

**From:** Johns, Renee  
**Sent:** Thursday, March 1, 2018 3:41:33 PM  
**To:** Thompson, Jeffrey - BC; Olsen, Dillon  
**Subject:** RE: [1401 E 3rd Street](#)

Jeffrey,

This is an approved plan and there is a projection into the 5 foot setback. This is a common concern, but the code does allow for eaves and other incidentals to project 2 ft. into any setback, LDC 25-2-513 B. If you look at sheet A201, you can see the elevation view of the proposed residence. On this elevation, you can see the footprint of the building stops at the 5 ft. setback and the eaves project into the setback. Again this is an allowed and common design.

I hope this answers your question.

**Renee Johns**

*Planner Senior – Expedited Review*

City of Austin Development Services Department

One Texas Center, 505 Barton Springs Road, [7th Floor](#)

Office: 512.974.2260

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**From:** Thompson, Jeffrey - BC  
**Sent:** Thursday, March 01, 2018 3:08 PM  
**To:** Johns, Renee <[Renee.Johns@austintexas.gov](mailto:Renee.Johns@austintexas.gov)>; Olsen, Dillon <[Dillon.Olsen@austintexas.gov](mailto:Dillon.Olsen@austintexas.gov)>  
**Subject:** 1401 E 3rd Street

Hi Dillon,

I'm looking into a case on behalf of a district 3 constituent. She is concerned that the house being built at 1401 E 3rd does not have a 5 foot side setback.

Looking at the plan (2017-043148 PR), it clearly shows that the house encroaches on the 5 foot set back line. Can you tell me if this is in fact an approved plan and if so can you please explain why?

Thank you so much for your time.

Jeff Thompson  
District 3  
Planning Commissioner

Office: [512-314-1830](tel:512-314-1830)

**From:** Bryce Allison  
**To:** [Ramirez, Elaine](#)  
**Subject:** C15-2020-0020  
**Date:** Friday, May 08, 2020 6:32:26 PM

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\*\*\* External Email - Exercise Caution \*\*\*

Dear Elaine,

I just received notice in the mail about case C15-2020-0020.

1401 E 3rd St is requesting a variance on the interior setback from 5 to 2.77 feet. I own the property adjacent at 1403 E 3rd St.

I am **against** granting this variance. I have been extremely concerned about this as it puts the neighboring property way too close to my own and will devalue my property and privacy.

I am also concerned that the property appears to be a multi-tenant property when it is described and zoned as a single family residence. Can you shed any light on this?

I would like to have the opportunity to speak at the meeting on May 11.

Thank you,  
Bryce Allison  
512-522-2792

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**From:** Amy Thompson  
**To:** [Ramirez, Elaine](#)  
**Cc:** [REDACTED]  
**Subject:** BOA Case # C15-2020-0020 \_ Resident Objection  
**Date:** Monday, May 11, 2020 12:20:13 AM  
**Attachments:** [Case Number C15-2020-0020 Public Comment Objection Thompson.pdf](#)  
[1401 E 3RD ST Site Plan.pdf](#)

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\*\*\* External Email - Exercise Caution \*\*\*

Dear Ms. Ramirez,

Attached please find my public comments and related documentation to support my STRONG OBJECTION to the request for set back incursion in BOA Case # C15-2020-0020 .

This case raises public safety as well as social equity concerns. As such, I appreciate the board's attention to neighbor input.

Should you have any questions or concerns, please do not hesitate to contact me.

Thank you,  
Amy Thompson  
512-659-7666  
1402 E. 2nd St.  
Austin, Texas 78702

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Public Comment Re: Case Number C15-2020-0020 (1401 East 3<sup>rd</sup> St.)

Submitted by: Amy Thompson, Adjacent Property owner at 1402 East 2<sup>nd</sup> St.; tel: 512-659-7666

Position: I **STRONGLY OBJECT** to the proposed variance (see comments below)

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As an adjacent neighbor to this property I am opposed to the requested variance for set back requirements at this property for the following reasons:

- 1) **Health and Safety Concerns**
- 2) **Social Equity Concerns**

As the homeowner immediately to the south of this property, I have an immediate interest in **the Health and Safety Concerns** associated with new structure that is being built in violation of City codes designed to prevent the spread of house fires. As a resident, I first alerted the City to my concerns about this set back violation on January 20<sup>th</sup>, 2018, in a letter to my planning commission district representative, Jeff Thompson. At that point the foundation for the property had been staked out, but not poured. I sent Jeff a pictured of the clear violation of the minimum 5 foot setback and he in turn pulled the site plan and contacted City staff.



The site plan (attached) confirmed that the plan was approved in violation of the code, but no immediate justification was apparent. Once the foundation was poured in violation of the code, I sent another inquiry. The response by City staff to this inquiry was dismissive, despite the clear violation and



threat to the health and safety of adjacent property owners. I understand Commission Thompson pursued the inquiry further, but I was never informed of the results, and have been frustrated and concerned by the situation ever since.

In 2017, an historic structure stood at this property. The property had been recommended for preservation by the City's survey of Historic East Austin and the neighborhood strongly supported its preservation. The developers seeking its demolition argued repeatedly that the building had to be demolished for health and safety reasons, based primarily on its grandfathered location within the 5' side setback. The developers argued strongly, and apparently convincingly, before the City Planning Commission that the health and safety of the neighboring properties was of greater community importance than the structure's value as a contributing structure to the disappearing history of East Austin's minority/ working class communities. For the planning department to turn a blind eye to the set-back violation included in the new site plans within months of the much loved historic structure's destruction, was a slap in the face to neighboring property owners and the community as a whole. It reflects a callous preference for the promotion of development and support of commercial developers in East Austin neighborhoods regardless of the impact on residential property owner's needs and shared community values. Supporting developer's profit margins simply can not be valued above the health and safety of residents, let alone the preservation of communal goods. City staff's support of this set-back violation raises **Social Equity Issues**, and should not be allowed to continue.

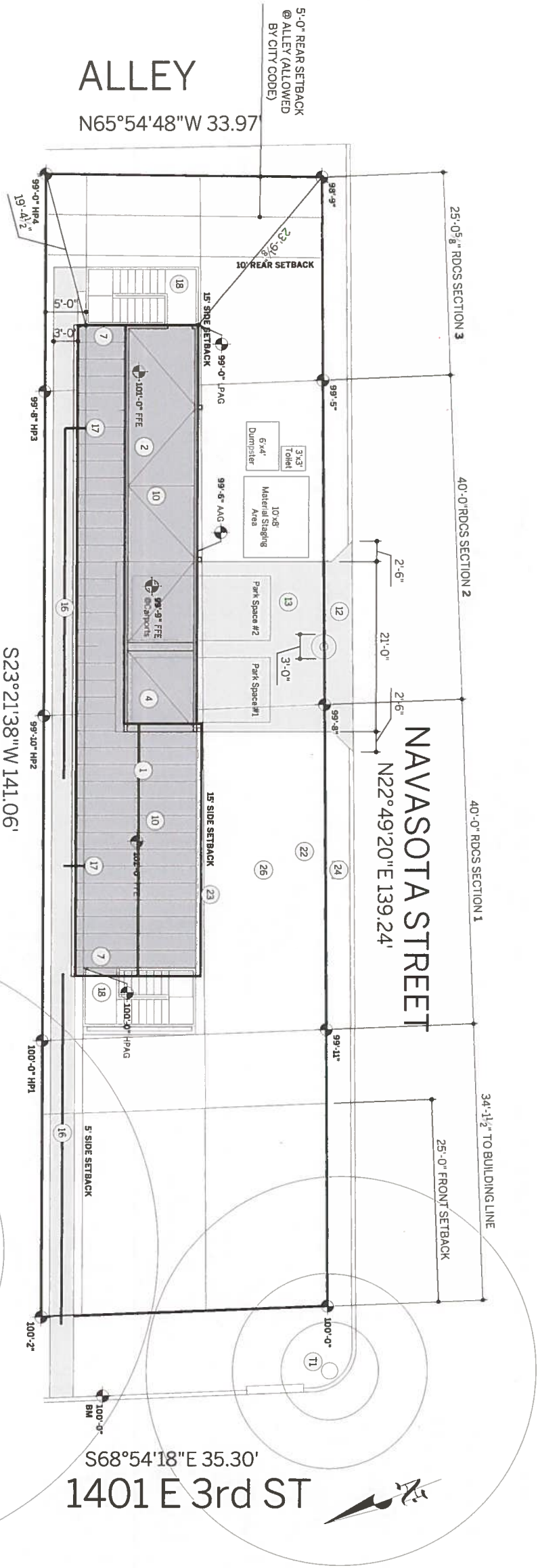
Any financial impact that this will have on the property's current owner, however regrettable, cannot take precedence over public safety. Moreover, it cannot be prioritized without calling attention to the historic inequities in the application of City's planning code.

It is unlikely that the current developers acquired this property without understanding the setback violation in place and its potential financial impact to completing construction on the site. However, even if that is the case, and that it is somehow staff's fault that the site plan erroneously approved the site plan violation – that is no reason to allow an exception. The City planning department often changes its interpretation and support of site plans during the construction process and very often resulting in significant expense to residential property owners. I have personally suffered a significant comparably financial hardship and know of other residents in the neighborhood who have as well. Yet, while I know of no case in which financial hardship was successfully argued to facilitate approval of a requested variance for a residential property in our neighborhood – I can site several incidents in which financial hardship was explicitly discussed and considered in the weighing of the impact of a request made by developers. This bias in the application of city code is an equality issue. The physical safety and financial security of individuals and families should not be weighed less than the profit margin of commercial investors.

Please feel free to contact me for further information or documentation if needed.

Thank you for your attention to this case.

Amy Thompson



REVIEWED



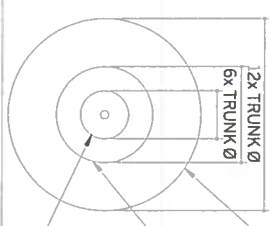
NOV 13 2017

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

AE APPROVED  
NOV 12 2017  
314-730  
JGM

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)			CRITICAL ROOT ZONES AT PROTECTED TREES.			LIST OF PROTECTED TREES.			DISCLAIMERS.			SEAL OF ARCHITECT.			SEAL OF MUNICIPAL APPROVAL										
01	New primary residence.	11	New spiral stair to roof deck.	17	New step-free entry into residence. Maximum vertical rise 1/2".	23	New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable.				<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No seal of construction documents can contain all information required to construct a project. Information is provided for reference only. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	 ISSUE DATE 02 Nov 2017. GRAPHIC SCALE (in feet) 0 1 2 4 8 16				<p><b>OCHONA</b> Development + Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702 ISSUE DATE 02 Nov 2017. SHEET TYPE Site Plan. A000</p>									
02	New accessory residence.	12	New type I driveway approach per City of Austin standards.	18	New pre-fabricated steel staircase.	24	Location of existing water meter.	T1	24"	CEDAR ELM															
03	New attached garage.	13	New concrete driveway.	19	New concrete patio.	25	Location(s) of new water meter(s), as applicable.	T2	38"	PECAN															
04	New attached carport.	14	New conc. driveway ribbon.	20	New wood deck, uncovered.	26	Location of new water supply and waste water line to primary residence.												OUTER CRITICAL ROOT ZONE MIDDLE (1/2) CRITICAL ROOT ZONE INNER (1/4) CRITICAL ROOT ZONE						
05	New detached garage.	15	New sidewalk in right-of-way per City of Austin standards.	21	New wood deck, uncovered.	27	Location of new water supply to secondary residence or additional unit, as applicable.																		
06	New detached carport.	16	New visible route from public way to residence.	22	New decomposed granite patio, uncovered.																				
07	New covered porch w/ deck or habitable space above.																								
08	New covered porch w/o deck or habitable space above.																								
09	New uncovered deck.																								
10	New uncovered roof deck.																								

CITY OF AUSTIN  
APPROVED FOR PERMIT  
J. Rodney Gonzales  
Development Services Department  
By  Date 12-7-17  
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

1 Site Plan  
Scale 1/16" = 1'-0" @ 11x17  
Scale 1/8" = 1'-0" @ 24x36







GENERAL CONDITIONS.

- These documents comprise a portion of a contract between the Owner and the General Contractor. No contract is implied or stated between the Owner and any other party, nor between the Architect and any party.
- No set of contract documents is able to contain all the information required to construct a project. Interpretation by the General Contractor is required. By use of these documents, both the Owner and the General Contractor assent to this understanding of the nature of contract documents.
- The General Contractor is responsible for the provision of minor details and appointments not shown in the contract documents.
- The General Contractor and his/her subcontractors are responsible for the final design of the HVAC, plumbing, and electrical systems.
- The General Contractor may not revise or modify the contract documents, in whole or in part, without the prior approval of the Owner. Consultation with the Architect beforehand is strongly recommended.
- The General Contractor may not modify the plans, elevations, or site plan shown in the contract documents without obtaining Architect consultation and Owner approval beforehand.
- Should the Owner request changes to the contract documents, the General Contractor is responsible for ensuring that the changes do not result in a built condition that does not comply with codes and/or regulations. Consultation with the Architect and/or an inspector is highly recommended.
- The Architect is not an inspector and is not liable for the General Contractor's failure to execute the work in accordance with the contract documents and/or in conformance with any and/or all applicable codes, laws, statutes and regulations.
- The Owner shall not be held liable nor be made to pay for the remediation of work judged substandard and/or rejected by the Architect, the Owner, and/or any Inspector (municipal or third-party). The Owner alone reserves the right to accept work judged substandard by either the Architect or the Owner. Should the Owner elect to accept substandard work, the Owner reserves the right to request monetary credit and/or a reduction in the contract sum.
- The Owner and/or the Architect shall be permitted to access the project site, in part and as a whole, at any reasonable time without prior notice. If the project site, in part or as a whole, is locked or otherwise secured, the Architect shall coordinate with the General Contractor to gain access. Neither the Owner nor the General Contractor shall be held liable for the consequences of the Architect's presence onsite unless said consequences arise from an unsafe or otherwise substandard project condition.
- The General Contractor is solely responsible for obtaining and maintaining all such bonding, sureties, and insurances such as may be required to shield the Owner from claims pertaining to the General Contractor's and/or subcontractors' execution of the Work and their respective conduct onsite.
- The General Contractor is solely responsible for ensuring that working conditions onsite are safe and comply with all relevant rules, laws, codes and standards. Likewise, the General Contractor is solely responsible for ensuring that all personnel onsite conduct themselves in a safe and prudent manner at all times, whether or not the General Contractor is present.

