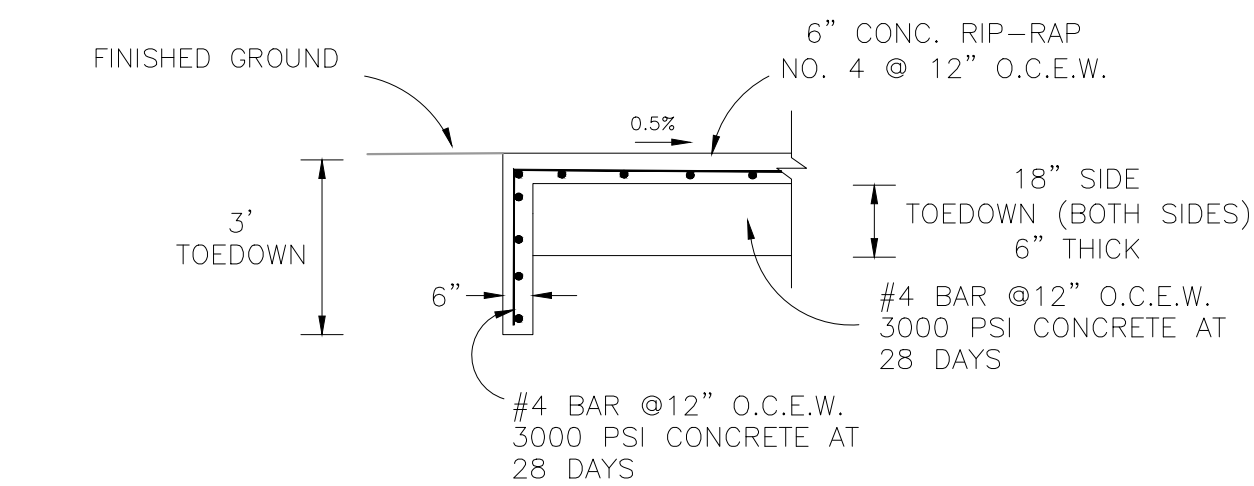
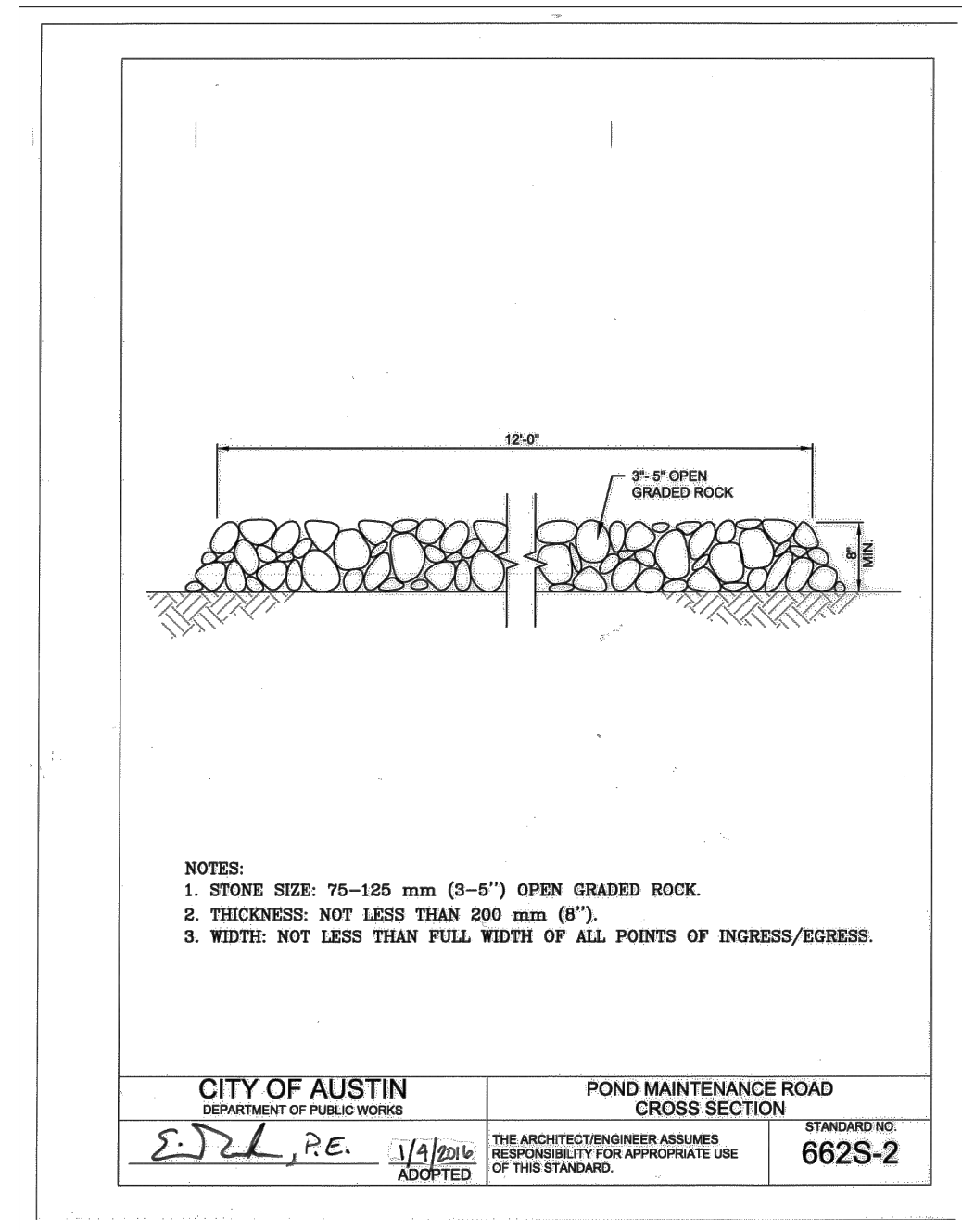


