PLANNING COMMISSION SITE PLAN EXTENSION REVIEW SHEET

CASE NUMBER:	SPC-2014-0442C(XT2) <u>PC MEETING DATE:</u> April 28, 2019
PROJECT NAME:	Sunset Ridge Commission Extension
ADDRESS:	8401 Southwest Pkwy
AREA:	9.606 acres
WATERSHED:	Williamson Creek, Barton Creek (Barton Springs Zone)
COUNCIL DISTRICT:	8
JURISDICTION:	Full Purpose
<u>APPLICANT</u> :	Tim Jamail Los Indios Ventures 1006 Mopac Circle, Ste 101 Austin, Texas 78746
AGENT:	LJA Engineering Inc. Reese Hurley, P.E. 5316 Hwy 290 W., Suite 150

EXISTING ZONING: GO-CO-NP

PROPOSED DEVELOPMENT: The applicant requests a three-year extension for a previously approved site plan. The approved site plan includes a 4-story office building with a total floor area of 197,300 sq. ft., with associated garage and surface parking, and other improvements. The site was originally approved with SPC-2014-0442C.

STAFF RECOMMENDATION: Staff recommends the requested three-year extension to January 27, 2023 with the condition that a correction be made per request from ATD. Staff previously granted a one-year administratively approved extension from January 27, 2019 to January 27, 2020.

PLANNING COMMISSION ACTION: N/A

<u>CASE MANAGER</u>: Jonathan Davila jonathan.davila@austintexas.gov

Telephone: 974-2414

<u>PREVIOUS APPROVALS</u>: The site plan was granted a one year administratively approved extension from January 27, 2019 to January 27, 2020.

PROJECT INFORMATION: 9.606 acres EXIST. ZONING: GO-CO-NP MAX. BLDG. COVERAGE: N/A MAX. IMPERV. CVRG: 55%

PROP. BLDG CVRG: 2.447 ac. (25.5%) **PROP. IMP. CVRG**: 4.108 acres (42.8%)

A COMPARISON OF THE APPROVED PROJECT WITH CURRENT REGULATIONS

WATERSHED ORDINANCE: This project complies with applicable watershed regulations.

LAND USE: The site plan complies with all applicable zoning regulations.

ENVIRONMENTAL: All environmental comments have been cleared.

TRANSPORTATION: All transportation comments have been cleared.

SURROUNDING CONDITIONS:

Zoning/ Land Use

Northeast:	ROW, then LR (Southwest Pkwy and undeveloped)
Southeast:	SF-2-CO-NP (Undeveloped)
Southwest:	ROW, then SF-2-CO-NP (Big Timber Dr., then SF residential)
Northwest:	GO-MU-CO-NP (undeveloped and SF residential)

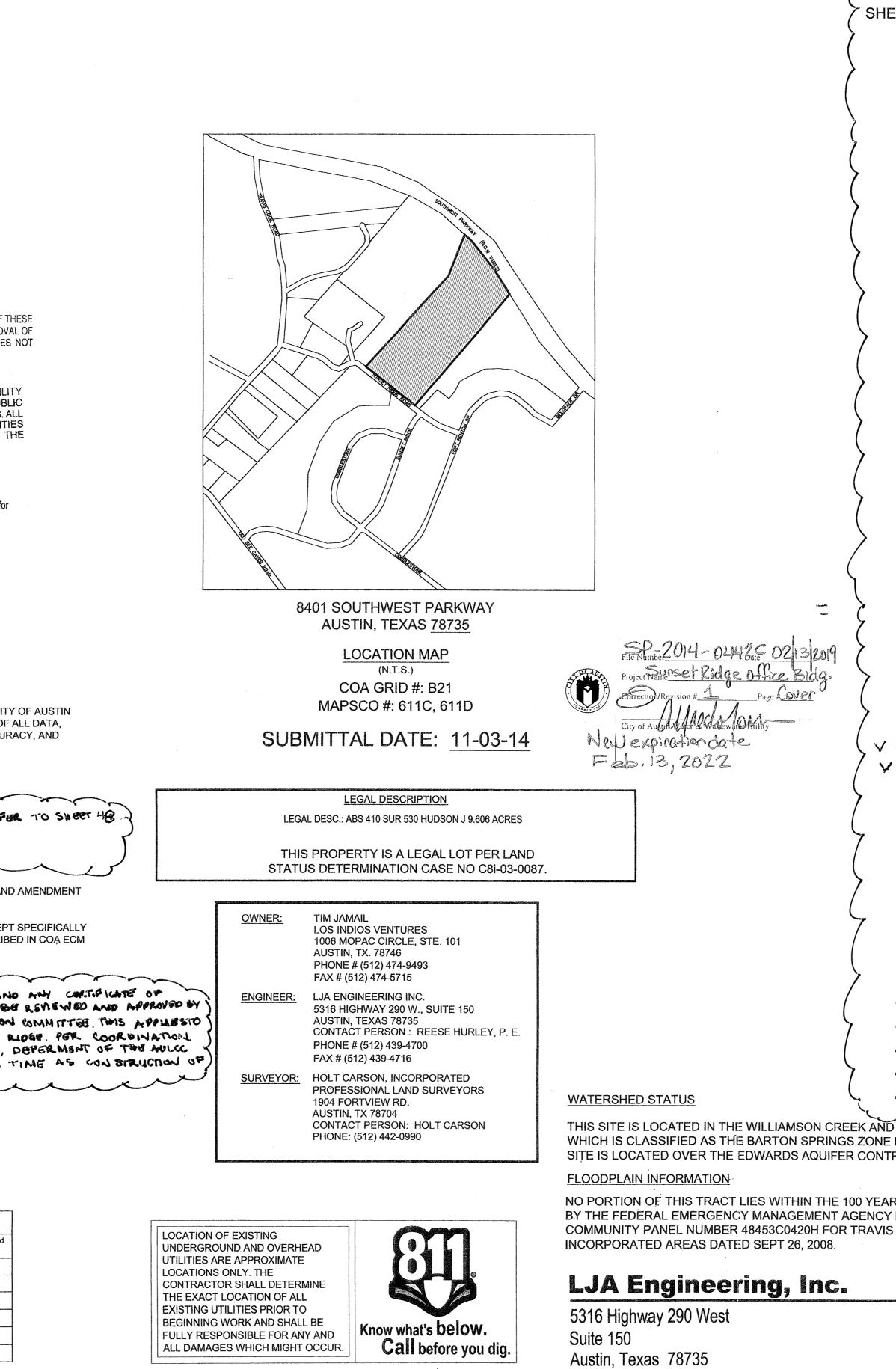
STREET:	R.O.W.	SURFACING	CLASSIFICATION
Southwest Pkwy	varies (+/- 165')	varies (+/- 112')	Hill Country Roadway

NEIGHBORHOOD ORGANIZATION:

Austin Independent School District Aviara HOA Bike Austin City of Rollingwood Covered Bridge Property Owners Association, Inc. East Oak Hill Neighborhood Association Escondera Condominium Owner Association Friends of Austin Neighborhoods Neighborhood Empowerment Foundation Oak Hill Association of Neighborhoods (OHAN) Oak Hill Neighborhood Plan – COA Liaison Oak Hill Neighborhood Plan Contact Team Oak Hill Trails Association Save Our Springs Alliance **SELTexas** Sierra Club, Austin Regional Group TNR BCP – Travis County Natural Resources Travis Country West Owners Association