NOTES REGARDING CODES, REGULATIONS, STANDARDS, PERMITS and INSPECTIONS.

- The General Contractor is responsible for ensuring built compliance with all codes, regulations, and standards such as may be in force. These codes include but may not be limited to:  
2015 International Energy Conservation Code, 2012 Amended National Electrical Code  
2012 International Fire Code, 2012 Uniform Mechanical Code  
2012 Uniform Plumbing Code, 2012 International Residential Code
- Should the General Contractor become aware of a condition shown or depicted in the contract documents that would result in a violation of any code or regulation listed above, the General Contractor shall contact the Architect immediately for resolution.
- The General Contractor shall be responsible for obtaining any permit not provided beforehand by the Owner.
- The General Contractor and/or his/her subcontractors shall be responsible for coordinating all required inspections.
- The Owner and/or the General Contractor shall commission a third-party inspector. Failure on the part of the Owner and/or the General Contractor to retain a third-party inspector shall release the Architect from any and all liability for the project.
- Neither the Owner nor the Architect shall be considered to act in the role of an inspector. While the Owner and the Architect shall endeavor to alert the General Contractor to any perceived or observed defect in the construction, failure to do so shall not in any way relieve the General Contractor from his/her obligation to ensure that the built work is safe, of good quality, and compliant with all relevant codes and regulations.
- The General Contractor is responsible for ensuring that all work, whether performed by subcontractors or by the General Contractor him/herself, is of good workmanship and quality.

NOTES REGARDING VISITABILITY REQUIREMENTS.

(per City of Austin ordinance #20140130-021 and City of Austin amendments to section RA20 to the 2012 International Residential Code)

- Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
- Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
- Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
- Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
- At least one entrance to the first floor of the dwelling shall have a "no step" entrance with a beveled threshold of 1/2" or less.
- A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum 36" in clear width and shall have a maximum cross-slope of 1:50.

NOTES REGARDING TREE PROTECTION.

- All trees 19" in trunk diameter and greater at a height of 4'-6" above grade are protected by municipal ordinance.
- No protected tree shall be removed without a permit.
- To the extent that space allows, all protected trees shall be surrounded with a chain-link fence per City of Austin standard details G10S-2 and G10S-4, installed at a distance of 12 times the trunk diameter from the center of the tree. (EG: The protective fence for a 20" tree shall be installed 20'-0" from the center of the tree.)
- Where space does not allow extent of a protective fence described in (3) above, the protective fence shall be installed as far as possible from the trunk and 2x4 wood boards shall be strapped to the trunk for a distance of at least 8' above the ground per City of Austin standard detail G10S-4.
- All excavation within critical root zones shown on site plan shall occur under the guidance and supervision of a licensed private arborist.

NOTES REGARDING SPECIFIC PORTIONS OF THE WORK.

- FOUNDATIONS.  
A. All concrete slab-on-grade and pier+beam foundations shall be engineered by a structural engineer licensed in the state of Texas.  
B. All concrete intended for exposure as flooring shall be protected during construction.
- FRAMING.  
A. All wall framing shall be engineered by a structural engineer licensed in the state of Texas.  
B. All wall studs shall be sized as indicated otherwise in architectural or engineering drawings.  
C. All floor and roof trusses shall be engineered by a structural engineer licensed in the state of Texas.
- SHEATHING AND DECKING.  
A. All wall sheathing shall be, at a minimum, 7/16" OSB unless indicated otherwise on engineering drawings.  
B. All floor decking shall be, at a minimum, 1-1/4" OSB "screwed and glued" unless indicated otherwise on engineering drawings.  
C. All roof decking shall be, at a minimum, 5/8" OSB with a radiant barrier facing downward (unless spray foam insulation is to be used).
- AIR AND WATER BARRIERS.  
A. All exterior wall sheathing shall receive a vapor-permeable air-water barrier equal to or better than Fortifiber HydroTex.  
B. All sheathing shall be sealed at joints and junctions as required by manufacturer.  
C. Sheathing at window and door assemblies shall be shingled over head and jamb line and shall be further sealed with compatible self-adhered membrane flashing.  
D. All roof sheathing shall receive an ice-water shield.
- INSULATION, SEALANTS and VENTILATION.  
A. All exterior wall and roof assemblies shall receive insulation consisting of one of the following types (SELECTED PRODUCT IS INDICATED IN SPECIFICATIONS ON SHEET G003).  
.....(1) Open-cell spray foam insulation;  
.....(2) Blown-in batt insulation; or  
.....(3) Paperfaced fiberglass batt insulation.  
B. All insulation shall comply with the following minimum thermal-performance requirements:  
..... Walls R-19  
..... Walls R-38  
..... Rafters R-19  
C. All walls surrounding bathroom areas shall receive paperfaced fiberglass batt insulation.  
D. Where blown-in batt insulation or fiberglass batt insulation is to be used, roof cavities shall be ventilated by means of continuous perforated cement-board soffits and ridge vents.  
E. All penetrations through exterior cladding shall be sealed with silicone sealant to prevent water intrusion.  
F. All crawlspaces beneath pier+beam foundations shall be ventilated by means of 6" diameter round vents with insect screens.
- EXTERIOR CLADDING and TRIM.  
A. All exterior cladding shall be installed in strict accordance with manufacturers' instructions and placed per architectural elevations.  
B. All cement-board cladding shall be smooth with no false wood grain.  
C. All cement-board cladding shall be smooth with no false wood grain.  
D. All cement-board cladding shall be smooth with no false wood grain.  
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Z. All cement-board cladding shall be smooth with no false wood grain.

NOTES REGARDING SPECIFIC PORTIONS OF THE WORK (continued).

- ROOFING.  
A. All roofing shall consist of one of the following assemblies (SELECTED PRODUCT IS INDICATED ON G003).  
.....(1) Standing-seam metal roofing, 1-1/2" minimum seam, dark-bronze finish.  
.....(2) 30-year composition-singlet roofing.  
.....(3) Walkable PVC roofing, or  
.....(4) Torch-down asphaltic-folled roofing.  
B. All roof decks above conditioned space shall receive walkable PVC roofing.  
C. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.  
D. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.  
E. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.  
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X. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.  
Y. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.  
Z. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.
- FLASHINGS, COPINGS, GUTTERS, and SCUPPERS.  
A. All flashings and counterflashings shall be galvanized steel unless noted otherwise.  
B. All joints between flashings shall be lapped and sealed unless acceptable per industry standard based on specific conditions.  
C. All copings on parapets and deck railings shall be galvanized steel, dark-bronze finish, unless noted otherwise.  
D. All copings on parapets shall be continuous with sealed lap joints (NO BUTT JOINTS, EVEN IF SEALED).  
E. All low eaves on shed, gable, and hip roofs shall receive 6" gutters unless noted otherwise. Where roof plan does not show gutters, 6" gutter shall be assumed.  
F. All gutters shall be either dark-bronze finish to match metal roof or painted to match fascia siding.  
G. All downspouts shall be either dark-bronze finish to match gutter or painted to match cement-board siding.  
H. Downspouts shall be provided as per the following:  
.....(1) WALLS LESS THAN 20' IN LENGTH: One downspout.  
.....(2) WALLS GREATER THAN 20' IN LENGTH: One downspout per 20' of length, minimum two per wall.  
I. Downspouts shall be located near corners at ends of walls and centered in middle of walls unless specifically noted otherwise on architectural elevations. Where downspouts are not shown, downspouts shall be located as per this note.  
J. Through-wall scuppers shall be provided at all parapets.  
K. Through-wall scuppers shall be 6" wide by 6" tall and shall be galvanized metal or TPO-coated metal.  
L. Scuppers shall be located as indicated in architectural elevations and roof plans. Where no scuppers are indicated in architectural elevations or roof plans, scuppers shall be located as follows:  
.....(1) PARAPET LESS THAN 10' IN LENGTH: One scupper, in center.  
.....(2) PARAPET GREATER THAN 10' IN LENGTH: One scupper per 10' of wall length, minimum two.  
N. All scuppers shall be installed such that roof and/or deck material behind parapet singles on top of back of scupper.  
P. All undersides of copings and gutter attachments to cladding shall be sealed with silicone sealant.  
Q. All through-wall scuppers shall be sealed at all junctions with exterior wall.
- WINDOWS.  
A. All windows shall be one of the following specifications (SELECTED PRODUCT IS INDICATED ON G003).  
.....(1) VINYL, fin-mounted windows, Andersen 100 series or better, or  
.....(2) ALUMINUM-CLAD WOOD fin-mounted windows, Andersen 200 series or better.  
B. All sleeping rooms shall have at least one window rated for egress by the manufacturer.  
C. All windows shall be tempered as indicated in the architectural plans. Where no tempering requirements are indicated in architectural plans, windows meeting ANY of the following conditions shall be tempered:  
.....(1) All windows in showers or baths with head height at or below 96" AFF;  
.....(2) All windows within 24" of the arc of any swinging door;  
.....(3) All windows within 24" of the jamb of any sliding door;  
.....(4) All windows within 12" AFF;  
.....(5) All windows with any single pane of glazing larger than 36 square feet in area.  
D. All awning and casement windows whose sill height is lower than 24" above finish floor shall be fitted with window-opening control devices (WOCDD).  
E. All windows shall be listed as compliant with current energy codes and shall have a maximum U-factor of 0.40 without exception.  
F. The General Contractor is responsible for ensuring that thermal performance is compliant with all relevant energy codes and the requirements of these contract documents.

NOTES REGARDING SPECIFIC PORTIONS OF THE WORK (continued).

- EXTERIOR DOORS.  
A. All exterior doors shall be one of the following:  
.....(1) SOLID-CORE WOOD SWINGING DOORS with tempered glazing.  
.....(2) STEEL SWINGING DOORS with tempered glazing, or  
.....(3) ALUMINUM SLIDING DOORS with tempered glazing.  
B. All exterior swinging doors shall receive lever hardware (NO KNOBS).
- INTERIOR DOORS.  
A. All interior doors shall be one of the following:  
.....(1) SOLID-CORE WOOD DOORS with flat paneling, or  
.....(2) SOLID-CORE WOOD DOORS with 5-pane (6x4) paneling.  
B. Doors shall be paint-grade unless noted otherwise.  
C. Swinging doors shall receive lever hardware (NO KNOBS).
- TRIM AND CASINGS.  
A. All interior baseboards shall be one of the following assemblies:  
.....(1) 1x4 flat MDF or paint-grade wood with no quarter-round, or  
.....(2) 1x4 slim-grade wood with no quarter-round.  
B. All interior door trim shall be one of the following assemblies:  
.....(1) 1x4 flat MDF or paint-grade wood, or  
.....(2) 1x4 slim-grade wood.
- FLOORING.  
A. All flooring shall be one of the following assemblies:  
.....(1) Clear-sealed polished concrete, Level 4 finish;  
.....(2) Engineered-wood plank flooring, finish as per OWNER;  
.....(3) Carpet, color as per OWNER;  
.....(4) Ceramic tile, 12x12 or as selected by OWNER, or  
.....(5) Ceramic tile, 1" diameter white penny tile with black grout.  
B. All interior tile shall be installed upon a crack-isolation membrane.  
C. All interior tile shall be installed upon a crack-isolation membrane.
- DRYWALL and BACKING.  
A. All interior drywall at walls shall be 1/2" gypsum board except at common walls between duplex units.  
B. All interior drywall at common walls between duplex units shall be 5/8" TYPE X gypsum board.  
C. All interior drywall at ceilings shall be 5/8" gypsum board.  
D. All drywall in WET AREAS (baths, utility rooms) shall consist of one of the following:  
.....(1) Exterior-grade fiberglass-backed gypsum board, installed at full height of wall, or  
.....(2) Cementitious backer board, installed at full height of wall.
- PAINTING and TEXTURING.  
A. All exterior cladding suitable for painting (stucco, cement board, fascia and trim) shall receive exterior-grade latex paint. Color shall be WHITE unless otherwise selected by OWNER.  
B. All exterior metal suitable for painting (railings, columns, beams, balustrades) shall receive exterior-grade latex paint intended for use on metal. Color shall match roof unless otherwise selected by OWNER.  
C. All interior walls, trim, casings, and ceilings shall be receive no-VOC latex paint. Color shall be WHITE unless otherwise selected by OWNER.  
D. All interior walls and ceilings shall receive orange-peel texture.
- CABINETS and COUNTERTOPS.  
A. All interior cabinets and shelving shall consist of one of the following assemblies:  
.....(1) Paint-grade wood or MFC cabinetry, or  
.....(2) Stain-grade wood cabinetry.  
B. All cabinets shall be full-flush-overlay cabinets with concealed (European) hinges and drawer extensions.  
C. All drawer fronts shall receive brushed-nickel linear pulls installed as follows:  
.....VERTICAL DIMENSION: CL of pull 1" below top of drawer front.  
.....HORIZONTAL DIMENSION: Centered on width of drawer front.  
D. All door fronts shall receive brushed-nickel linear pulls installed as follows:  
.....VERTICAL DIMENSION: CL of pull 1" below top of door front (at BASE) or 1" above top of door front (at UPPER).  
.....HORIZONTAL DIMENSION: Centered on width of door front.  
E. All countertop shall be either GRANITE or SOLID-SURFACE as selected by OWNER. Where OWNER has made no selection, countertops shall be white Silstone.
- ELECTRICAL SYSTEMS.  
A. Electrical systems shall be designed by master electrician.  
B. A whole-house surge protector shall be installed unless deleted by OWNER.  
C. Location of meters and load center shall be determined by master electrician.
- PLUMBING SYSTEMS.  
A. Plumbing systems shall be designed by master plumber.  
B. Interior supply shall be via flexible (PEX) system with manifold.  
C. A master cutoff valve shall be installed at manifold unless deleted by OWNER.  
D. All piping in exterior walls shall be insulated.
- HVAC SYSTEMS.  
A. HVAC systems shall be designed by master HVAC technician.  
B. HVAC systems shall consist of one of the following:  
.....(1) Heat pump compliant with current energy code;  
.....(2) Gas furnace with 10% makeup air compliant with current energy code;  
.....(3) Ductless split system compliant with current energy code.  
C. All HVAC systems shall incorporate makeup air as required by energy code.

DISCLAIMERS.

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SEAL OF ARCHITECT.