TABLE OF REINFORCEMENT		
THICKNESS OF RIP-RAP	STEEL REINFORCING BARS	OR WELDED WIRE FABRIC
5"	#4 @ 18" O.C.E.W.	6" x 6" - W / D6 x W / D6
GRADE 40 STEEL : NO REDUCTION IN STEEL WILL BE ALLOWED FOR HIGHER STRENGTH STEEL		

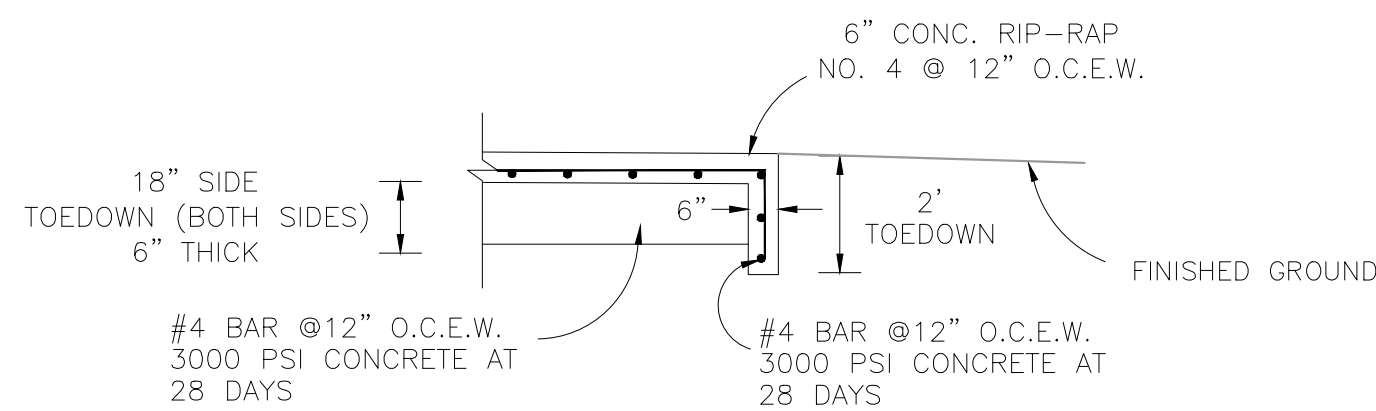
GENERAL NOTES

1. CONCRETE FOR CHANNEL REPAIR-RAP SHALL BE CLASS "A" 3000 P.S.I.
2. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS UNLESS OTHERWISE SHOWN.