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 5. PER THE ABOVE REFERENCED RESTRICTIVE COMMENTS, THIS SITE IS SUBJECT TO THE WILLIAMSON CREEK WATERSHED ORDINANCE (8102 FOR OFFICE USE: IS ALLOWED 55% IMPERVIOUS COVER, IS REQUIRED TO PROVIDE WATER QUALITY COMPLYING WITH THE SOS ORDINANCE (8102 FOR OFFICE USE: IS ALLOWED 55% IMPERVIOUS COVER, IS REQUIRED TO PROVIDE WATER QUALITY COMPLYING WITH THE SOS ORDINANCE (8102 FOR OFFICE USE: IS ALLOWED 55% IMPERVIOUS COVER, IS REQUIRED TO PROVIDE WATER QUALITY COMPLYING WITH THE SOS ORDINANCE (8102 FOR OFFICE USE: IS ALLOWED 55% IMPERVIOUS COVER, IS REQUIRED TO PROVIDE WATER QUALITY COMPLYING WITH THE SOS ORDINANCE SECTION 1.6.9, AND ONLY EMERGENCY ACCESS IS ALLOWED TO SUNSET RIDGE ROAD. 6. THIS SITE IS SUBJECT TO A LIMITATION OF 2.200 TRIPS BY ORDINANCE WITH ZONING CASE C14-2010-0042. 7. APPLICABLE WATERSHED ORDINANCE	SHED ORDINANCE (810319-M), TH THE SOS ORDINANCE, AS DI SEU A NGE OF R.O.W. PERM PROJECT IS REQUIRED	4. TH	HIS SITE IS SUBJECT TO RESTRICTIVE COVENANT RECOR	DED IN VOL. 10801, PG. 2					Y, TEX
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DSD SIGN OFF AND DATE					>-ra	K AUSTIN	utilities i	location con	1201
CITY OF AUSTIN WATER AND WASTEWATER UTILITY SPECIAL SERVICES DIVISION (512) 972-1060 THIS PROJECT HAS PRIVATE HYDRANTS LOCATED WITHIN THE PROPERTY. THE PROPERTY OWNER IS REQUIRED TO COMPLY WITH AUSTIN FIRE CODE. FAILURE TO COMPLY MAY RESULT IN CIVIL AND/OR CRIMINAL REMEDIES AVAILABLE TO THE CITY. THE PERFORMANCE OF THIS OBLIGATION SHALL ALWAYS REST WITH THE OWNER OF RECORD. FIRE HYDRANTS ON PRIVATE	EWALLEN AT ATO/R	DS	3D SIGN OFF AND DATE Ling Canzon	12-3-13	(w	ITH ISMA	No LEWAL	lon at a	TD/ R
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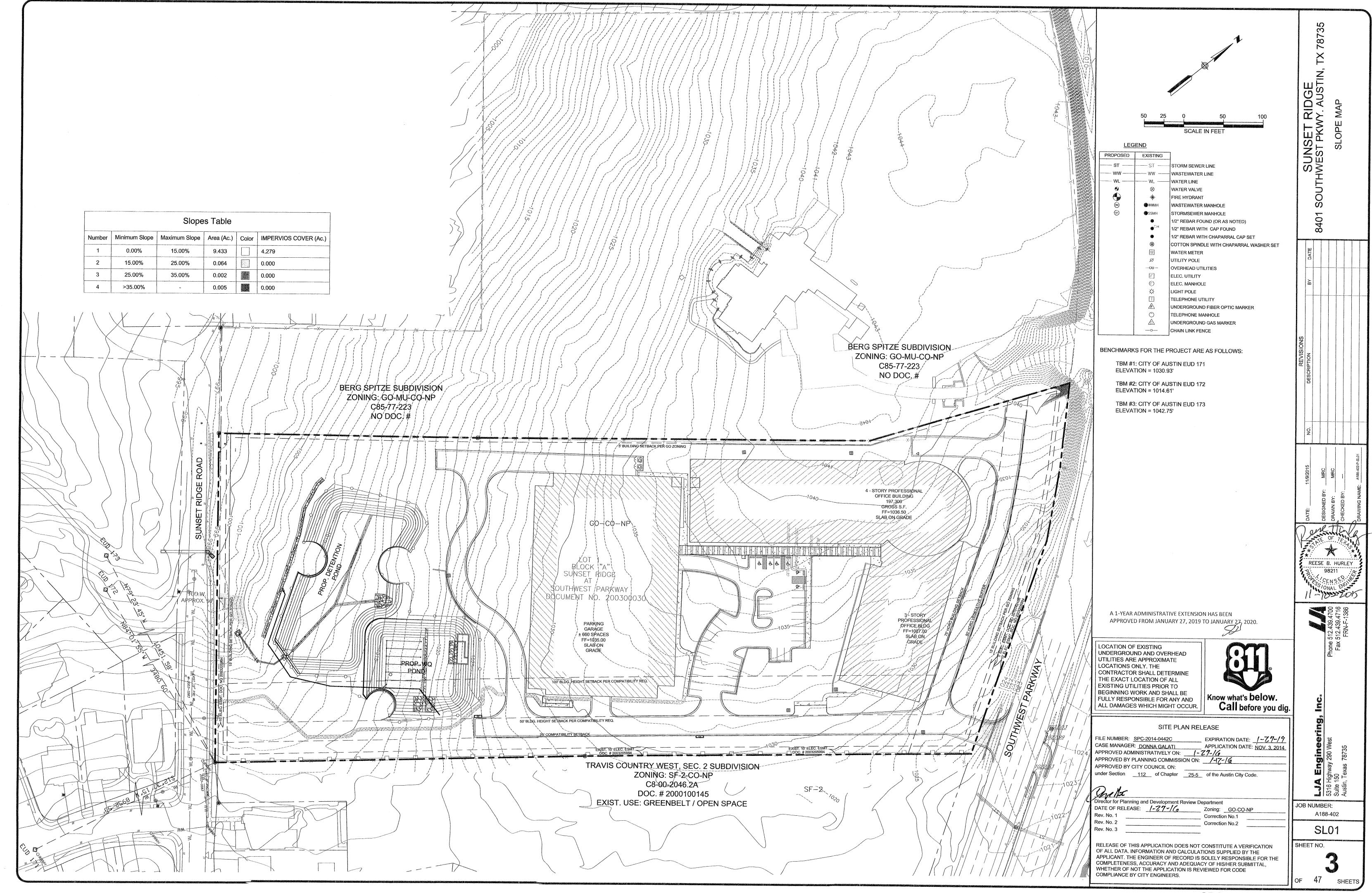
RIDGE OFFICE BUI OR SITE DEVELOPMENT IMPROVEME



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v	S	UNSET RIDGE SHEET LIST
ET NO.		
1 2	CV01 GN01	COVER SHEET Image: Cover Sheet GENERAL NOTES Image: Cover Sheet
2	SL01	SLOPE MAP
4	OP01	OVERALL PROJECT LAYOUT
5	EC01	EROSION CONTROL PLAN
6	EC02	EROSION CONTROL PLAN
7	EN01	EROSION CONTROL NOTES
8 9	EN02 SP01	EROSION CONTROL DETAILS
9 10	SP01 SP02	DETAILED SITE PLAN
11	SP03	SOUTHWEST PKWY LEFT TURN PLAN
12	SP04	SITE PLAN NOTES & DETAILS
13	DM01	EXISTING CONDITIONS DRAINAGE AREA MAP
14	DM02	DEVELOPED CONDITIONS DRAINAGE AREA MAP
15 16	DM03	ONSITE DRAINAGE AREA MAP
16 17	GP01 GP02	GRADING PLAN
18	GP02 ST01	STORM SEWER PLAN
19	ST02	SOUTHWEST PKWY STORM SEWER ADJUSTMENT
20	ST03	STORM SEWER PROFILE
21	WL01	WATER UTILITY PLAN
22	WL02	WATER UTILITY PLAN
23	WL03	PUBLIC WATER UTILITY PLAN & PROFILES
24 25	WL04 WW01	WATER UTILITY PROFILES
26	WW01	WASTE WATER PLAN
27	WW03	WASTE WATER PROFILES
28	WQ01	WATER QUALITY POND
29	WQ02	WATER QUALITY POND
30	DT01	GENERAL DETAILS
31 3 <u>2</u>	DT02	GENERAL DETAILS
33	—-TG01— —-TG02—	TRAFFIG-GONTROL-DETAILS-
34	LS01	OVERALL LANDSCAPE PLAN
85	LS02	LANDSCAPE PLAN
86	LS03	LANDSCAPE PLAN
37	LS04	LANDSCAPE NOTES AND CALCULATIONS
38	LS05	LANDSCAPE NOTES AND CALCULATIONS
39 10	A101	ARCHITECTUAL PLAN
10 11	A102	
-2	A103 A104	ARCHITECTUAL PLAN
.3	A104 A105	ARCHITECTUAL PLAN
4	A106	
5	A107	ARCHITECTUAL ELEVATIONS ARCHITECTUAL ELEVATIONS APPROVED FROM JANUARY 27, 2019 TO JANUARY 27, 2020.
6	A108	ARCHITECTUAL ELEVATIONS
7 18	A109	ARCHITECTUAL ELEVATIONS SITE PLAN RELEASE
BARTON	ITY OF AUS	AUSTIN WATER GENERAL FILE NUMBER: SPC-2014-0442C EXPIRATION DATE: 1/2-/19 TERSHEDS, INFOLMATION APPROVED ADMINISTRATIVELY ON: 1/2-7/16 TIN. THIS APPROVED BY PLANNING COMMISSION ON: 1/27/16 APPROVED BY PLANNING COMMISSION ON: 1/12/14 Under Section 112 of Chapter 25-5 of the Austin City Code.
LOOD IN	PLAIN AS DE NSURANCE I , TEXAS ANI	RATE MAP Director for Planning and Development Review Department DATE OF RELEASE: //2-1/16 Zoning: GO-CO-NP Rev. No. 1 Correction No.1 NO.3 7-19
		Rev. No. 2 Correction No.2 Rev. No. 3
	Fax 51	2.439.4700 2.439.4700 2.439.4716 N - F-1386 RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA. INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OF NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