SEAL OF MUNICIPAL APPROVAL.

REVIEWED FOR CODE COMPLIANCE

City of Austin

GOCHONA

Developer - Acquirement

SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017. SHEET TYPE General Notes.

GOO2



SPECIFICATIONS (CONFIRM WITH OWNER PRIOR TO INSTALLATION).

Element	Material
Foundation	Slab-on-grade, engineered by others
Framing, walls	2x4 / 2x6 wood studs, Southern Yellow Pine #2 or better
Framing, floors	Pre-fabricated roof trusses, engineered by others
Framing, roofs	Pre-fabricated roof trusses, engineered by others
Breathing, walls	7/16" minimum oriented-strand-board
Decking, floors	1-1/8" oriented-strand-board, mechanically fastened and adhered
Decking, roof	3/4" minimum oriented-strand-board
Water-resistive barrier	Fortiber Hydro-Tex water-resistive barrier
Insulation	Fiberglass batt insulation, R19 at walls, R38 at roofs
Siding	Cement-board plank siding + stucco, REF: ELEVATIONS
Trim, exterior	RealT trim or similar, nominal 1x4 size, S4S (smooth four sides)
Roofing	Standing-seam metal roofing on ice+water shield + walkable PVC
Windows	Vinyl, Andersen 100 series or better, BLACK
Doors, exterior	Vinyl or fiberglass, tempered as req'd, Andersen or better
Flooring, general	Engineered wood flooring (OR OWNER SELECTION)
Flooring, baths	Ceramic "penny" mosaic tile, black grout (OR OWNER SELECTION)
Flooring, kitchens	Engineered wood flooring (OR OWNER SELECTION)
Flooring, utility	Porcelain tile, 12" x 12" (OR OWNER SELECTION)
Drywall, walls, general	1/2" gypsum board
Drywall, walls, wet areas	Cementitious backer board OR glass-mat-faced gypsum board
Drywall, ceilings	5/8" gypsum board
Tile, baths + kitchens	Subway tile, 3" x 6", white, stack bond
Trim, baseboards	1x4 wood, flat profile, painted, NO QUARTER-ROUND
Trim, casings	1x4 wood, flat profile, painted
Doors, interior	Solid-core wood doors (NO PANELING), painted
Door hardware, exterior	Schlage Century One keyed handle/et w/ Latitude lever
Door hardware, interior	Schlage Plymouth Style privacy/passage sets, Latitude levers
Cabinetry	Paint-grade MDF or wood cabinetry, full-flush overlay (NO EXPOSED FACE FRAMES), European-style hinges, flat-panel doors (no stile-and-rail paneling)
Countertops	Solid-surface countertops, white (OWNER SELECTION)

APPLIANCE SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE).

Appliance	Specification
Refrigerator+freezer	GE Cafe series Energy Star 22.1 cu.ft. counter-depth French-door refrigerator, stainless-steel, model no. CYE22TSHSS
Range	GE Cafe series 30" free-standing range with storage drawer, stainless steel, model no. CGS975SEDS
Microwave+vent hood	GE Cafe series 1.7 cu.ft. convection over-the-range microwave oven, stainless steel, model no. CVM1790SSSS
Dishwasher	GE Cafe series stainless interior built-in dishwasher with hidden controls, model no. CDT76SSSFRSS
Washer	GE Energy Star front-load washer, model no. GFWH1200HWW
Dryer	GE front-load electric dryer, model no. GFDN120EDWW, stacked
Disposal	Waste King Legend Series 1 HP disposal, model no. 8000TC

PLUMBING SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE).

Fixture	Specification
Kitchen sink	Kohler Vault undermount sink, single-hole, model no. K-3839-1
Kitchen faucet	Kohler Sensate electronic pull-down kitchen sink faucet K-72218
Bathroom sink	NOTE: REQUIRES UNSWITCHED 120V POWER OUTLET
Bathroom faucet	Kohler Verticyl undermount bathroom sink K-2883
Bathhub	Kohler Purist widespread faucet K-14406-3, cross handles
Bath+shower head+faucet	Kohler Villager bath K-715 (left drain) or K-716 (right drain)
Toilet	Kohler Purist bath+shower valve trim with cross handles and 90 ° spout, model no. K-114421-3E, with Rite-Temp valve with diverter and stops, model no. K-11748-KS
	Kohler Persuade dual-flush toilet, model no. K-3654
	w/ Brevia elongated toilet seat, model no. K-4774

ELECTRICAL SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE).

Fixture	Specification
Ceiling fan w/ light kit	Fanitation Involition two-bladed ceiling fan, satin nickel, FP4520SN with satin-nickel blades, B4500SN, and light kit, LK4520SN
Ceiling fan, wet locations	Fanitation Zornx ceiling fan, satin nickel, FP4640SN
Ceiling-mounted light	Lighting Inc. one-light ceiling mount, item # 335157, E26 LED lamp
Recessed ceiling light	Lighting Inc. air-light IC, item # 605638, E26 LED lamp
Recessed ceiling light trim	Lighting Inc. 6" pro-optic LED trim, item # 725403, white, E26 LED lamp
Pendant light, small	Lighting Inc. one-light LED pendant, item # 754421, G4 LED lamp
Pendant light, large	Lighting Inc. one-light LED pendant, item # 539505, E26 LED lamp
Exterior light	Lighting Inc. one-light outdoor fixture, item # 336638, E26 LED lamp
Vanity light	Lighting Inc. two-light vanity fixture, item # 300295, E26 LED lamp

MECHANICAL SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE).

Fixture	Specification
HVAC system	Trane gas furnace with 90% makeup air
Exhaust fan	Broan model 684 exhaust fan

	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
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ISSUE DATE 02 Nov 2017.

City of Austin  
REVIEWED FOR CODE COMPLIANCE



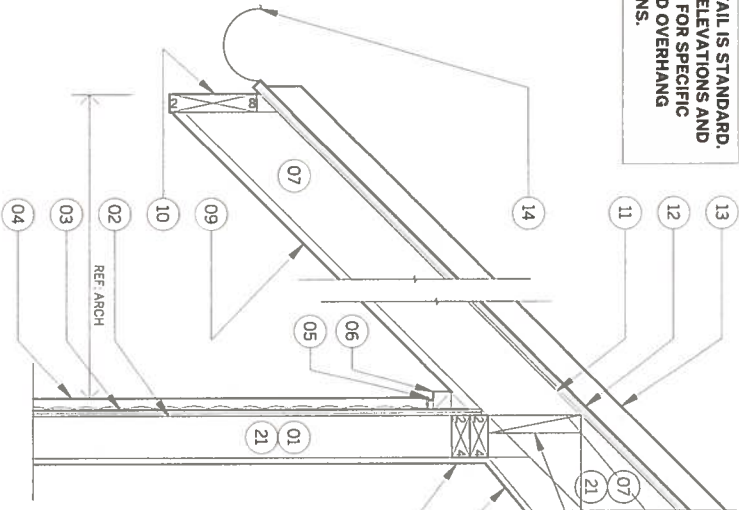
GOCHONA  
Development + Architecture

SINGLE-FAMILY RESIDENCE W/  
ACCESSORY APT AT  
1401 E 3RD ST  
AUSTIN, TEXAS 78702

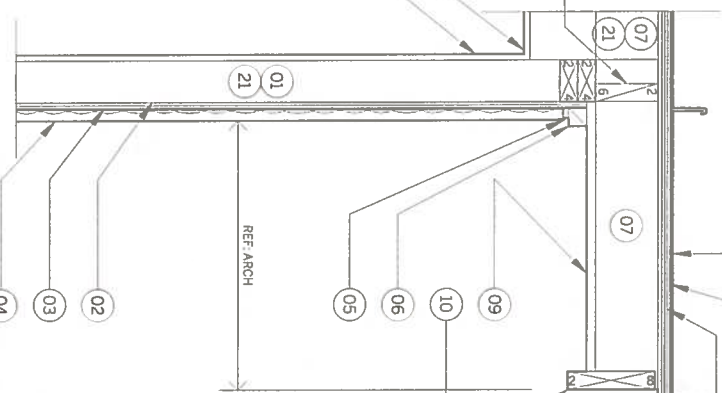
ISSUE DATE 02 Nov 2017.  
SHEET TYPE Specifications.

G003

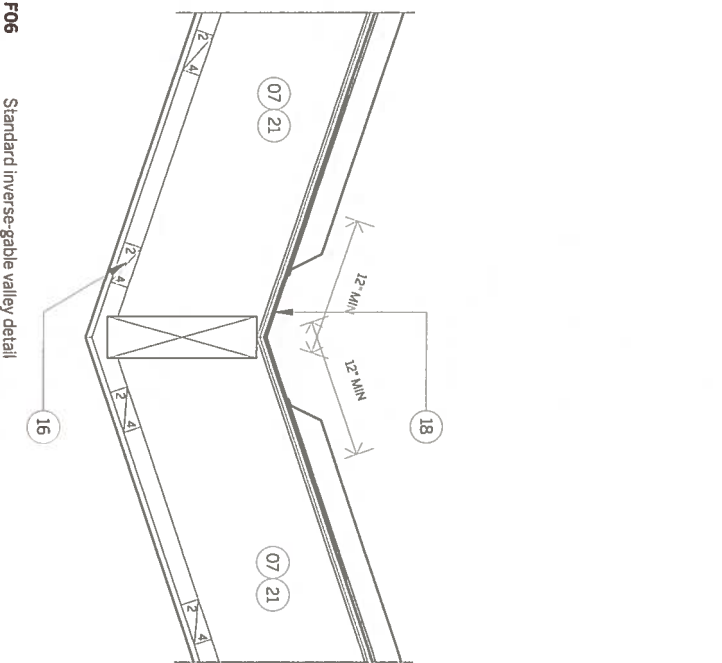
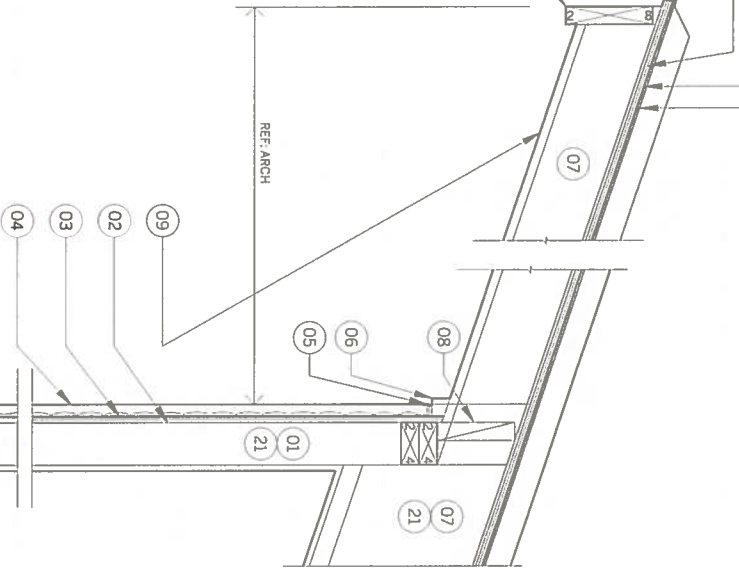
F01 Standard low eave detail



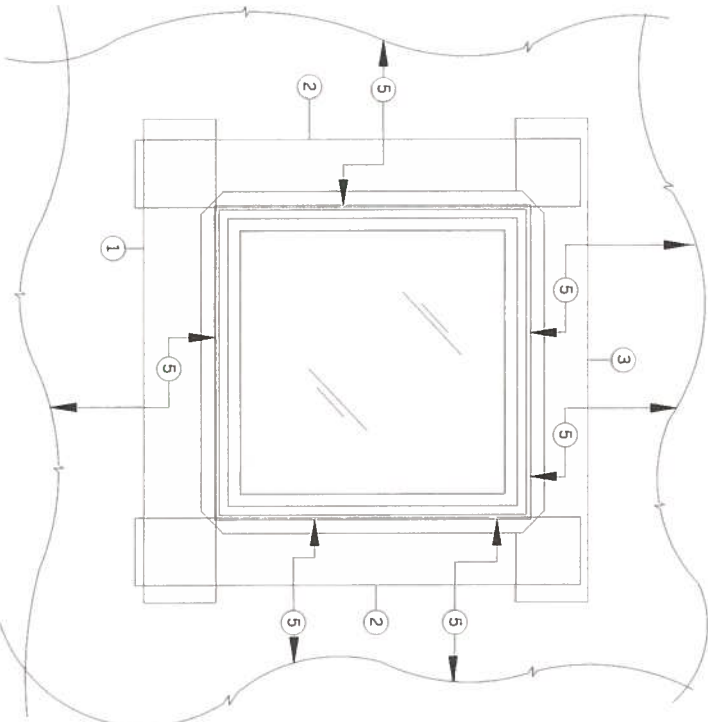
F02 Standard rake detail



F03 Standard high eave detail

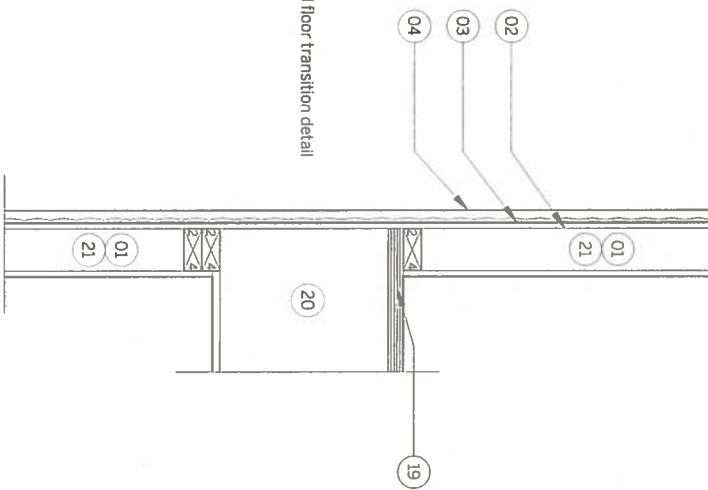


F04 Standard window installation detail



- ORDER OF INSTALLATION
- 1 Sill flashing, wrap into opening
  - 2 Jamb flashing, wrap into opening
  - 3 Head flashing, wrap into opening
  - 4 Window
  - 5 Building wrap