3. ALL REINFORCEMENT STEEL SHALL MEET ASTM DESIGNATIONS AS CALLED FOR IN THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
4. NEW REPAIR-RAP SHOULD BE ATTACHED TO EXISTING REPAIR-RAP BY 4" BARS DOVEILED 4" INTO EXISTING REPAIR-RAP. THESE BARS ARE TO BE SPACED 18" O.C. AND HAVE A LENGTH OF 18".



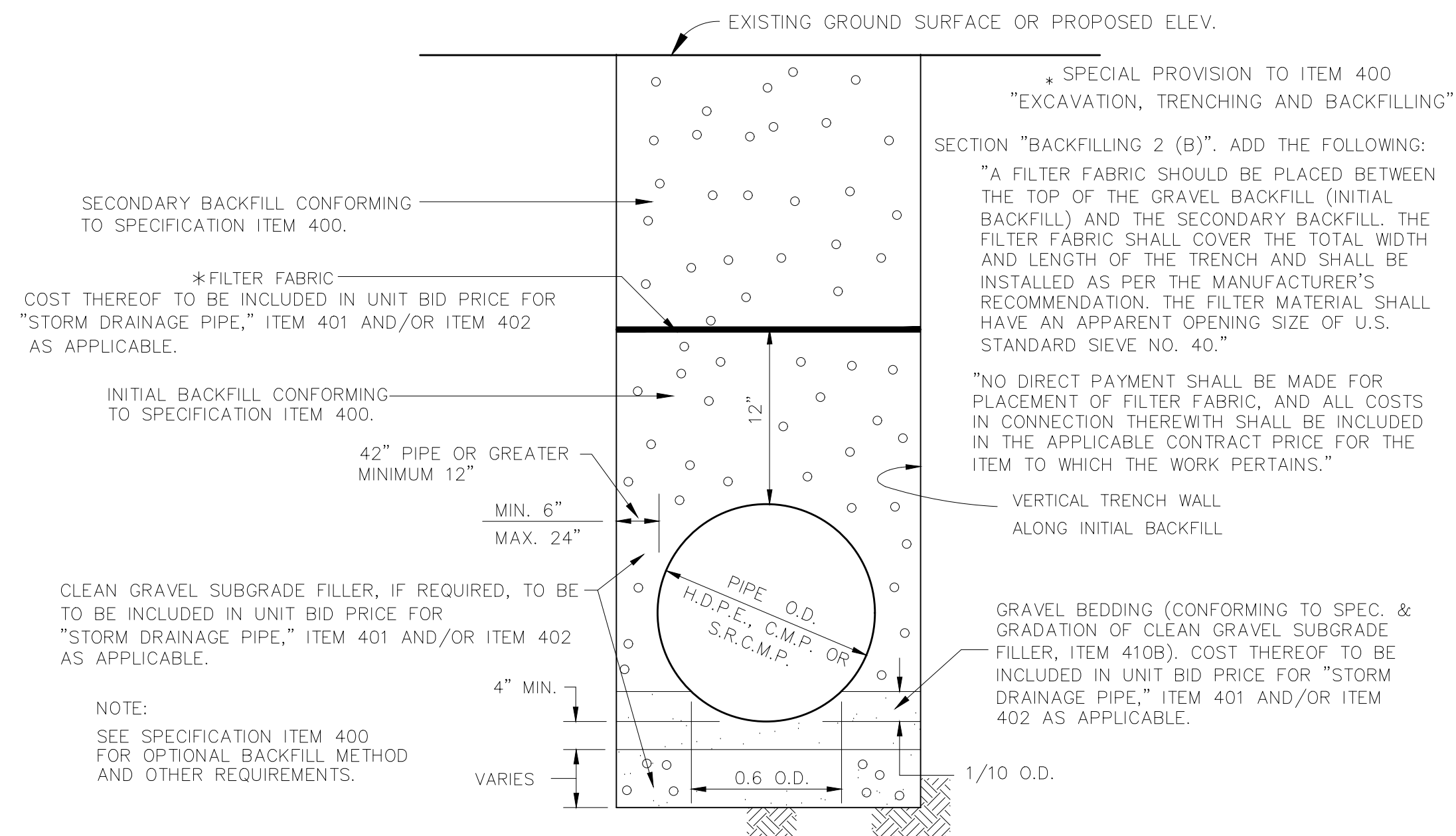
UPSTREAM RIP-RAP &
TOE DOWN DETAILS

N.T.S.