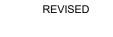
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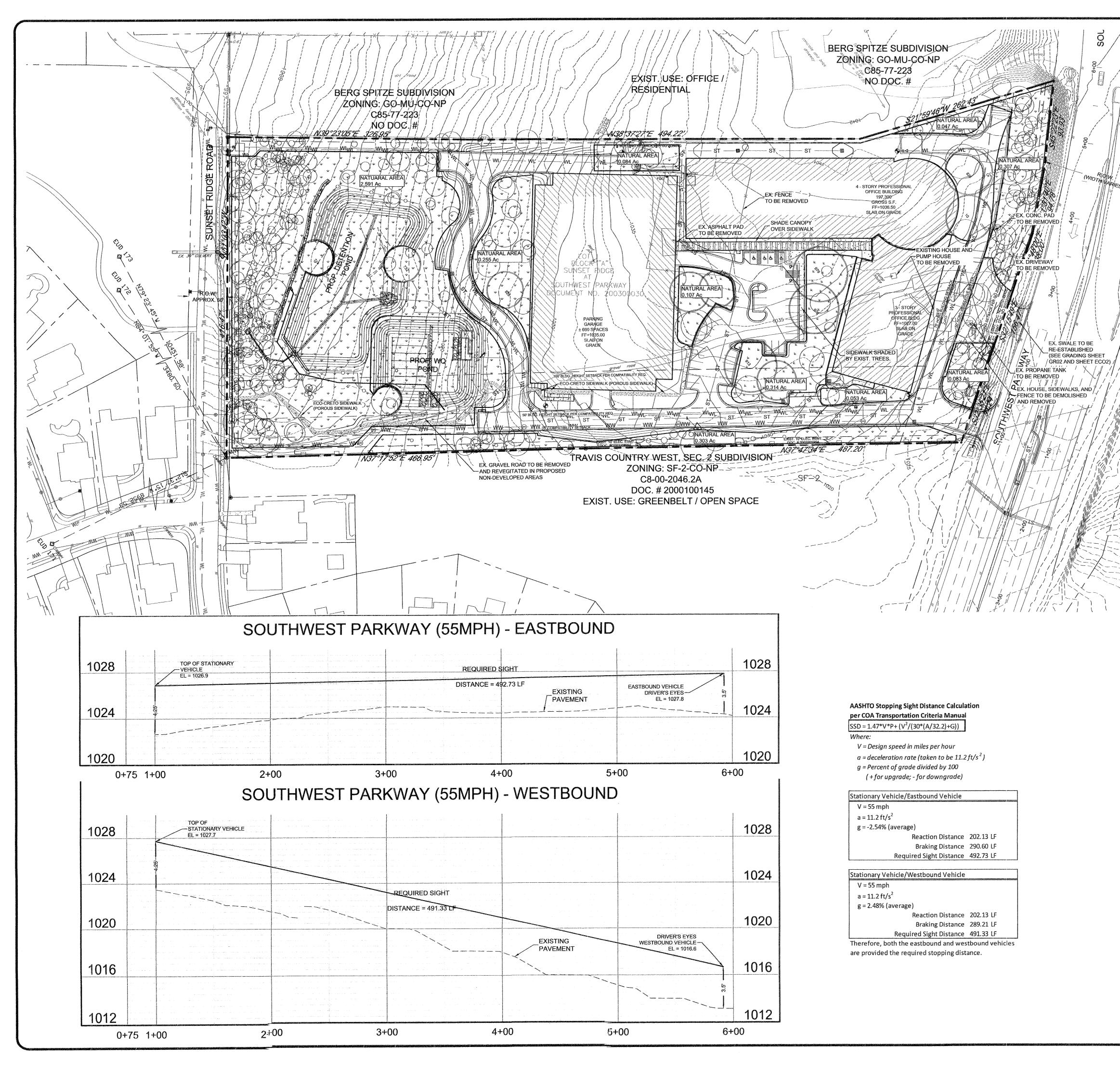
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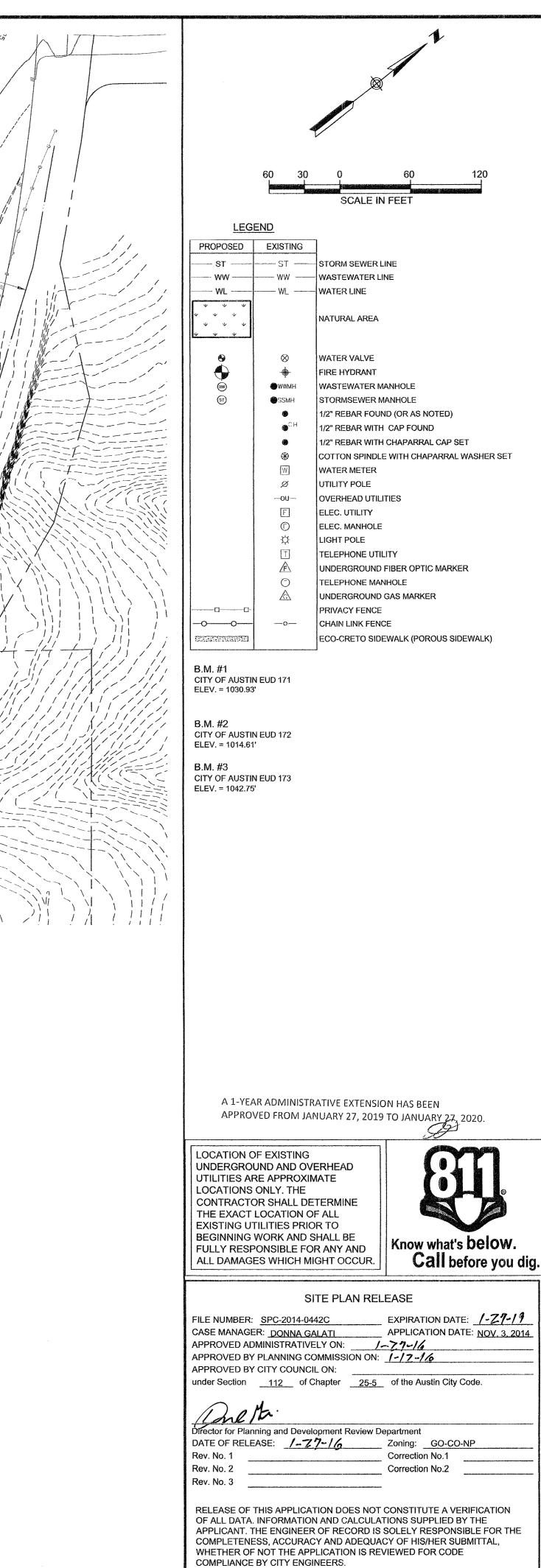
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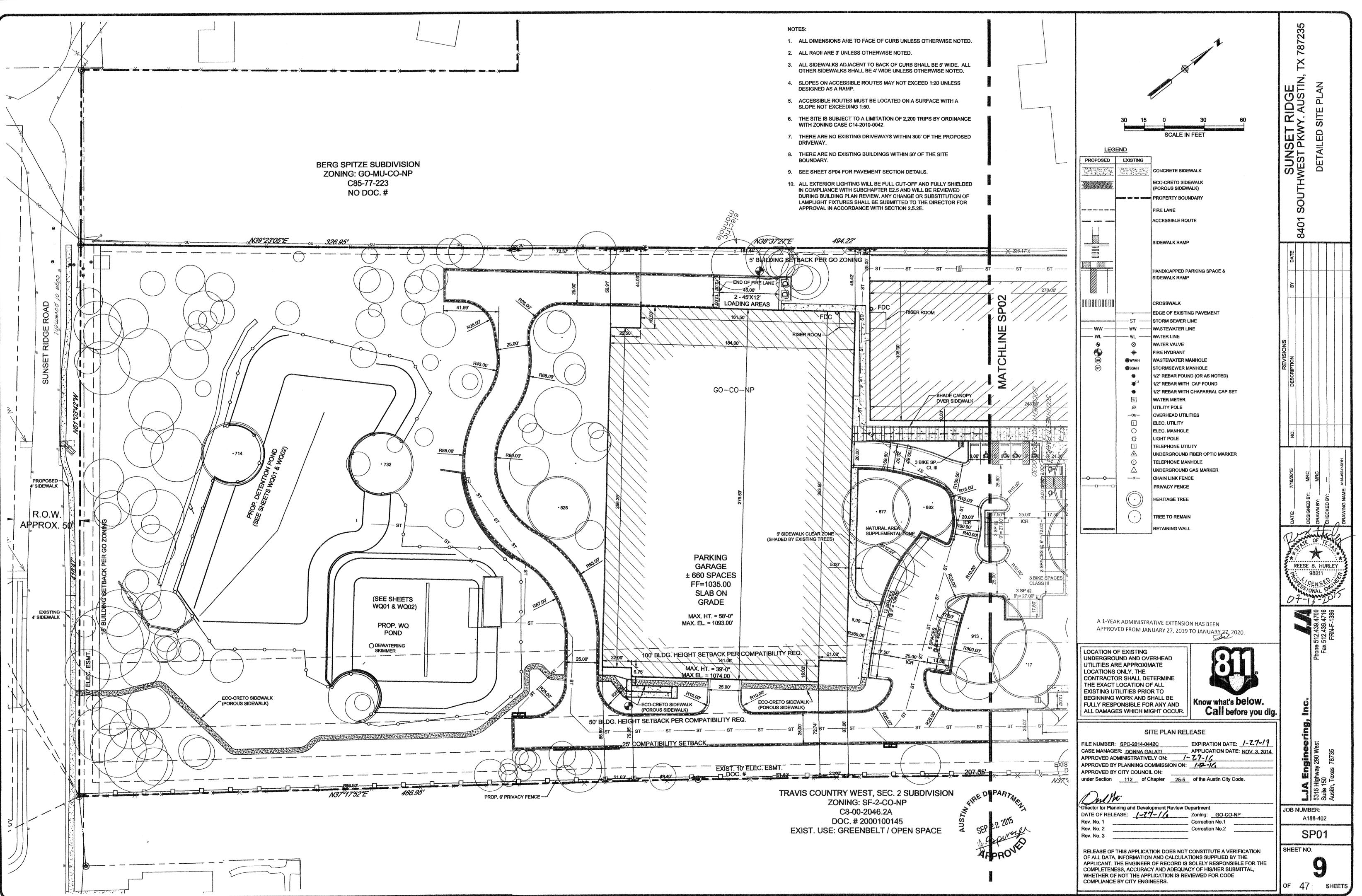