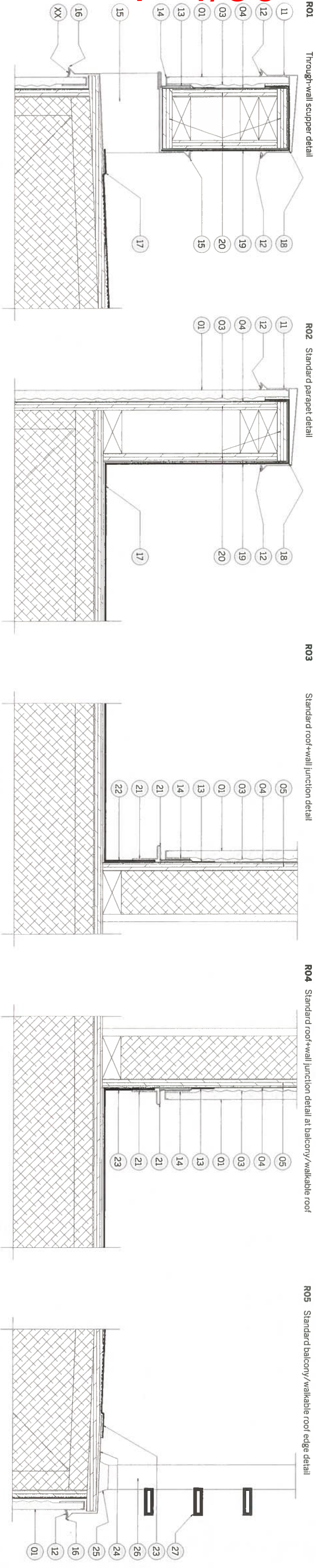
F05 Standard floor transition detail



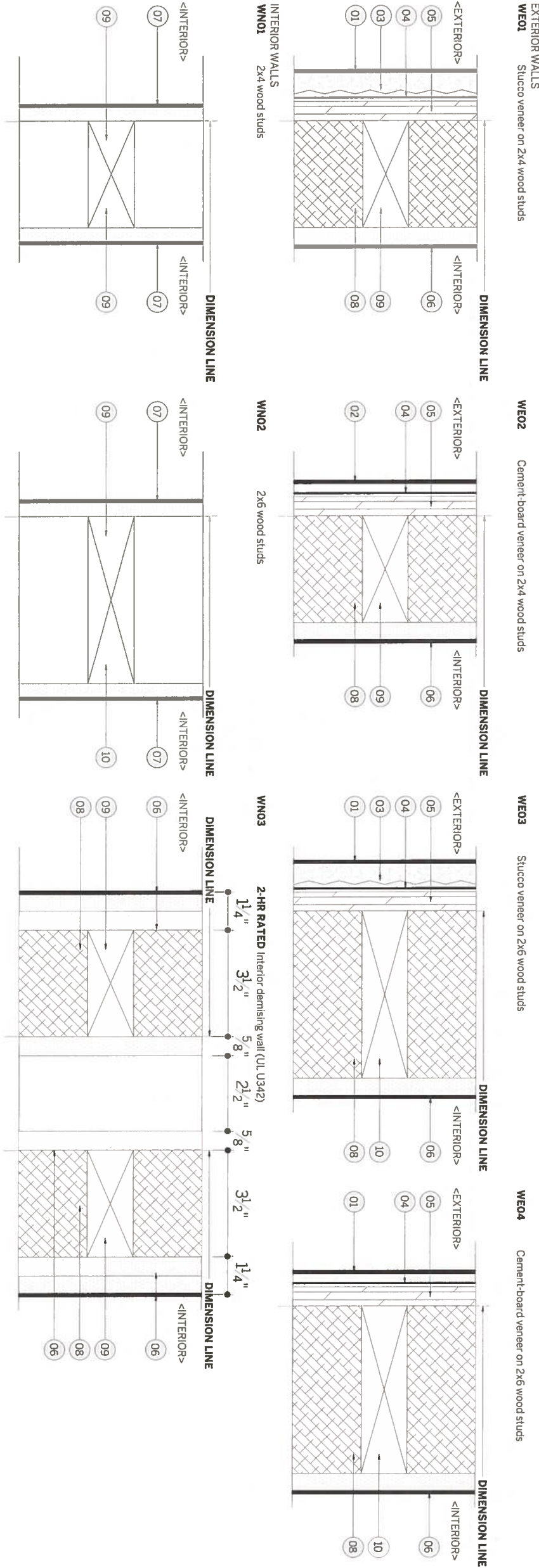
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).					DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	
01	Wall framing, 2x4 (2x6 similar, REFER TO PLANS FOR PLACEMENT)	10	Fascia, 2x8 material (REFER TO SPECIFICATIONS)	21	Insulation (REFER TO SPECIFICATIONS)	<div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All construction documents are subject to the provisions in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div>	<div><div>REGISTERED ARCHITECT</div><div>WILLIAM LAWRENCE HODGE</div><div>STATE OF TEXAS</div><div>19074</div></div>	<div>CITY OF AUSTIN</div> <div>1401 E 3RD ST</div> <div>AUSTIN, TEXAS 78702</div>
02	Wall sheathing, 1/2" OSB, attached per S2	11	Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS)					
03	Building wrap	12	Ice-and-water shield					
04	Exterior cladding, stucco (siding similar, REFER TO ELEVATIONS FOR PLACEMENT)	13	Standing-seam metal roof (composition shingle similar)					
05	Sealant as required	14	Metal gutter					
06	Wood blocking at eave+wall junction	15	Metal drip edge					
07	Wood rafter (trusses similar, REFER TO ENGINEERING PLANS FOR PLACEMENT)	16	Wood furring					
08	Wood shear blocking between rafters or trusses	17	Gypsum board at ceiling, 5/8" thick					
09	per IRC and engineering drawings	18	Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing					
	Ventilated soffit board (unless roof cavity is sprayed with foam insulation)	19	Floor decking, 1-1/4" thick					
		20	Truss or floor joist					
ISSUE DATE								
02 Nov 2017.								
SHEET TYPE								
Standard Details.								
G004								



STANDARD ROOF DETAILS (WOOD-FRAMED CONSTRUCTION).  
Scale 1/4/2" = 1'-0" @ 11x17 / Scale 3" = 1'-0" @ 24x36.



STANDARD PARTITION TYPES (WOOD-FRAMED CONSTRUCTION).  
Scale 3" = 1'-0" @ 11x17 / Scale 6" = 1'-0".



KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

- |    |  |    |   |
|----|--|----|---|
| 01 | 3-coat stucco with elastomeric 3rd coat.     | 15 | Galvanized metal through-wall scupper enclosure.                  |
| 02 | Cement-board siding, 6" horizontal exposure. | 16 | Drip edge.  |
| 03 | Metal lath.                                  | 17 | 60mil PVC roofing.  |
| 04 | Water-resistive barrier.                     | 18 | PVC roofing to run over top of parapet.                           |
| 05 | Exterior sheathing.                          | 19 | PVC roofing to run up side of parapet.                            |
| 06 | 5/8" type-X gypsum board.                    | 20 | OSB on all sides of parapet.                                      |
| 07 | 1/2" gypsum board.                           | 21 | Galvanized metal flashing + counterflashing.                      |
| 08 | Spray-foam insulation.                       | 22 | PVC roofing to run up wall underneath flashing + counterflashing. |
| 09 | 2x4 wood stud.                               | 23 | Walkable PVC roofing.   |
| 10 | 2x6 wood stud.                               | 24 | Galvanized metal slip plate with drip edge.                       |
| 11 | Galvanized metal coping.                     | 25 | Urethane sealant at junction of railing and slip plate.           |
| 12 | Silicone sealant, tooled for drainage.       | 26 | Galvanized 2" x 2" metal railing post.                            |
| 13 | Self-adhered membrane flashing.              | 27 | Galvanized 1/2" x 2" steel bar railing, horizontal.               |
| 14 | Weep screed.                                 |    |   |

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SEAL OF ARCHITECT.



ISSUE DATE

02 Nov 2017.

SEAL OF MUNICIPAL APPROVAL.

City of Austin  
REVIEWED FOR CODE COMPLIANCE

**OCHONA**  
Development + Architecture

SINGLE-FAMILY RESIDENCE W/  
ACCESSORY APT AT  
1401 E 3RD ST  
AUSTIN, TEXAS 78702

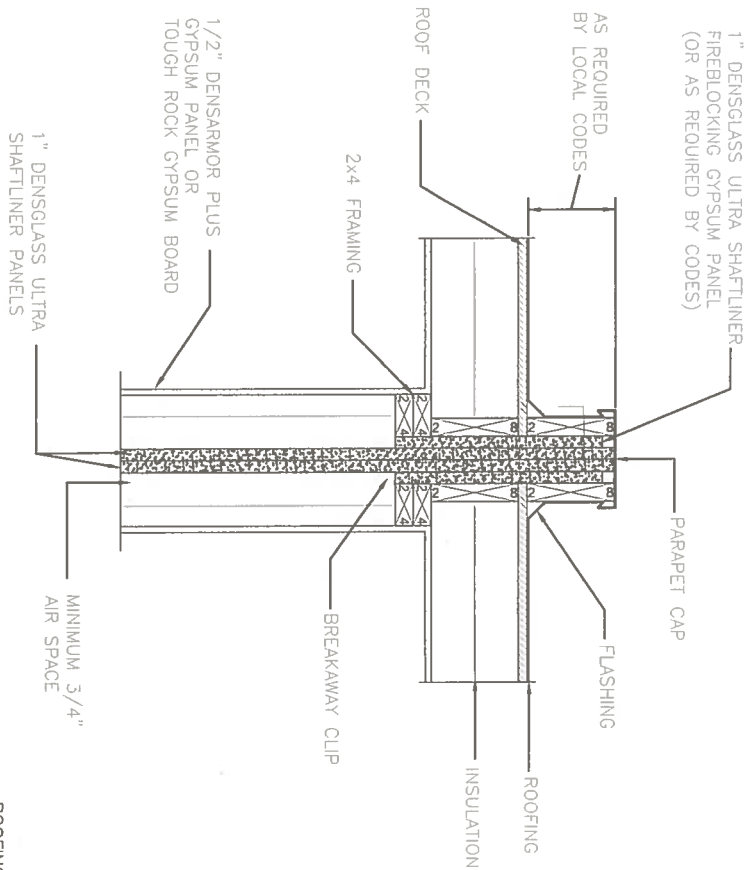
ISSUE DATE

02 Nov 2017.

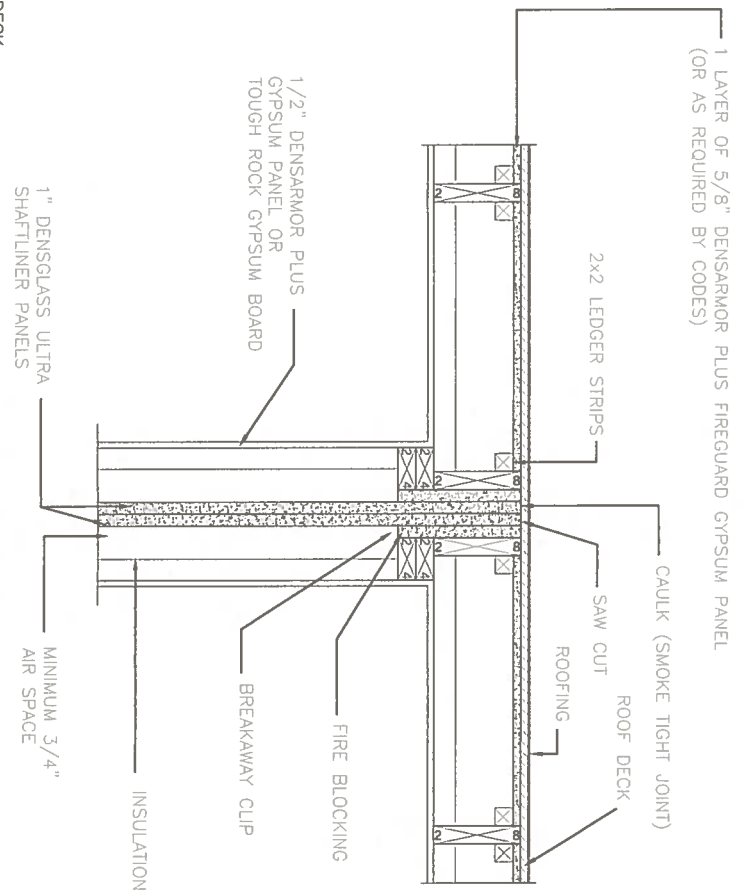
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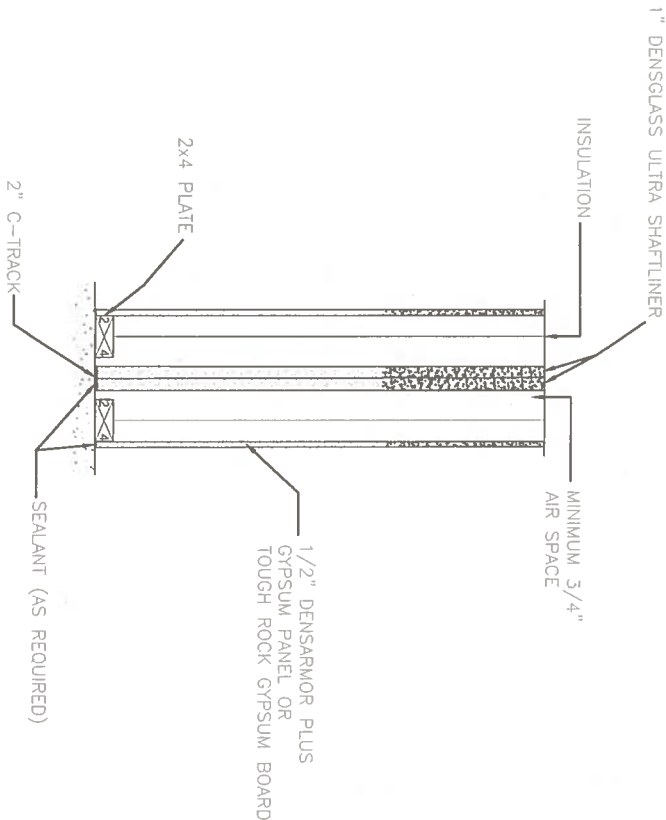
G005