DOWNSTREAM RIP-RAP &
TOE DOWN DETAILS

N.T.S.



PIPE BEDDING & BACKFILL DETAILS

NOT TO SCALE

REVISIONS					
NO.	DATE	DESCRIPTION	BY		

FIRM REGISTRATION # F-003084

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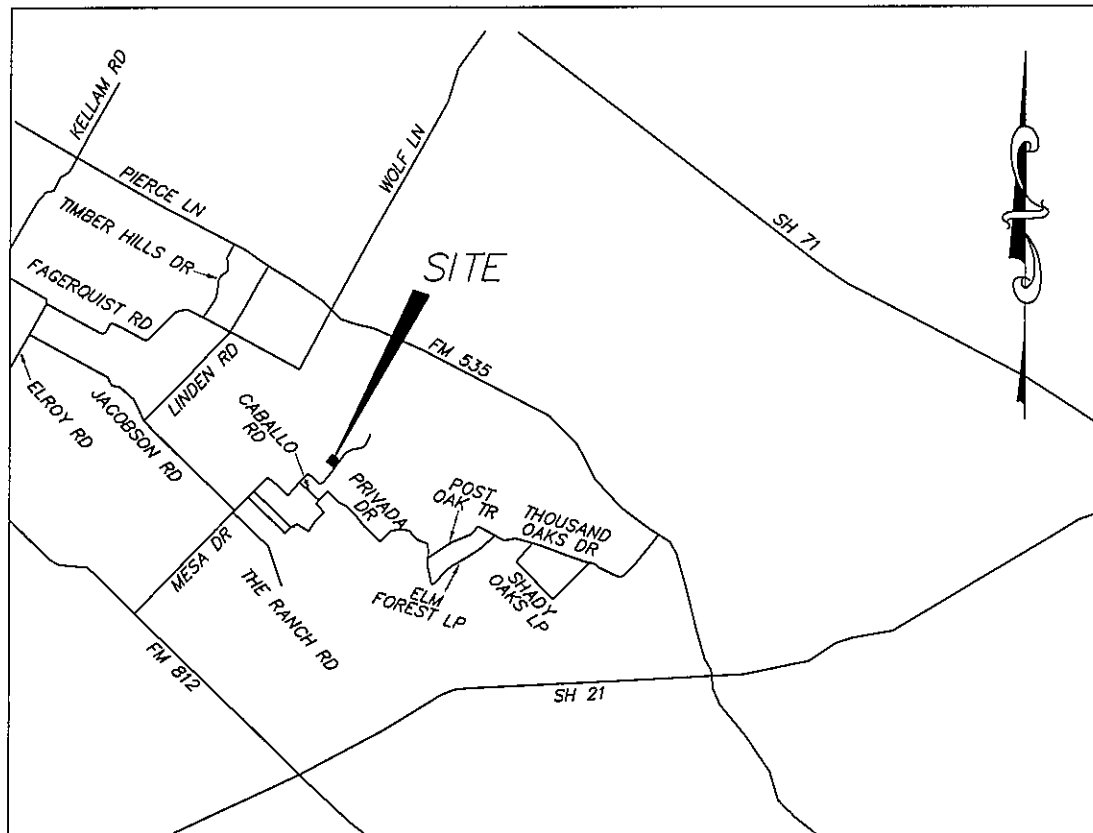


CHARRO ESTATES SUBDIVISION

GENERAL NOTES & DETAILS

694 MESA DR., DEL VALLEY, TX 78617

SHEET 11
OF 11



LOCATION MAP
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