SUNSET JTHWEST PKW \cap C \circ X REESE B. HURLEY 98211 -10-201 4700 4716 1386 ione Fax way 290 We n B B B B 5316 Suite JOB NUMBER: A188-402 **OP01** SHEET NO.

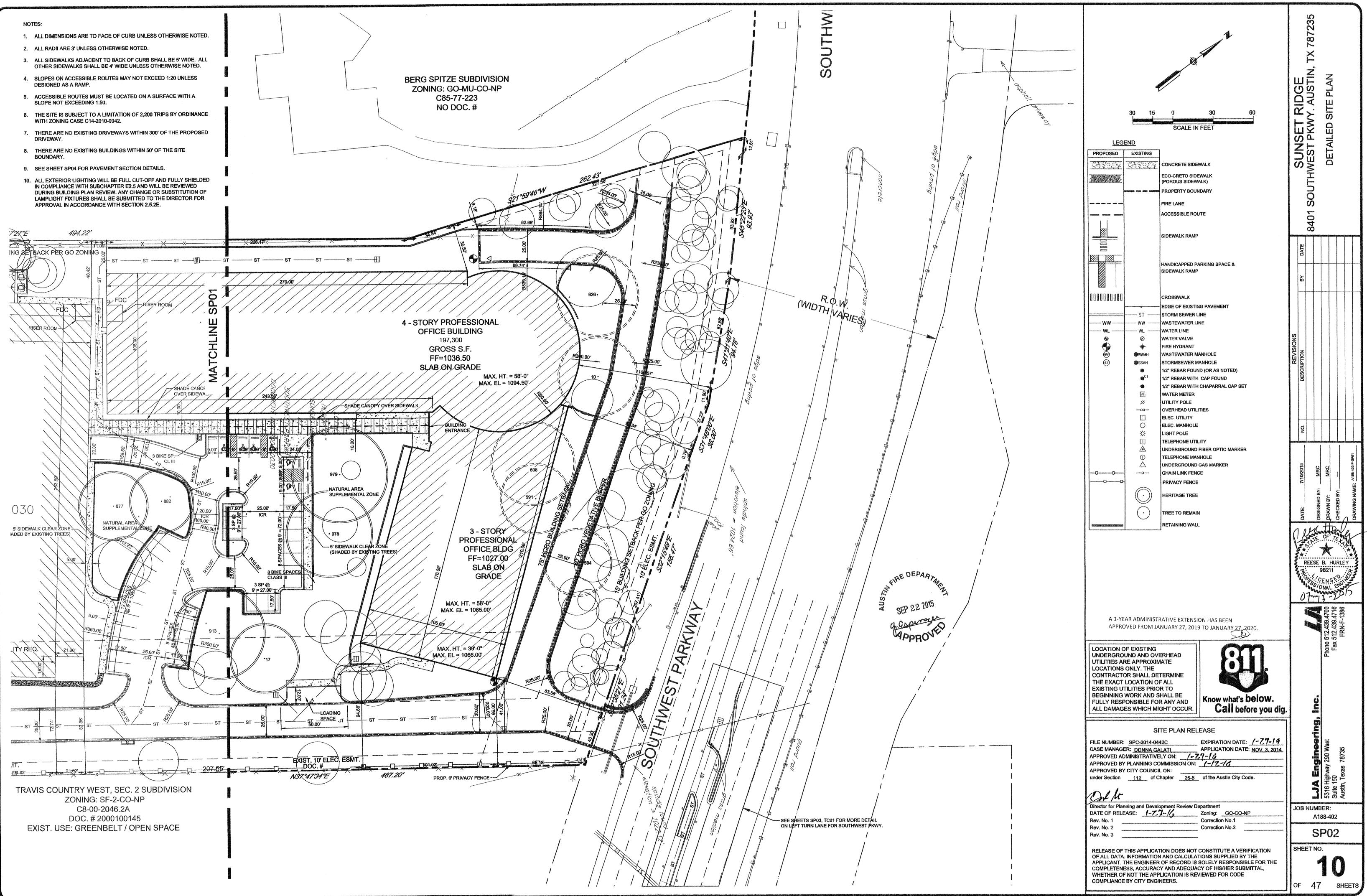
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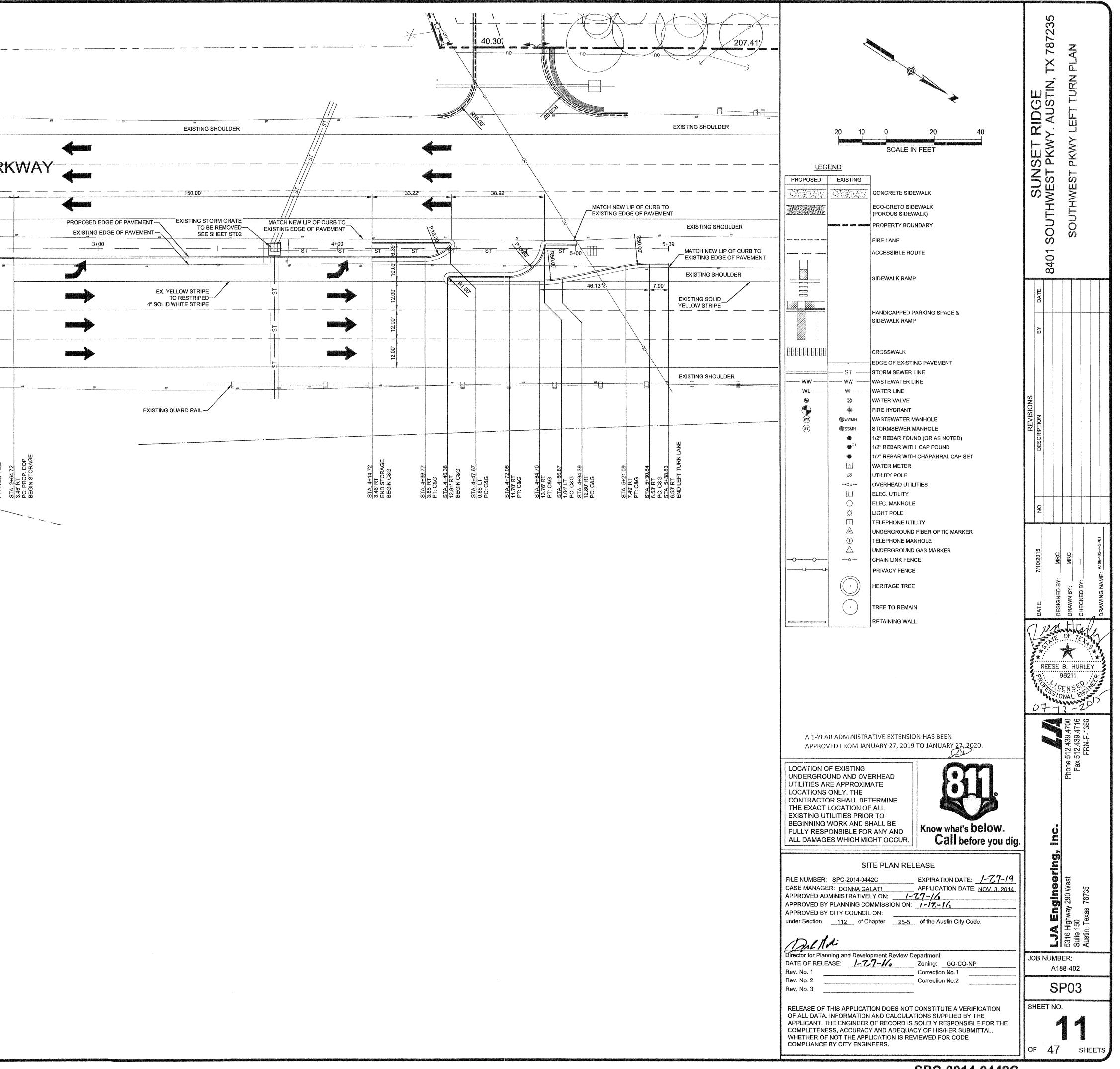


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EXISTING SHOULDER				MATCH PROP. EDGE
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DEPARTMENT	GE	ENERAL
THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION	1.	FOR MO
AS AN "ALL WEATHER SURFACE." HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE 4-INCH OPENING AT LEAST EIGHTEEN (18)		SHEET
INCHES ABOVE FINISHED GRADE. THE 4-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH	2.	SEE SHE

- INCHES ABOVE FINISHED GRADE. THE 4-INCH OPENING MUST FACE THE A THREE (3) TO SIX (6) FOOT SETBACK FROM CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE (3) FEET OF ANY HYDRANT AND THE 4-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET. TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHERE ALTERNATE METHODS OF PROTECTION ARE
- PROVIDED, AS APPROVED BY THE FIRE CHIEF, THE ABOVE MAY BE MODIFIED OR WAIVED. ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100' OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT
- COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN (10) FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES
- FIRE LANES DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH CITY OF AUSTIN FIRE MARSHAL'S OFFICE AND INSPECTED FOR FINAL APPROVAL
- VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS

FIRE DEPARTMENT ACCESS ROADS AND WATER SUPPLY FOR FIRE PROTECTION MUST BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING BUILDING CONSTRUCTION.

CITY OF AUSTIN ELECTRIC UTILITY NOTES

FIRE DEPARTMENT

- THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE UTILITY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER 8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH AN EASEMENT 2. AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING, AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COST INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT OWNERS EXPENSE.

SITE PLAN RELEASE NOTES

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL
- ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10). ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN. ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY 6. OF AUSTIN WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
- NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR THE PROPOSED RESIDENTIAL CONDOMINIUM PROJECT UNTIL THE OWNER OR OWNERS OF THE PROPERTY HAVE COMPLIED WITH CHAPTER 81 AND 82 OF THE PROPERTY CODE OF THE STATE ON TEXAS OR ANY OTHER STATUTES ENACTED BY THE STATE CONCERNING CONDOMINIUMS. FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR
- 9. DAMAGE TO UTILITIES. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A CONCRETE PERMIT IS REQUIRED.
- COMPLIANCE WITH THE COMMERCIAL AND MULTI-FAMILY RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES WITH 100 OR MORE UNITS AND BUSINESS AND OFFICE BUILDINGS WITH 100 OR MORE EMPLOYEES ON SITE.

SITE PLAN REQUIREMENTS PER RESTRICTIVE COVENANT (C14R-86-077)

A) ANY STRUCTURE CONSTRUCTED ON THIS SITE SHALL NOT EXCEED FOUR STORIES OR A HEIGHT GREATER THAN 60 FEET, WHICHEVER IS LESS.

COMPATBILITY STANDARDS NOTES

A) ALL EXTERIOR LIGHTING WILL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT **RESIDENTIAL PROPERTY, ISECTION 25-2-10641.** B) ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE, ISECTION 25-2-1067) C) THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL

BE PROHIBITED. [SECTION 25-2-1067]. D) THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES. [SECTION 25-2-1067].