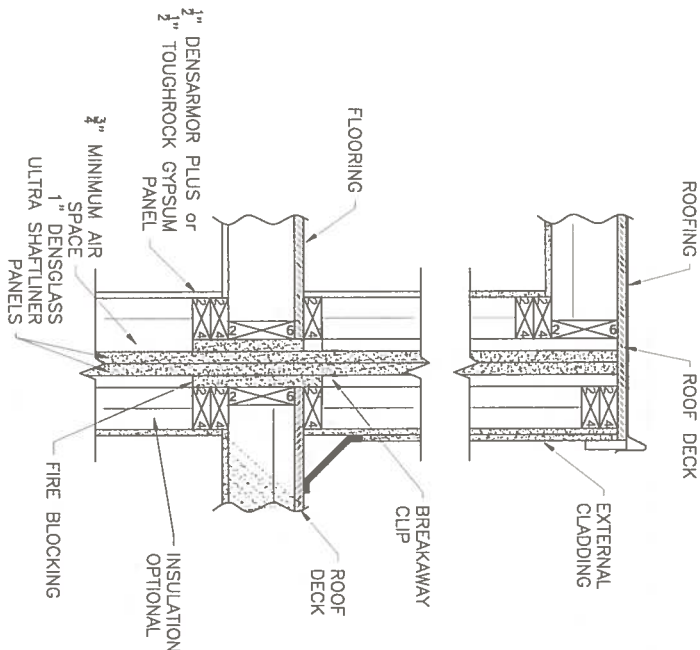
TYPICAL ROOF PARAPET DETAIL



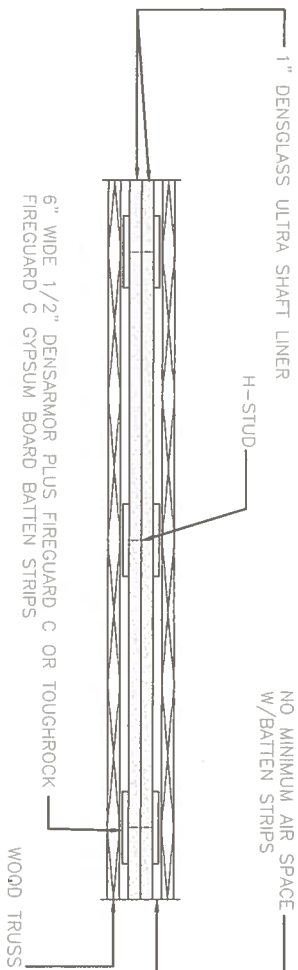
TYPICAL ROOF JUNCTION DETAIL



TYPICAL FOUNDATION DETAIL



TYPICAL OFFSET  
ROOF/WALL DETAIL



\*ONLY APPLIES IF SOLID WALL IS ACCESSIBLE. IF NOT ACCESSIBLE, THE 1/2" TYPE C STRIPS ARE NOT REQUIRED.

\*ATTIC DETAIL ADJACENT TO TRUSSES

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	Wall framing, 2x4 (2x6 similar; REFER TO PLANS FOR PLACEMENT)	10	Fascia, 2x8 material (REFER TO SPECIFICATIONS)	21	Insulation (REFER TO SPECIFICATIONS)
02	Wall sheathing, 1/2" OSB, attached per S2	11	Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS)		
03	Building wrap	12	Ice-and-water shield		
04	Exterior cladding, stucco (siding similar; REFER TO ELEVATIONS FOR PLACEMENT)	13	Standing-seam metal roof (composition shingle similar)		
05	Sealant as required	14	Metal gutter		
06	Wood blocking at eave+wall junction	15	Metal drip edge		
07	Wood rafter (trusses similar; REFER TO ENGINEERING PLANS FOR PLACEMENT)	16	Wood furring		
08	Wood shear blocking between rafters or trusses per IRC and engineering drawings	17	Gypsum board at ceiling, 5/8" thick		
09	Ventilated soffit board (unless roof cavity is sprayed with foam insulation)	18	Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing		
		19	Floor decking, 1-1/4" thick		
		20	Truss or floor joist		

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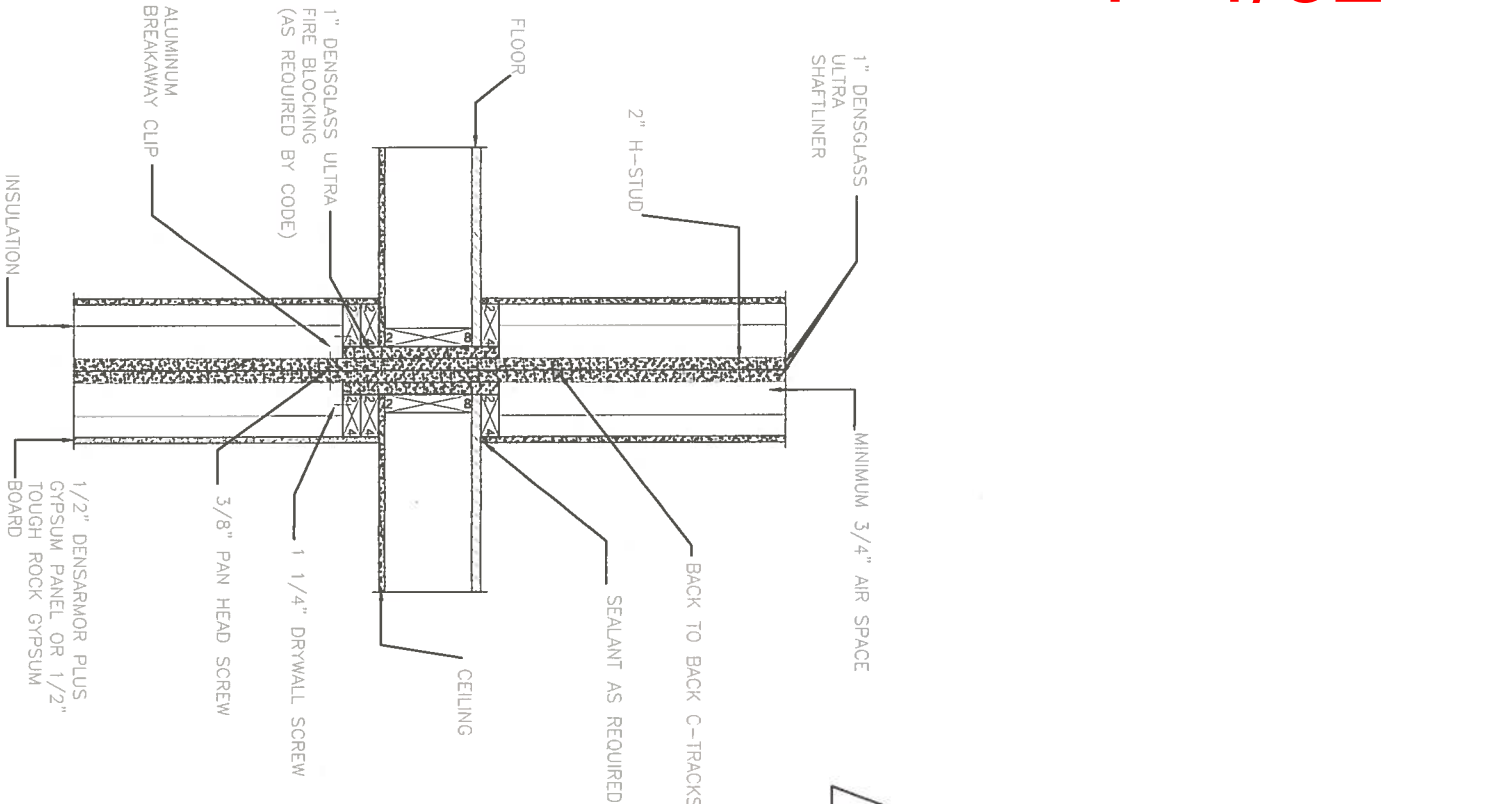
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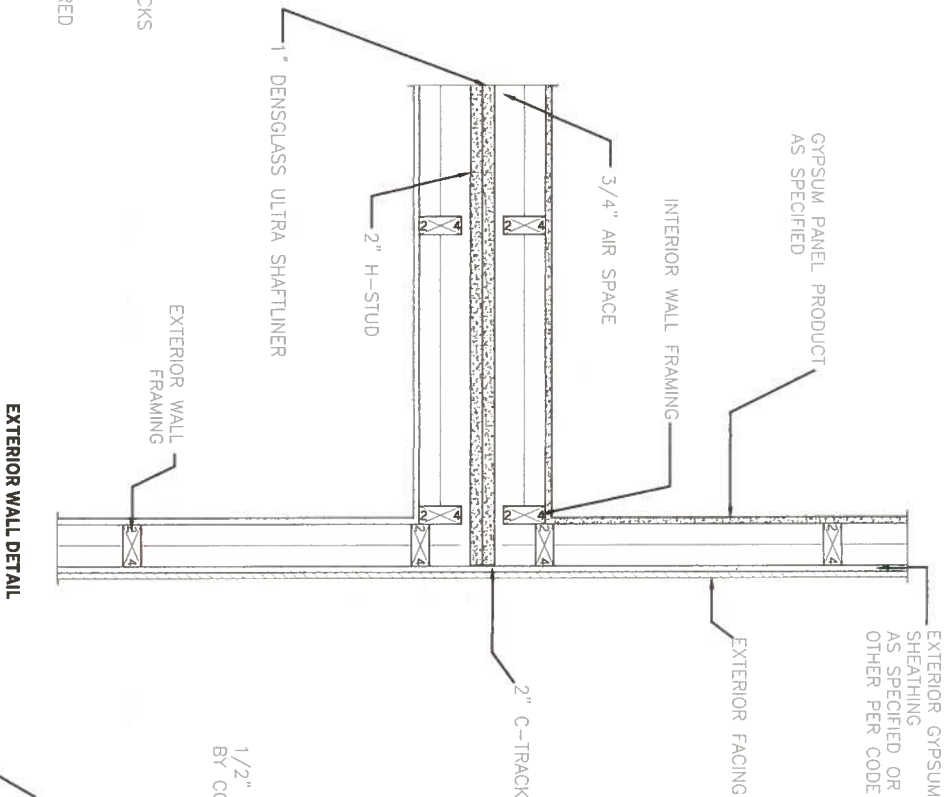
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**G006**

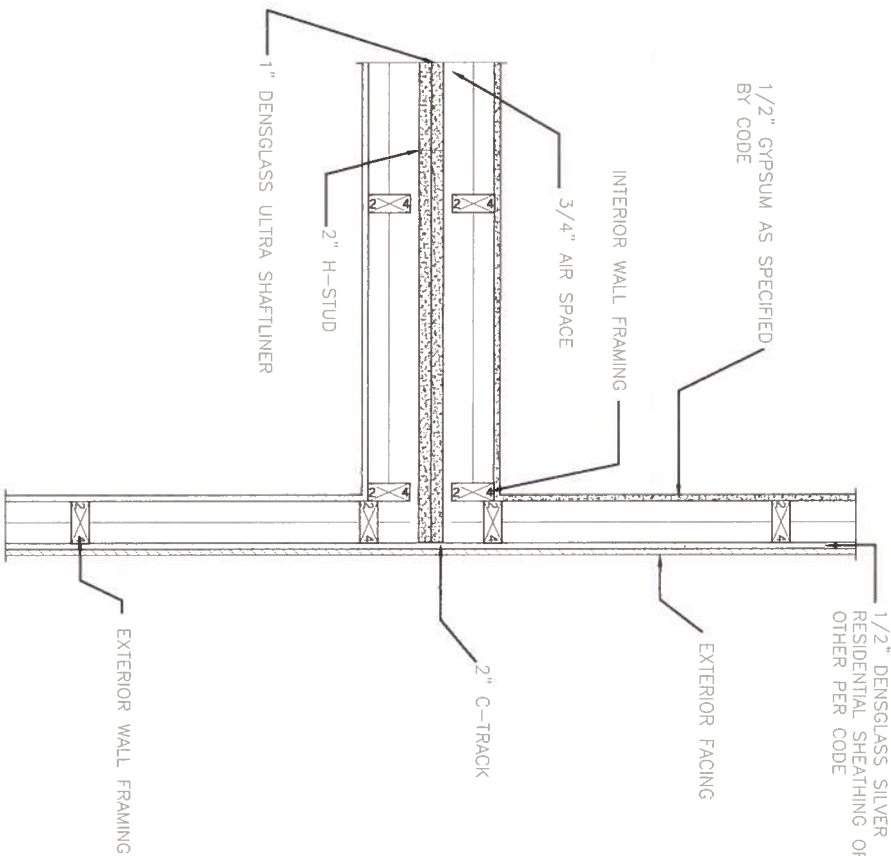




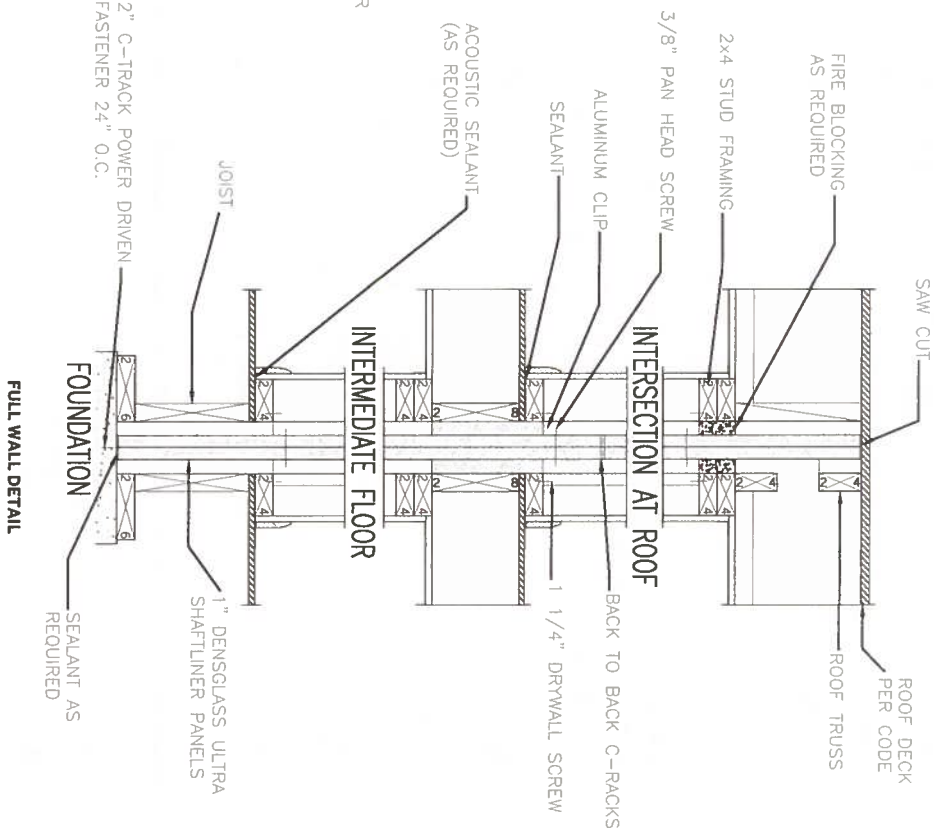
INTERMEDIATE FLOOR DETAIL



EXTERIOR WALL DETAIL
















EXTERIOR WALL DETAIL



FULL WALL DETAIL

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).			
01	Wall framing, 2x4 (2x6 similar, REFER TO PLANS FOR PLACEMENT)	10	Fascia, 2x8 material (REFER TO SPECIFICATIONS)
02	Wall sheathing, 1/2" OSB, attached per S2	11	Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS)
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08	Wood shear blocking between rafters or trusses per IRC and engineering drawings	17	Gypsum board at ceiling, 5/8" thick
09	Ventilated soffit board (unless roof cavity is sprayed with foam insulation)	18	Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing
		19	Floor decking, 1-1/4" thick
		20	Truss or floor joist
		21	Insulation (REFER TO SPECIFICATIONS)
DISCLAIMERS.		SEAL OF ARCHITECT.	
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<div><div>REGISTERED ARCHITECT WILLIAM C. HODGE 19074 STATE OF TEXAS</div><div>02 Nov 2017.</div></div>		<div><div>City of Austin</div><div>VIEWED FOR CODE COMPLIANCE</div></div>	
<div><div>OCHONA</div><div>Developer + Architect</div><div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div></div>		<div><div>ISSUE DATE</div><div>02 Nov 2017.</div><div>SHEET TYPE</div><div>Standard Details.</div></div>	

SWINGING ENTRY DOORS.		SWINGING PATIO DOORS.		EXTERIOR SLIDING DOORS.		INTERIOR SWINGING DOORS.								INTERIOR BYPASS DOORS.	
															
<b>EN3680</b>		<b>PA3680</b>		<b>SL3680</b>		<b>SD1880</b>		<b>SD2480</b>		<b>SD3280</b>		<b>SD3680</b>		<b>BP2480</b>	
															
<b>EN23696</b>		<b>PA23696</b>		<b>SL23696</b>		<b>SD1896</b>		<b>SD2496</b>		<b>SD3296</b>		<b>SD3696</b>		<b>SD21896</b>	
															
<b>GA9680</b>		<b>GA21680</b>				<b>PD2480</b>		<b>PD3280</b>		<b>PD3680</b>		<b>PD212480</b>		<b>PD23280</b>	
															
<b>GA9696</b>		<b>GA21696</b>				<b>PD2496</b>		<b>PD3296</b>		<b>PD3696</b>		<b>PD212496</b>		<b>PD23296</b>	
															
<b>BD2480</b>		<b>BD3680</b>		<b>BD2496</b>		<b>BD3696</b>		<b>BD212480</b>		<b>BD23280</b>		<b>BD23680</b>		<b>BD212496</b>	
															
<b>BD2496</b>		<b>BD3696</b>		<b>BD212496</b>		<b>BD23280</b>		<b>BD23696</b>		<b>BD212480</b>		<b>BD23696</b>		<b>BD212496</b>	
															
<b>BD23680</b>		<b>BD23696</b>		<b>BD212480</b>		<b>BD23680</b>		<b>BD212496</b>		<b>BD23696</b>		<b>BD212480</b>		<b>BD23696</b>	

01

GENERAL NOTES REGARDING DOORS AND WINDOWS.

05

When the Owner's chosen window and/or door manufacturer has standard unit sizes that differ from the unit sizes given above, it is the sole responsibility of the Owner and the General Contractor to coordinate egress and tempering requirements such that the built work complies with the intent of this document.

06

Individual manufacturers have standard rough-opening requirements that differ from manufacturer to manufacturer. It is the sole responsibility of the General Contractor to coordinate rough openings for windows and/or doors with the requirements of the Owner's chosen window and/or door manufacturers.

07

All individual windows within MIXED WINDOW UNITS shall be TIGHT-MULLED in the FACTORY. NO MULLING ON-SITE.

DOOR TYPE:  
EN Entry door  
PA Patio door  
SL Exterior sliding door  
GA Garage door  
BP Bypass door  
PD Pocket door  
BD Barn door

X

X

(X)

X

X

X

X

NUMBER OF LEAVES  
(if more than one leaf)

X

X

X

X

X

WIDTH OF DOOR LEAF  
(NOMINAL)  
(in INCHES)  
E.G.: 30 = 30 inches

X

X

X

X

X

HEIGHT OF DOOR LEAF  
(NOMINAL)  
(in INCHES)  
E.G.: 80 = 80 inches

DISCLAIMERS.

This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No seal of construction approval is required. All information required for construction shall be provided by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in GO01 through GO07 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this seal contains the cover sheet and all sheets are complementary and incomplete and INVALID FOR CONSTRUCTION.

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ISSUE DATE  
02 Nov 2017.

SEAL OF MUNICIPAL APPROVAL.

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

















































































































































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## WINDOW SCHEDULES.

**FIXED WINDOWS.**

FIXED WINDOWS.				SLIDING WINDOWS.				CASEMENT WINDOWS.				SASH WINDOWS.		MIXED WINDOWS.					
	PW1212@80		PW2412@80		PW3612@80		PW4812@80		PW6012@80		PW7212@80		SW3612@80		SW4812@80		SW6012@80		SW7212@80
	PW1212@96		PW2412@96		PW3612@96		PW4812@96		PW6012@96		PW7212@96		SW3612@96		SW4812@96		SW6012@96		SW7212@96
	PW1224@80		PW2424@80		PW3624@80		PW4824@80		PW6024@80		PW7224@80		SW3624@80		SW4824@80		SW6024@80		SW7224@80
	PW1224@96		PW2424@96		PW3624@96		PW4824@96		PW6024@96		PW7224@96		SW3624@96		SW4824@96		SW6024@96		SW7224@96
	PW1236@80		PW2436@80		PW3636@80		PW4836@80		PW6036@80		PW7236@80		SW3636@80		SW4836@80		SW6036@80		SW7236@80
	PW1236@96		PW2436@96		PW3636@96		PW4836@96		PW6036@96		PW7236@96		SW3636@96		SW4836@96		SW6036@96		SW7236@96
	PW1248@80		PW2448@80		PW3648@80		PW4848@80		PW6048@80		PW7248@80		SW3648@80		SW4848@80		SW6048@80		SW7248@80
	PW1248@96		PW2448@96		PW3648@96		PW4848@96		PW6048@96		PW7248@96		SW3648@96		SW4848@96		SW6048@96		SW7248@96
	CW2460@80		CW3660@80		SH3660@80		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@96		CW3660@96		SH3660@96		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@80		CW3660@80		SH3660@80		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@96		CW3660@96		SH3660@96		MW1727@96		Left portion: PW7236		Right portion: PW7236								
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	CW2460@96		CW3660@96		SH3660@96		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@80		CW3660@80		SH3660@80		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@96		CW3660@96		SH3660@96		MW1727@96		Left portion: PW7236		Right portion: PW7236								
	CW2460@80		CW3660@80		SH3660@80		MW1727@96		Left portion: PW7236		Right portion: PW7236								
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**CUSTOM WINDOWS.**

## GENERAL NOTES REGARDING DOORS AND WINDOWS

01	This is a STANDARD schedule indicated above may be utilized in this specific project. Head heights given are to be measured to the top of the window and/or door unit.	05	When the Owner's chosen manufacturer has standard unit sizes given above, it is the sole responsibility of the Owner and the General Contractor to coordinate egress and tempering requirements such that the built work complies with the intent of this document.	06	Individual manufacturers have standard rough-opening requirements that differ from manufacturer to manufacturer. It is the sole responsibility of the General Contractor to coordinate rough openings for windows and/or doors with the requirements of the Owner's chosen window and/or door manufacturers.	07	All individual windows within MKMED WINDOW UNITS shall be TIGHT-MULLED in the FACTORY. NO MULLING ONSITE.  Refer to paragraph 10 ("Windows") on sheet G002 for tempering requirements.	08	<div><div>XXXXXXX@XX</div><div><div>WINDOW TYPE:</div><div>PW Fixed window SW Sliding window CW Casement window SH Sash window MW Mixed window XW Custom window</div></div><div><div>WIDTH OF UNIT (in INCHES)</div><div>E.G.: 30 = 30 inches</div></div><div><div>HEIGHT OF UNIT (in INCHES)</div><div>E.G.: 30 = 30 inches</div></div><div><div>HEAD HEIGHT OF UNIT (in INCHES)</div><div>E.G.: 80 = 80 inches</div></div></div>	09	This document is issued under the seal of the State of Texas. The seal of the State of Texas is hereby acknowledged. This document is not approved for construction unless a seal of municipal approval is visible. No seal of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. This is shown on sheet G002. This document applies to all sheets in this set by reference. The seal of the State of Texas (G002) (includes) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.	10	<div><div>SEAL OF ARCHITECT:</div><div> W. H. Hodges 10974 WILLIAM H. HODGES REGISTERED ARCHITECT STATE OF TEXAS 10974</div></div> <div><div>CITY OF AUSTIN MUNICIPAL APPROVAL</div><div> CITY OF AUSTIN MUNICIPAL APPROVAL</div></div>	11	ISSUE DATE 02 Nov 2017.	12	GRAPHIC SCALE (in feet) 0 1 2 4 8	13	ISSUE DATE 02 Nov 2017.	14	SHEET TYPE Window Schedules.	15	ISSUE DATE 02 Nov 2017.	16	SHEET TYPE Window Schedules.	17	ISSUE DATE 02 Nov 2017.	18	SHEET TYPE Window Schedules.	19	ISSUE DATE 02 Nov 2017.	20	SHEET TYPE Window Schedules.	21	ISSUE DATE 02 Nov 2017.	22	SHEET TYPE Window Schedules.	23	ISSUE DATE 02 Nov 2017.	24	SHEET TYPE Window Schedules.	25	ISSUE DATE 02 Nov 2017.	26	SHEET TYPE Window Schedules.	27	ISSUE DATE 02 Nov 2017.	28	SHEET TYPE Window Schedules.	29	ISSUE DATE 02 Nov 2017.	30	SHEET TYPE Window Schedules.	31	ISSUE DATE 02 Nov 2017.	32	SHEET TYPE Window Schedules.	33	ISSUE DATE 02 Nov 2017.	34	SHEET TYPE Window Schedules.	35	ISSUE DATE 02 Nov 2017.	36	SHEET TYPE Window Schedules.	37	ISSUE DATE 02 Nov 2017.	38	SHEET TYPE Window Schedules.	39	ISSUE DATE 02 Nov 2017.	40	SHEET TYPE Window Schedules.	41	ISSUE DATE 02 Nov 2017.	42	SHEET TYPE Window Schedules.	43	ISSUE DATE 02 Nov 2017.	44	SHEET TYPE Window Schedules.	45	ISSUE DATE 02 Nov 2017.	46	SHEET TYPE Window Schedules.	47	ISSUE DATE 02 Nov 2017.	48	SHEET TYPE Window Schedules.	49	ISSUE DATE 02 Nov 2017.	50	SHEET TYPE Window Schedules.	51	ISSUE DATE 02 Nov 2017.	52	SHEET TYPE Window Schedules.	53	ISSUE DATE 02 Nov 2017.	54	SHEET TYPE Window Schedules.	55	ISSUE DATE 02 Nov 2017.	56	SHEET TYPE Window Schedules.	57	ISSUE DATE 02 Nov 2017.	58	SHEET TYPE Window Schedules.	59	ISSUE DATE 02 Nov 2017.	60	SHEET TYPE Window Schedules.	61	ISSUE DATE 02 Nov 2017.	62	SHEET TYPE Window Schedules.	63	ISSUE DATE 02 Nov 2017.	64	SHEET TYPE Window Schedules.	65	ISSUE DATE 02 Nov 2017.	66	SHEET TYPE Window Schedules.	67	ISSUE DATE 02 Nov 2017.	68	SHEET TYPE Window Schedules.	69	ISSUE DATE 02 Nov 2017.	70	SHEET TYPE Window Schedules.	71	ISSUE DATE 02 Nov 2017.	72	SHEET TYPE Window Schedules.	73	ISSUE DATE 02 Nov 2017.	74	SHEET TYPE Window Schedules.	75	ISSUE DATE 02 Nov 2017.	76	SHEET TYPE Window Schedules.	77	ISSUE DATE 02 Nov 2017.	78	SHEET TYPE Window Schedules.	79	ISSUE DATE 02 Nov 2017.	80	SHEET TYPE Window Schedules.	81	ISSUE DATE 02 Nov 2017.	82	SHEET TYPE Window Schedules.	83	ISSUE DATE 02 Nov 2017.	84	SHEET TYPE Window Schedules.	85	ISSUE DATE 02 Nov 2017.	86	SHEET TYPE Window Schedules.	87	ISSUE DATE 02 Nov 2017.	88	SHEET TYPE Window Schedules.	89	ISSUE DATE 02 Nov 2017.	90	SHEET TYPE Window Schedules.	91	ISSUE DATE 02 Nov 2017.	92	SHEET TYPE Window Schedules.	93	ISSUE DATE 02 Nov 2017.	94	SHEET TYPE Window Schedules.	95	ISSUE DATE 02 Nov 2017.	96	SHEET TYPE Window Schedules.	97	ISSUE DATE 02 Nov 2017.	98	SHEET TYPE Window Schedules.	99	ISSUE DATE 02 Nov 2017.	100	SHEET TYPE Window Schedules.	101	ISSUE DATE 02 Nov 2017.	102	SHEET TYPE Window Schedules.	103	ISSUE DATE 02 Nov 2017.	104	SHEET TYPE Window Schedules.	105	ISSUE DATE 02 Nov 2017.	106	SHEET TYPE Window Schedules.	107	ISSUE DATE 02 Nov 2017.	108	SHEET TYPE Window Schedules.	109	ISSUE DATE 02 Nov 2017.	110	SHEET TYPE Window Schedules.	111	ISSUE DATE 02 Nov 2017.	112	SHEET TYPE Window Schedules.	113	ISSUE DATE 02 Nov 2017.	114	SHEET TYPE Window Schedules.	115	ISSUE DATE 02 Nov 2017.	116	SHEET TYPE Window Schedules.	117	ISSUE DATE 02 Nov 2017.	118	SHEET TYPE Window Schedules.	119	ISSUE DATE 02 Nov 2017.	120	SHEET TYPE Window Schedules.	121	ISSUE DATE 02 Nov 2017.	122	SHEET TYPE Window Schedules.	123	ISSUE DATE 02 Nov 2017.	124	SHEET TYPE Window Schedules.	125	ISSUE DATE 02 Nov 2017.	126	SHEET TYPE Window Schedules.	127	ISSUE DATE 02 Nov 2017.	128	SHEET TYPE Window Schedules.	129	ISSUE DATE 02 Nov 2017.	130	SHEET TYPE Window Schedules.	131	ISSUE DATE 02 Nov 2017.	132	SHEET TYPE Window Schedules.	133	ISSUE DATE 02 Nov 2017.	134	SHEET TYPE Window Schedules.	135	ISSUE DATE 02 Nov 2017.	136	SHEET TYPE Window Schedules.	137	ISSUE DATE 02 Nov 2017.	138	SHEET TYPE Window Schedules.	139	ISSUE DATE 02 Nov 2017.	140	SHEET TYPE Window Schedules.	141	ISSUE DATE 02 Nov 2017.	142	SHEET TYPE Window Schedules.	143	ISSUE DATE 02 Nov 2017.	144	SHEET TYPE Window Schedules.	145	ISSUE DATE 02 Nov 2017.	146	SHEET TYPE Window Schedules.	147	ISSUE DATE 02 Nov 2017.	148	SHEET TYPE Window Schedules.	149	ISSUE DATE 02 Nov 2017.	150	SHEET TYPE Window Schedules.	151	ISSUE DATE 02 Nov 2017.	152	SHEET TYPE Window Schedules.	153	ISSUE DATE 02 Nov 2017.	154	SHEET TYPE Window Schedules.	155	ISSUE DATE 02 Nov 2017.	156	SHEET TYPE Window Schedules.	157	ISSUE DATE 02 Nov 2017.	158	SHEET TYPE Window Schedules.	159	ISSUE DATE 02 Nov 2017.	160	SHEET TYPE Window Schedules.
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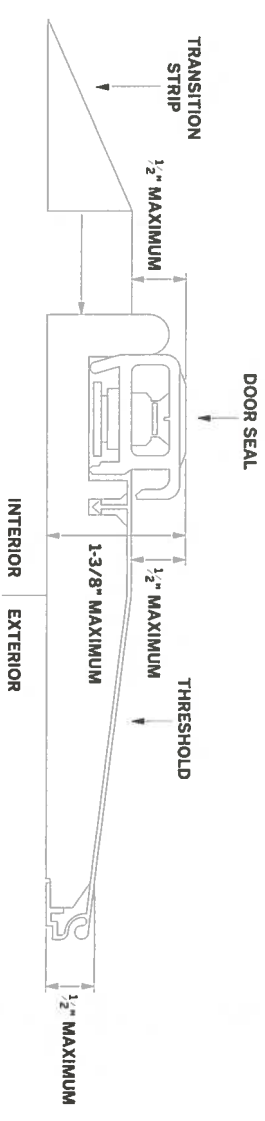