MEASURES TO PROVIDE SITE CONNECTIVITY

1. THE SITE PLAN HAS BEEN DESIGNED TO UTILIZE THE FOLLOWING ITEMS,

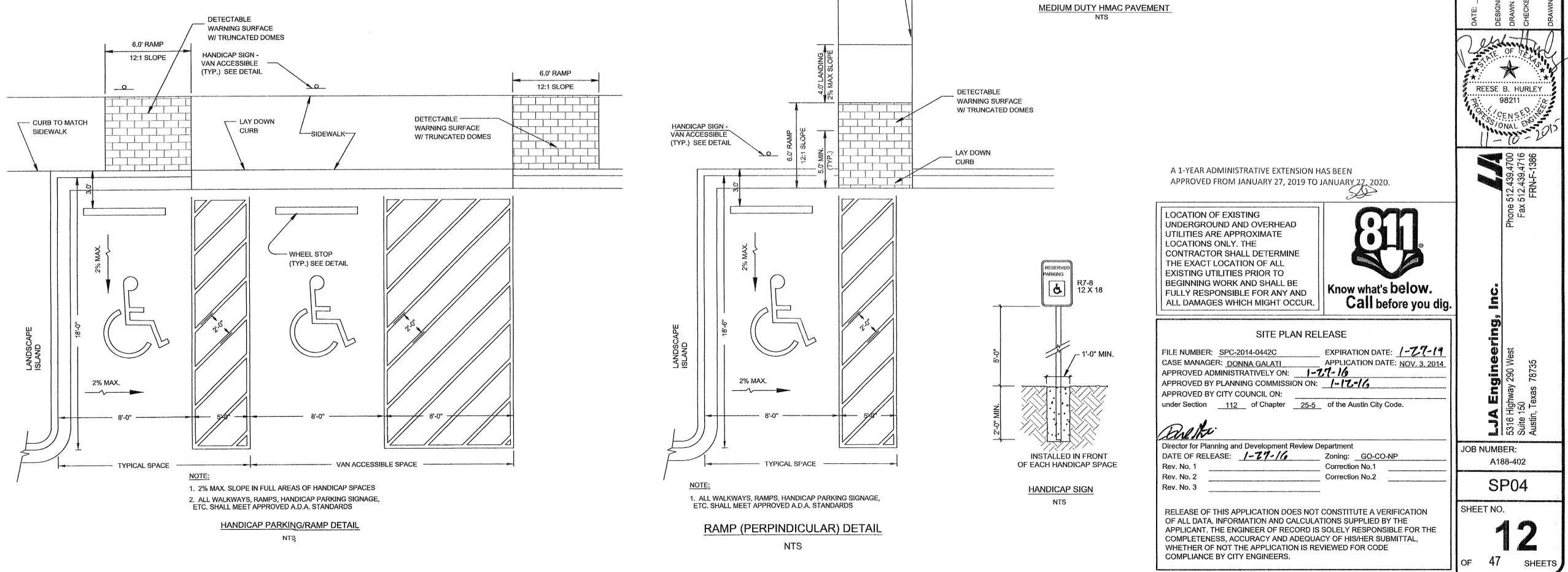
- AS LISTED IN TABLE B (SUBCHAPTER E 2.3.1.B.2) A) AN ACCESSIBLE SIDEWALK IS BEING CONSTRUCTED TO PROVIDE ACCESS TO SUNSET RIDGE ROAD FROM THE PROPOSED I.C.R.
- B) AT LEAST 10% OF THE PROVIDED PARKING WILL BE LOCATED IN THE PROPOSED PARKING GARAGE.
- C) PROPOSED UTILITIES HAVE BEEN ALIGNED TO AVOID PROPOSED PARKING SPACES.
- D) SIDEWALKS FACING THE I.C.R. ARE BEING SHADED FULLY BY A COMBINATION OF EXISTING/ PROPOSED TREES AND THE PROPOSED CANOPY.



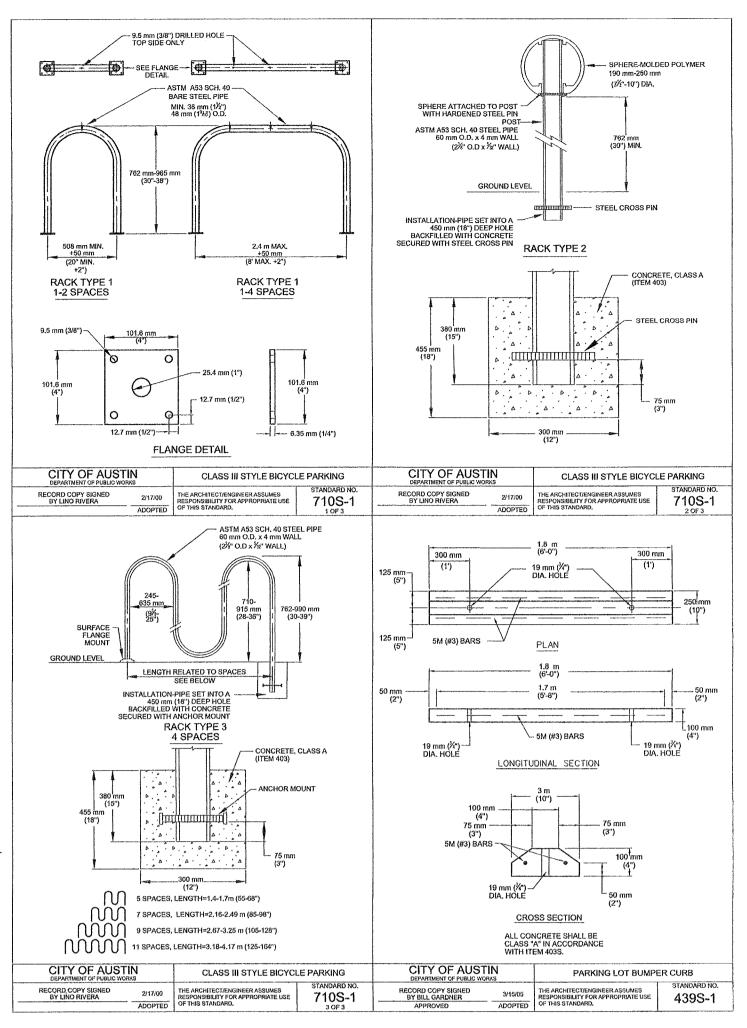
- RE DETAILED SITE PLAN INFORMATION SEE "SITE PLAN" SP1
- IEET EC1 FOR TREE TYPES AND SIZES.
- ALL PROPOSED SIDEWALK RAMPS ARE TYPE 1B. 3.
- FOR EXISTING BUILDINGS LOCATED WITHIN 50 FEET OF THIS SITE, SEE SHEET SP1.
- 5. ALL DIMENSIONS ARE TO FACE OF CURB IN PARKING AND DRIVE AISLE AREAS.
- 6. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT SHALL BE REVEGETATED AND ALL PERMANENT EROSION/SEDIMENTATION CONTROLS COMPLETED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS FOR THAT PHASE. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE ADJUSTED AS NEEDED PRIOR TO THIS RELEASE TO INSURE THAT SUBSEQUENT AREAS ARE ADEQUATELY COVERED. ADDITIONALLY, ANY AREA WITHIN THE LIMIT OF CONSTRUCTION OF THE PROJECT WHICH IS NOT ADEQUATELY REVEGETATED SHALL BE BROUGHT INTO COMPLIANCE PRIOR TO THE RELEASE OF CERTIFICATE OF OCCUPANCY.
- BICYCLE PARKING SHALL BE CLASS III, RACK TYPE I, 1-4 SPACES. REFER 7. TO DETAIL 710S-1 ON THIS SHEET.
- FIRE DEPARTMENT ACCESS LANES WILL REQUIRE WHITE LETTERING ON A RED BACKGROUND WITH THE WORDS "FIRE ZONE/ TOW AWAY ZONE" IN LETTERS AT LEAST 3 INCHES TALL AT INTERVALS OF 35 FEET OR LESS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.
- 10. CONTRACTOR AND/OR SUBCONTRACTOR SHALL TAKE EVERY PRECAUTION TO NOT DAMAGE CONSTRUCTED CURB AND GUTTER, PAVEMENT AND/OR SIDEWALKS. ANY DAMAGE TO CONSTRUCTED CURB AND GUTTER, PAVEMENT AND/OR SIDEWALKS MAY RESULT IN THE RECONSTRUCTION OF THE DAMAGED AREA(S) BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 11. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E

SCREENING

- 1. COMPATIBILITY SCREENING ALONG NORTHERN PROPERTY LINE, WHERE ADJACENT TO SINGLE FAMILY ZONING, SHALL BE ACCOMPLISHED BY PRESERVATION OF EXISTING DENSE VEGETATION.
- 2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR EQUAL QUALITY TO PRINCIPAL BUILDING MATERIALS.