**PROJECT CALCULATION AND APPLICATION SHEET (REFERENCE A000 FOR SITE PLAN)**

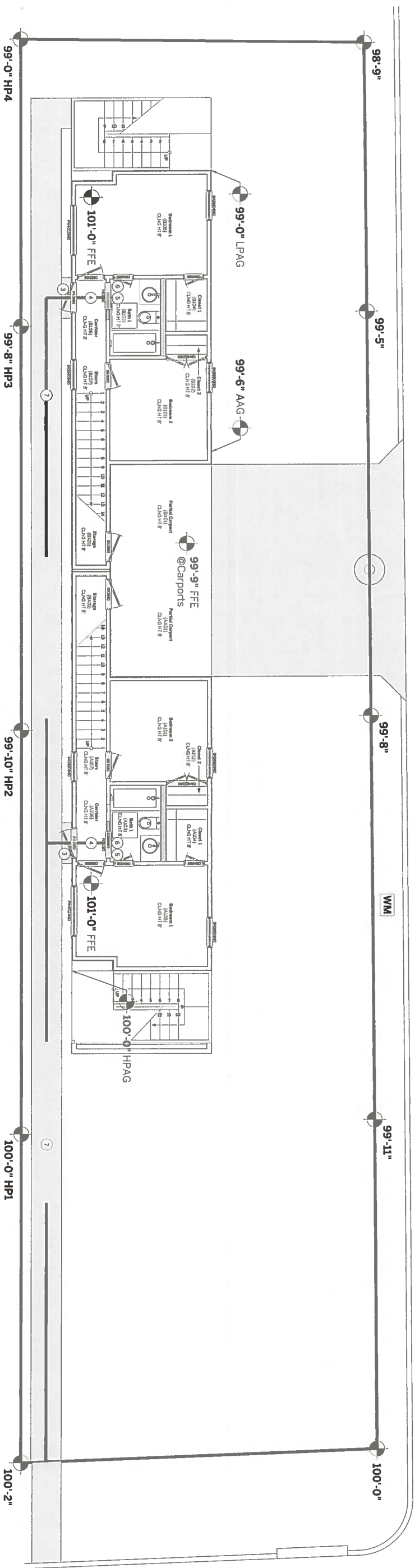
PROPERTY INFORMATION				SITE DEVELOPMENT INFORMATION				ACCESSORY DWELLING UNIT AREA					
Address	1401 E 3rd St 78702	Area Description	Existing SF	Bldg 1	Bldg 2	New or Added SF	Bldg 1	Bldg 2	Total SF	Bldg 1	Bldg 2	ADU allowed?	0
Tax Parcel ID	#0204061201	1 <sup>st</sup> floor conditioned (enclosed) area	0	0	0	878	0	0	878	0	0	ADU proposed?	Yes
Legal Description	W 35.6' of N 138' of W 193.4' of outlet 20, division "O"	2 <sup>nd</sup> floor conditioned (enclosed) area	0	0	0	1097	0	0	1097	0	0	Project ADU area	0
Zoning District	SF-3-NP	3 <sup>rd</sup> floor conditioned (enclosed) area (including attics)	0	0	0	0	0	0	0	0	0	Maximum ADU area	0
Lot Area (SF)	4912	Basements	0	0	0	0	0	0	0	0	0	ADU L2 area	0
Lot Width (FT)	35.6	Covered parking (garage or carport, attached or detached)	0	0	0	210	0	0	210	0	0	Max ADU L2 area	550
Neighborhood Planning Area	East Cesar Chavez	Covered porch (front), patio (back), deck and/or balcony area(s)	0	0	0	196	0	0	196	0	0	Difference	0
Historic District	n/a	Other covered or roofed area(s)	0	0	0	0	0	0	0	0	0	OWNER INFORMATION	
REQUIRED REVIEWS	Yes/No	Uncovered wood decks	0	0	0	0	0	0	0	0	0	Name	Durham Trading Partners XII, LLC
Is project participating in SMART Housing?	No	Total building area	0	0	0	2381	0	0	2381	0	0	Address	902 E Dean Keeton St 78705
Does project have Green Building requirement?	No	Pools	0	0	0	0	0	0	0	0	0	Phone number	512.554.3647
Is site within Airport Overlay Zone?	No	Soas	0	0	0	0	0	0	0	0	0	Email	jeffblatt@gmail.com
Does site have a septic system?	No	BUILDING COVERAGE INFORMATION											
Does structure exceed 3,600 SF total under roof?	No	Area Description	Existing SF	Bldg 1	Bldg 2	New or Added SF	Bldg 1	Bldg 2	Total SF	Bldg 1	Bldg 2	CONTRACTOR INFORMATION	
Is property within 100 feet of 100-year flood plain?	No	1 <sup>st</sup> floor conditioned (enclosed) area	0	0	0	878	0	0	878	0	0	Name	William Hodge AIA
Is there at least one protected tree on this or adjacent lot(s)?	Yes	Covered parking (garage or carport, attached or detached)	0	0	0	210	0	0	210	0	0	Address	1106 Clayton Ln #216E 78723
Is site within Residential Design and Compatibility Standards Ordinance area?	Yes	Covered porch (front), patio (back), deck and/or balcony area(s)	0	0	0	196	0	0	196	0	0	Phone number	512.786.9298
Does site currently have wastewater availability?	Yes	Total building coverage	0	0	0	1284	0	0	1284	0	0	Email	vela@ochona.com
Are there existing water or wastewater infrastructure, appurtenances, or existing water or wastewater easements on site?	No	IMPERVIOUS COVERAGE INFORMATION										DESIGN PROFESSIONAL INFORMATION	
Does site have, or will it have, auxiliary water source (well)?	No	Building coverage	0	0	0	1284	0	0	1284	0	0	Name	William Hodge AIA
Does site require cut or fill in excess of four (4) feet?	No	Driveways	0	0	0	328	0	0	328	0	0	Address	1106 Clayton Ln #216E 78723
Is site within Lake Austin Overlay?	No	Sidewalks	0	0	0	416	0	0	416	0	0	Phone number	512.786.9298
Does site adjacent to paved alley?	Yes	Uncovered patios or decks, concrete	0	0	0	0	0	0	0	0	0	Email	vela@ochona.com
Does site have Board of Adjustment variance?	No	Uncovered patios or decks, wood	0	0	0	0	0	0	0	0	0		
----> Case # (if applicable)	n/a	Uncovered patios or decks, flatwork	0	0	0	18	0	0	18	0	0		
Does site have Residential Design and Compatibility Commission waiver?	No	AC pads and other concrete flatwork	0	0	0	0	0	0	0	0	0		
DESCRIPTION OF WORK		Other (pool copings, retaining walls, etc)	0	0	0	0	0	0	0	0	0		
Existing use	Vacant	Total impervious coverage	0	0	0	2046	0	0	2046	0	0		
Proposed use	Primary house with accessory apartment	IMPERVIOUS COVERAGE : lot percentage											
Project type	New construction	SETBACKS											
Will all or part of existing exterior wall, structure, or roof be removed?	Yes/No	Are any existing structures on this site a non-compliant structure based on a yard setback requirement?	No										
# of existing bedrooms	0	Does any structure (or an element of a structure) extend over or beyond a required yard?	No										
# of new bedrooms	4	Is front-yard setback averaging being utilized on this property?	No										
Total bedrooms upon completion	4	RIGHT-OF-WAY INFORMATION											
Building 1 bedroom count	4	Is a sidewalk required for the proposed construction?	Yes										
Building 2 bedroom count	0	Will a Type I driveway approach be installed, relocated, removed, or repaired as part of this project?	Yes										
# of existing bathrooms	0	Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property?	Yes										
# of new bathrooms	4	GROSS FLOOR AREA (SUBCHAPTER F) INFORMATION											
Total bathrooms count	4	Area Description	Existing SF	New/ Added SF	Proposed Exemption (check article utilized)	Applied Exemption SF	Total Project SF	Maximum entitlement	Difference				
# of bathrooms upon completion	4	1 <sup>st</sup> floor conditioned (enclosed) area	0	878			878						
Building 1 bathroom count	0	2 <sup>nd</sup> floor conditioned (enclosed) area	0	1097			1097						
Building 2 bathroom count	0	3rd floor conditioned (enclosed) area (including non-exempt attics)	0	0			0						
Project Description	New primary house with ACCESSORY APARTMENT per 25-2-901 (NOT SECONDARY APARTMENT, NOT DUPLEX, NOT ADU)	Area w/ ceilings over 15'	0	0			0						
TRADE PERMITS REQUIRED	Electric trade permit required?	1 <sup>st</sup> floor porches	0	188	Taken	Full porch	188	0	0				
Plumbing trade permit required?	Yes	Basements	0	8	Taken	Max 200 SF exemption	8	0	0				
Mechanical (HVAC) trade permit required?	Yes	Attics	0	0			0	0	0				
Concrete (R.O.W.) trade permit required?	Yes	Attached garages (less than 10' from primary structure)	0	0	Not taken	Max 200 SF exemption	0	0	0				
JOB VALUATION	Cost of primary structure	Detached garages (more than 10' from primary structure)	0	0	Not taken	Max 450 SF exemption	0	0	0				
	Permits required	Attached carports (less than 10' from primary structure)	0	0	Not taken	Max 450 SF exemption	0	0	0				
	Electrical trade permit required?	Detached carports (more than 10' from primary structure)	0	0	Not taken	Max 200 SF exemption	200	10	0				
	Plumbing trade permit required?	Detached carports (more than 10' from primary structure)	0	0	Not taken	Max 450 SF exemption	0	0	0				
	Cost of accessory structure	Accessory building(s) (detached)	0	0			0	0	0				
	Permits required	Totals	0	2381			396	1985	20				
	Electrical trade permit required?	Total gross floor area						1985	0.4124%				
	Plumbing trade permit required?	Impervious coverage : lot percentage						40.4124%	40.000000%				
	Cost of accessory structure	Gross floor area (FAR)						40.4124					
	Permits required	Is a sidewalk articulation required for this project?							No				
	Electrical trade permit required?	Does any portion of the structure extend beyond a setback plane / exemption exhibit (AKA "tent")?							No				
	Plumbing trade permit required?												
	Cost of building work												
	Cost of electrical work												
	Cost of plumbing work												
	Cost of mechanical work												