User Last Plot



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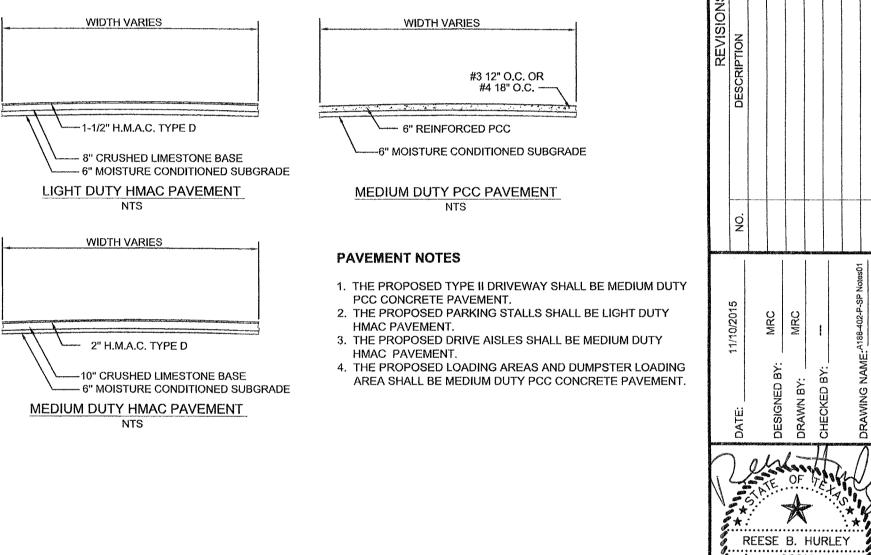
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FLEXIBLE PAVEMENT DESIGN (HMAC)

RIGID PAVEMENT DESIGN (PCC)



SIDEWALK----

Davila, Jonathan

From:	Good, Justin <justin.good@austintexas.gov></justin.good@austintexas.gov>
Sent:	Thursday, February 20, 2020 10:02 AM
То:	Reese Hurley
Cc:	Mitchell, Amber
Subject:	SPC-2014-0442C(XT2) Sunset Ridge Mitigation Memo - DRAFT
Attachments:	DRAFT SPC-2014-0442C(XT2) Sunset Ridge Mitigation Memo.pdf

[EXTERNAL EMAIL]

Good morning Reese,

Please find attached for your review the draft mitigation memo for Sunset Ridge. Let me know if you have any questions.

Thanks,

Justin Good, P.E.

Transportation Development Engineer – Lead: South (Consultant) Transportation Development Services Division Austin Transportation Department 901 S. MoPac Expressway, Building 5, Suite 300 Austin, TX 78746 (512) 974-1449 justin.good@austintexas.gov Transportation Development Services Division Website

[EXTERNAL EMAIL] Exercise caution. Do not open attachments or click links from unknown senders or unexpected email

Davila, Jonathan

From:	Tim Jamail <tim@ultrainvestmentsinc.com></tim@ultrainvestmentsinc.com>
Sent:	Friday, March 6, 2020 2:06 PM
То:	'Mitchell, Amber'
Cc:	'Galati, Donna'; Jerry Rusthoven; Richard Suttle
Subject:	RE: Sunset Ridge (SPC-2014-0442C(XT2)
Attachments:	Sunset Ridge - Staff Report - ! Year Extension Request.pdf; Sunset Ridge - Zoning
	Ordinance.pdf; Sunset Ridge - SDP - Consolidated Site Plan Application - Traffic Impact Analysis Worksheet.pdf; RE: Sunset Ridge; Sunset Ridge; FW: Meeting Request for Sunset Ridge - SPC-2014-0442C; FW: Comments & Responses regarding City requested Sidewalk along Southwest Parkway

[EXTERNAL EMAIL]

Thanks for the reply Amber. I would like to address the justifications contained in your email for the application of the Mitigation Ordinance to the above referenced property in connection with the pending SDP permit extension request for the project.

- Extension Criteria The code you cited below (LDC 25-5-62 Extension of Released Site Plan by Director) and related link refer to a 1-year administrative extension by the Director, which we have already previously received. Interestingly enough, there was not a single comment from the Transportation Department in connection with this 1- year extension (see attached staff report), even though the extension was granted well after the March, 2017 adoption date of Ordinance No. 20170302-077, which is now being applied to the property in connection with this second extension request. I believe the section of the code that would apply in this instance is § 25-5-63 -EXTENSION OF RELEASED SITE PLAN BY THE LAND USE COMMISSION.; however, this section does refer back to the section which you cited.
- 2) Site exceeds 2000 Vehicle Trips Per Day As part of the negotiations with the City whereby I agreed to down zone the property for LI to GO, reduce the allowable impervious cover and comply with SOS Water Quality Standards (all of which the property was grandfathered from by virtue of the Restrictive Covenant governing the development of the property), the City agreed not to require a TIA as long as the proposed development did not exceed 2,200 trips per day (see attached zoning ordinance), not the 2,000 trips per day referred to in the code. Furthermore, at the request of Bryan Golden, I had to redesign the size of the project in an effort to ensure that the 2,200 trips per day limit was not exceeded; due to the fact that the initial building design was based on the trip calculations you provided, which Bryan did not agree with (see attached email threads).
- Extension Request of Four Years Please be advised that the pending extension request is only for three years.

I would also like to point out that I have satisfactorily addressed this issue regarding the requirement for sidewalks along Southwest Parkway previously in connection with issuance of the initial Site Development Permit for the project, which was agreed to by staff and subsequently approved by the Planning Commission. Attached are the email threads of the meeting with Bryan Golden and Donna Galati to discuss the matter, the engineers letter requesting Alternative Equivalence Compliance (AEC) for the project and the second update to the staff report indicating that all of the Transportation related comments were cleared based on staff's approval of the AEC request.

Lastly, subjecting a request for an permit extension such as this to new requirements that were either not in existence at the time the original permit was issued and/or have already been addressed in connection with the issuance of the original permit approval, is not only inequitable to the extreme, but would appear to be in direct violation of H.B. 1704, Chapter 245, Issuance of Local Permits, which states in part that:

Sec. 245.002. UNIFORMITY OF REQUIREMENTS. (a) Each regulatory agency shall consider the approval, disapproval, or conditional approval of an application for a permit solely on the basis of any orders, regulations, ordinances, rules, expiration dates, or other properly adopted requirements in effect at the time:

(1) the original application for the permit is filed for review for any purpose, including review for administrative completeness; or

(2) a plan for development of real property or plat application is filed with a regulatory agency.

For all of the reasons stated above, please consider this as a formal request to waive the Transportation Mitigation fee-in-lieu of requirement currently being placed on the property in connection with the pending SDP extension request. Thank you for your time and consideration regarding this matter.



TIM JAMAIL, President 1006 Mopac Circle, Ste. 101 • Austin, Texas 78746 Ph. (512) 474-9493 • Fax (512) 474-5715 tim@ultrainvestmentsinc.com

http://www.ultrainvestmentsinc.com

From: Mitchell, Amber <Amber.Mitchell@austintexas.gov>
Sent: Wednesday, March 4, 2020 1:41 PM
To: Tim Jamail <tim@ultrainvestmentsinc.com>
Cc: Galati, Donna <Donna.Galati@austintexas.gov>
Subject: RE: Sunset Ridge (SPC-2014-0442C(XT2))

My apologies Tim, I must have missed the original email. Here's a link to the extension criteria found in LDC 25-5-62: <u>https://library.municode.com/tx/austin/codes/land_development_code?nodeId=TIT25LADE_CH25-</u> <u>5SIPL_ART1SIPLGE_DIV4REEXRE_S25-5-62EXRESIPLDI</u>

From a transportation perspective, this site does not comply substantially with the codes a new site plan would need to comply with (C.1.a) as the site does not comply with City's Mitigation Ordinance (LDC 25-6-101) and the site has not

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demonstrated that traffic impacts would be adequately mitigated since the requirement for TIA was relieved for this site even though it exceeds 2000 vehicle trips per day (2.b). As these two things are connected I believe it appropriate to apply the mitigation ordinance to this site in conjunction with supporting an extension request of four years. Let me know if you'd like to discuss further.

- Amber

Amber Mitchell

Program Manager (South) Transportation Development Services Division Austin Transportation Department 901 S. MoPac Expressway, Building 5, Suite 300 Austin, TX 78746 (512) 974-5646 amber.mitchell@austintexas.gov Transportation Development Services Division Website

From: Tim Jamail <<u>tim@ultrainvestmentsinc.com</u>>
Sent: Wednesday, March 4, 2020 12:35 PM
To: Mitchell, Amber <<u>Amber.Mitchell@austintexas.gov</u>>
Subject: FW: Sunset Ridge (SPC-2014-0442C(XT2)

*** External Email - Exercise Caution ***

Amber: I just wanted to follow up to see if you received my request email below?



TIM JAMAIL, President

1006 Mopac Circle, Ste. 101 • Austin, Texas 78746

Ph. (512) 474-9493 • Fax (512) 474-5715

tim@ultrainvestmentsinc.com

http://www.ultrainvestmentsinc.com

From: Tim Jamail <<u>tim@ultrainvestmentsinc.com</u>> Sent: Friday, February 28, 2020 3:41 PM To: 'Galati, Donna' <<u>Donna.Galati@austintexas.gov</u>> Cc: 'Mitchell, Amber' <<u>Amber.Mitchell@austintexas.gov</u>> Subject: RE: Sunset Ridge (SPC-2014-0442C(XT2)

Amber:

Per Donna's email below, can you please provide me with the justification/reasoning for the mitigation fee requirement of \$142,560 in connection with the above referenced permit extension request? Thank you.

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TIM JAMAIL, President 1006 Mopac Circle, Ste. 101 • Austin, Texas 78746 Ph. (512) 474-9493 • Fax (512) 474-5715 tim@ultrainvestmentsinc.com

http://www.ultrainvestmentsinc.com

From: Galati, Donna <<u>Donna.Galati@austintexas.gov</u>> Sent: Friday, February 28, 2020 2:57 PM To: Tim Jamail <<u>tim@ultrainvestmentsinc.com</u>> Subject: RE: Sunset Ridge (SPC-2014-0442C(XT2)

For that you would need to talk with Amber Mitchell in ATD, as she made the comments.

Donna

From: Tim Jamail [mailto:tim@ultrainvestmentsinc.com] Sent: Friday, February 28, 2020 2:56 PM To: Galati, Donna <<u>Donna.Galati@austintexas.gov</u>> Subject: RE: Sunset Ridge (SPC-2014-0442C(XT2)

Thanks Donna. Can you please explain to me why this is being required at this time?



TIM JAMAIL, President 1006 Mopac Circle, Ste. 101 • Austin, Texas 78746 Ph. (512) 474-9493 • Fax (512) 474-5715 tim@ultrainvestmentsinc.com http://www.ultrainvestmentsinc.com

From: Galati, Donna <<u>Donna.Galati@austintexas.gov</u>> Sent: Friday, February 28, 2020 2:54 PM To: Tim Jamail <<u>tim@ultrainvestmentsinc.com</u>>; Barton-Holmes, Christine <<u>Christine.Barton-Holmes@austintexas.gov</u>> Cc: Mitchell, Amber <<u>Amber.Mitchell@austintexas.gov</u>> Subject: RE: Sunset Ridge (SPC-2014-0442C(XT2)

Tim,

I received your voicemail from Wednesday.

We can schedule it for PC, but it will go with the staff recommendation of "recommended with conditions" reflecting the ATD comments. Then if PC grants the extension you will have 135 business days to meet the conditions (clear the ATD comments) by getting a correction or revision approved. The extension memo will be released after the correction or revision.

Thank you, Donna

Donna Galati, CNUa

Program Manager III, Land Use Review City of Austin Development Services Department One Texas Center, 505 Barton Springs Rd, 4th floor **Office:** 512-974-2733



PER CITY ORDINANCE: All individuals scheduling or accepting a meeting invitation with a City Official are requested to provide responses to the questions at the following link: <u>DSD Visitor Log</u>.

Please note that all information provided is subject to public disclosure via DSD's open data portal. For more information please visit: <u>City of Austin Ordinance 2016-0922-005</u> | <u>City Clerk's website</u> | <u>City Clerk's FAQ's</u>

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[EXTERNAL EMAIL] Exercise caution. Do not open attachments or click links from unknown senders or unexpected email

Davila, Jonathan

From:	Reese Hurley
Sent:	Wednesday, April 15, 2020 12:12 PM
То:	Tim Jamail
Subject:	RE: Sunset Ridge Commission Extension / SPC-2014-0442C(XT2) / Update 0
Attachments:	RE: Sunset Ridge (SPC-2014-0442C(XT2); RE: Sunset Ridge (SPC-2014-0442C(XT2); SPC-2014-0442C(XT2) Sunset Ridge Mitigation Memo - DRAFT

Tim,

No, there was not a written request to do that. We talked about it when we met with them, then AFD said no to her. Then we got to her asking about an easement, which doesn't make any sense when our claim was that this could not be accommodated due to site constraints. Then lastly, we got into a fee discussion and ultimately the email from Justin Good. These are the only emails I received from the City regarding all of this.

Thanks,

Reese Hurley, P.E. Project Manager LJA Engineering | We Build Civilization ™ 7500 Rialto Blvd. Building II, Suite 100 Austin, Texas 78735 Office: (512) 439-4700 Direct: (512) 439-4734 Fax: (512) 439-4716

From: Tim Jamail <tim@ultrainvestmentsinc.com>
Sent: Wednesday, April 15, 2020 11:46 AM
To: Reese Hurley <rhurley@lja.com>
Subject: RE: Sunset Ridge Commission Extension / SPC-2014-0442C(XT2) / Update 0

[EXTERNAL EMAIL]

Reese:

Did you ever receive anything in writing from Amber detailing her original request to extend the existing path out to Southwest Parkway?



TIM JAMAIL, President

1006 Mopac Circle, Ste. 101 • Austin, Texas 78746 Ph. (512) 474-9493 • Fax (512) 474-5715 tim@ultrainvestmentsinc.com

http://www.ultrainvestmentsinc.com

From: Reese Hurley <<u>rhurley@lja.com</u>>
Sent: Monday, January 6, 2020 12:06 PM
To: Tim Jamail <<u>tim@ultrainvestmentsinc.com</u>>
Subject: FW: Sunset Ridge Commission Extension / SPC-2014-0442C(XT2) / Update 0

Tim,

We got the formal review comments back from the City on Friday. There are just a few things.

- We got a new comment from ATD Engineering that we didn't get with the prior extension. It seems as though they are going to review the site based on the current ordinance to see if any traffic mitigation is required. There was never a TIA done that I can recall, right? This site would be subject to the current ordinance.
- Are you okay with requesting the 3-year extension instead of a 4-year extension? It might go easier. I can't think of an actual legal or technical reason for requesting the 4-years instead of 3. We were just trying to get all we could.
- 3) To satisfy the traffic control reviewer's comment, a note will be added on the cover sheet to defer traffic control plans until such time as the property is sold and plans to construct the site are in place.

Thanks,

Reese Hurley, P.E. Project Manager LJA Engineering | We Build Civilization ™ 7500 Rialto Blvd. Building II, Suite 100 Austin, Texas 78735 Office: (512) 439-4700 Direct: (512) 439-4734 Fax: (512) 439-4716

From: Garza, Elsa <<u>Elsa.Garza@austintexas.gov</u>>
Sent: Friday, January 3, 2020 1:57 PM
To: Reese Hurley <<u>rhurley@lja.com</u>>
Subject: Sunset Ridge Commission Extension / SPC-2014-0442C(XT2) / Update 0

[EXTERNAL EMAIL]

Please see attached comment report.

Thank You, Elsa Garza, Planner 1 Land Use Review Division 505 Barton Springs Road | 4th Floor | Austin, TX 78704 (512) 974-2308



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