NAVASOTA STREET



**THRESHOLD DETAIL**  
N.T.S  
REFER TO CODE INTERPRETATION  
C12013-0002 FOR ADDITIONAL INFORMATION.



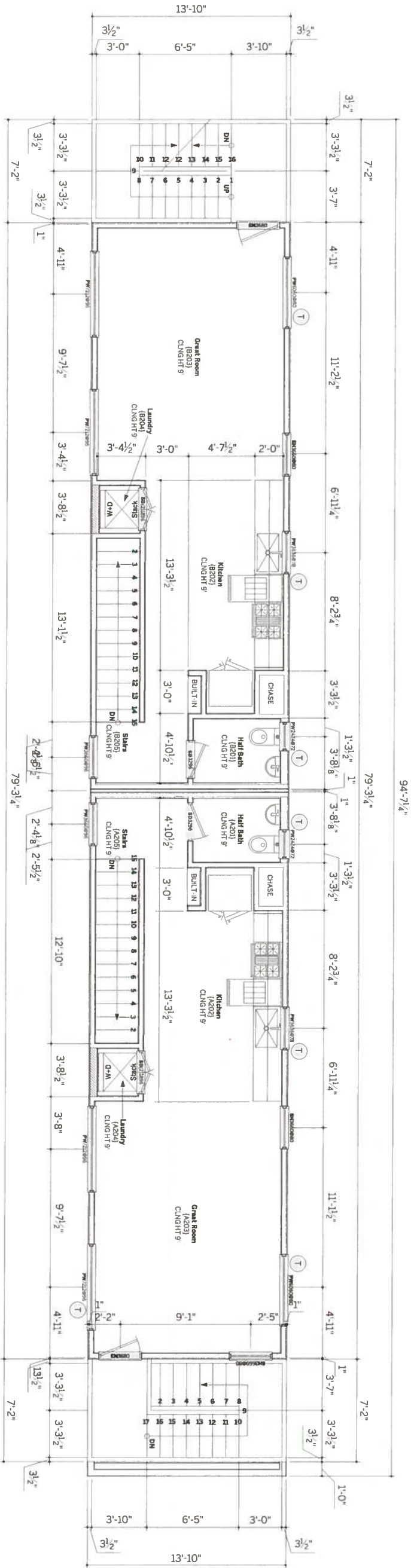
# 1 Visability Plan

Scale 3/32" = 1'-0" @ 11x17  
Scale 3/16" = 1'-0" @ 24x36

[illegible]






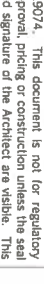












1 Floor Plan, Level 02

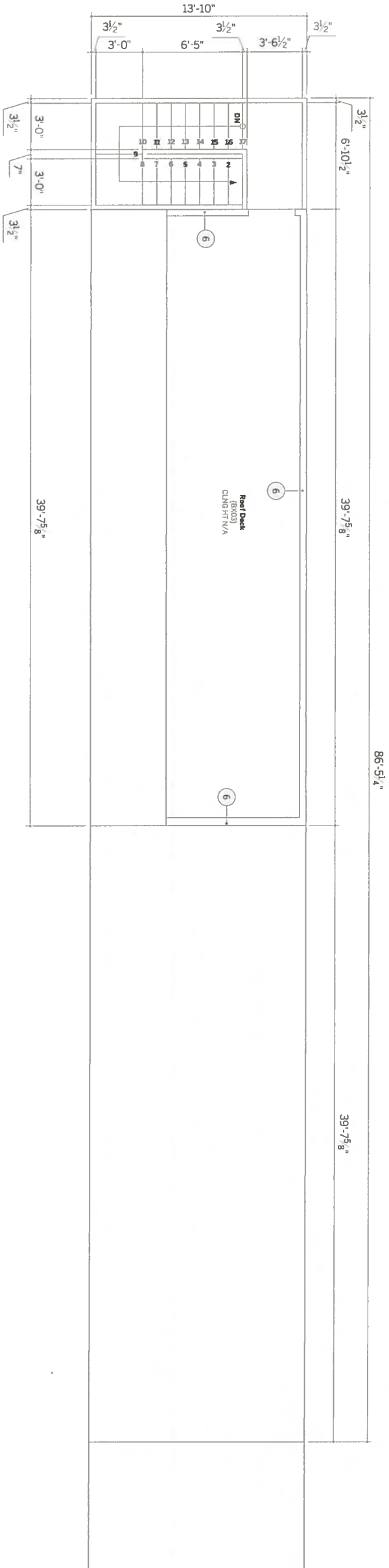
Scale 1/8" = 1'-0" @ 11x17



Scale 1/4" = 1'-0" @ 24x36


KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).		VISITABILITY NOTES (REPEATED FROM SHEET G002).		FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT).		DISCLAIMERS.		SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.	
01	New step-free entry into residence from public way. Maximum vertical rise 1/2".	04	New accessible door into visitable bathroom on Level 01. Minimum clear width 32".	1.	Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.	   	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All work shall be in accordance with the Texas Building Code, 2015 Edition, and all applicable codes and standards. The information in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.		02 Nov 2017.		
02	New step-free entry into residence from garage or carport. Maximum vertical rise 1/2".	05	New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent.	2.	Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 3/4" above finish floor level. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.						
03	New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY.			06	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Railing or partial-height wall at interior. Minimum height 36" above finish floor.						
				07	Ceiling break. Line of 5' ceiling height. Line of 7' ceiling height. Line of 15' ceiling height.						
				08	Tempered glass.						
				09							
				10							
				11							
T				6.	A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.						

REVIEWED FOR CODE COMPLIANCE

City of Austin



KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).			VISIBILITY NOTES (REPEATED FROM SHEET G002).		FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT).		DISCLAIMERS.		SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.	
01	New step-free entry into residence from public way. Maximum vertical rise 1/2".	04	New accessible door into visitable bathroom on Level 01. Minimum clear width 32".	06	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Railing or partial-height wall at interior. Minimum height 36" above finish floor.	1.	Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.	2x4 wood framing				
02	New step-free entry into residence from garage or carport. Maximum vertical rise 1/2".	05	New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent.	07	Line of 5' ceiling height.	2.	Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.	2x6 wood framing				
03	New accessible route through and to Level 01 public spaces. Minimum clear width 32".			08	Ceiling break.	3.	Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.	3.5" depth cold-formed metal framing				
				09	Line of 7' ceiling height.	4.	At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.	6" depth cold-formed metal framing				
				10	Line of 15' ceiling height.	5.	A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.	12" depth insulated concrete-form framing				
				11	Tempered glass.	6.			ISSUE DATE <b>02 Nov 2017.</b>		City of Austin REVIEWED FOR CODE COMPLIANCE	
REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY.												



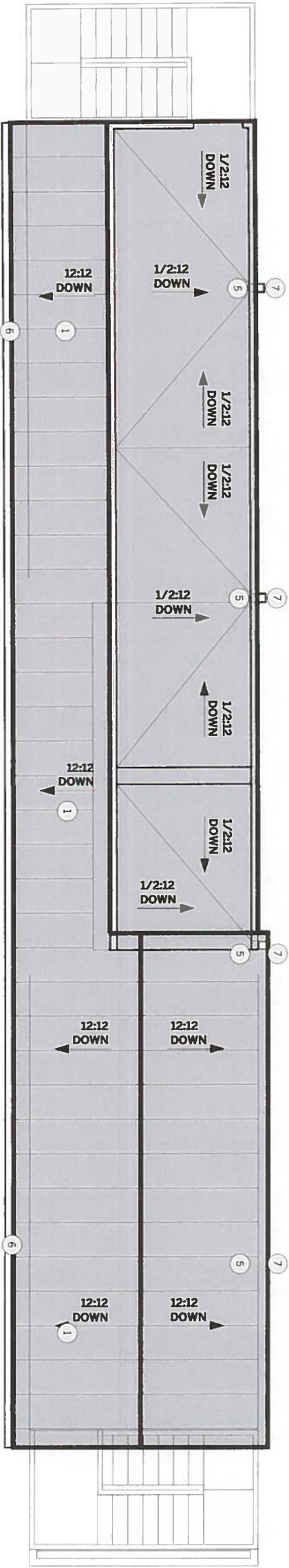
SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.

SHEET TYPE Floor Plans, Level 03.

A103





KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT).				DISCLAIMERS.				SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.			
01	New standing-seam metal roof.							<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information necessary to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				<div><div><div>02 Nov 2017</div><div>ISSUE DATE</div></div><div><div>0 1 2 4 8</div><div>GRAPHIC SCALE (in feet)</div></div></div>		<div><div>City of Austin</div><div>REVIEWED FOR CODE COMPLIANCE</div></div>			
02	New 30-year composition shingle roof.																
03	New walkable-PVC roof deck.																
04	New metal coping.																
05	New metal scupper.																
06	New metal gutter.																
07	New metal downspout.																

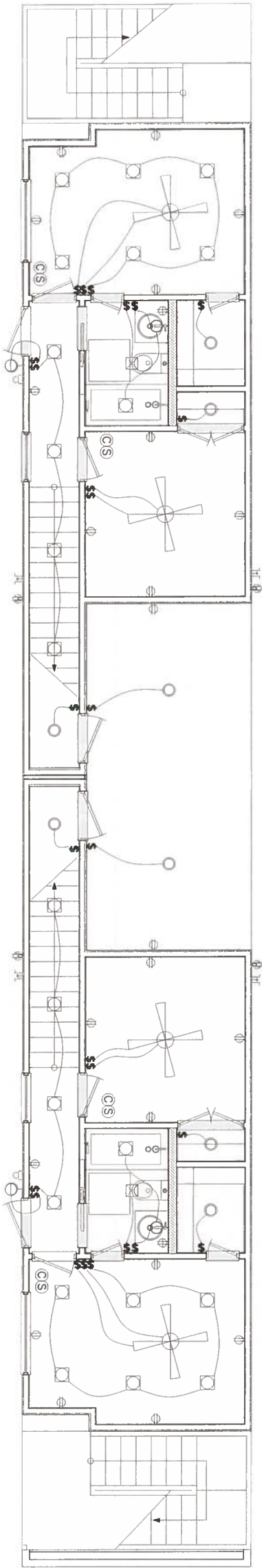
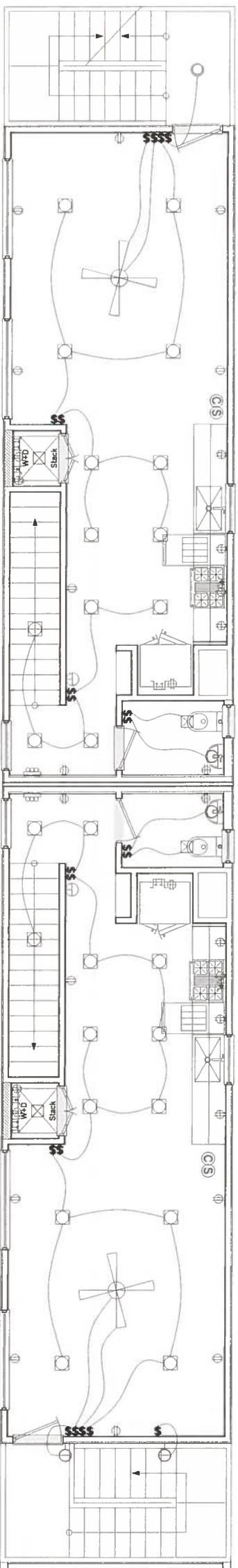
























FIGURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).								
							<p>DISCLAIMERS.</p> <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No seal of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets incorporated by reference in this set by one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	
								
					<p>SEAL OF ARCHITECT.</p> <p>SEAL OF MUNICIPAL APPROVAL.</p>			
		<p>ISSUE DATE 02 Nov 2017.</p> <p>GRAPHIC SCALE (in feet)</p> 						
								
<p>City of Austin REVIEWED FOR CODE COMPLIANCE</p>				<p><b>OCHONA</b> Development &amp; Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</p> <p>ISSUE DATE 02 Nov 2017. SHEET TYPE MEP Plans, Level 01.</p> <p><b>A105</b></p>				



FIXTURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).									
	Ceiling fan w/o light kit		Pendant light		Wall switch		Smoke detector		Hot/cold water tap
	Ceiling fan w/ light kit		Ceiling-mounted light		Duplex outlet		CO2 detector		Hose bibb
	Exhaust fan		Recessed can light		GFCI duplex outlet		Thermostat		Door bell
	Vanity light		Waterproof GFCI duplex outlet		AC mini split		Door bell chimes		
	Exterior wall-mounted light		220V outlet						
	Gas tap								
<p><b>DISCLAIMERS:</b></p> <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #15074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in GC01 through GC07 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set of documents is complete, and all sheets listed therein, this set is incomplete and UNLAWFUL FOR CONSTRUCTION.</p>									
<p><b>SEAL OF ARCHITECT.</b></p> <p>0 1 2 4 8 GRAPHIC SCALE (in feet)</p> <p>ISSUE DATE: 02 Nov 2017.</p> <p>REGISTERED ARCHITECT WILLIAM LAWRENCE HODGE 10074 STATE OF TEXAS</p> <p>Reviewed for Code Compliance</p> <p>CITY OF AUSTIN</p> <p>SEAL OF MUNICIPAL APPROVAL.</p>									

**1 MEP Plan, Level 02**  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

Scale 1/4" = 1'-0" @ 24x36

Scale 1/4" = 1'-0" @ 24x36

SEAL OF ARCHITECT

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SEAL OF MUNICIPAL APPROVAL

**OCHONA**  
Development + Architecture

SINGLE-FAMILY RESIDENCE W/

## ACCESSORY APT AT

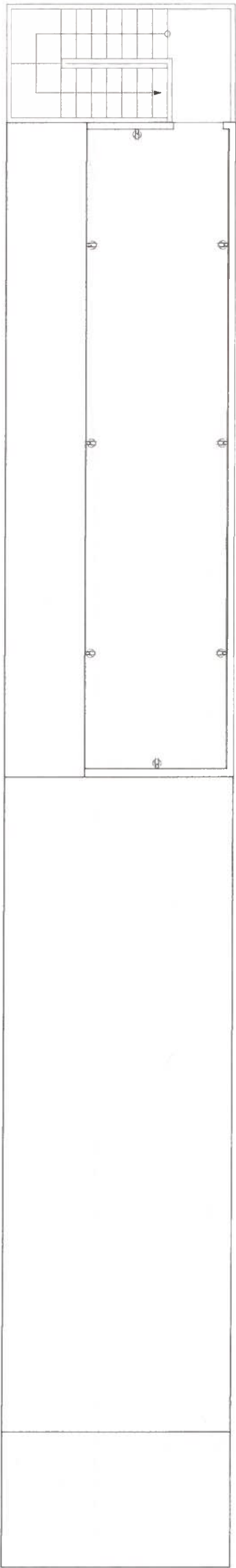
AUSTIN, TEXAS 78702

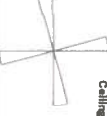





















AUSTIN, TEXAS 78702

02 Nov 20

SHEET TYPE **MEP Plans, Level C**

A10e



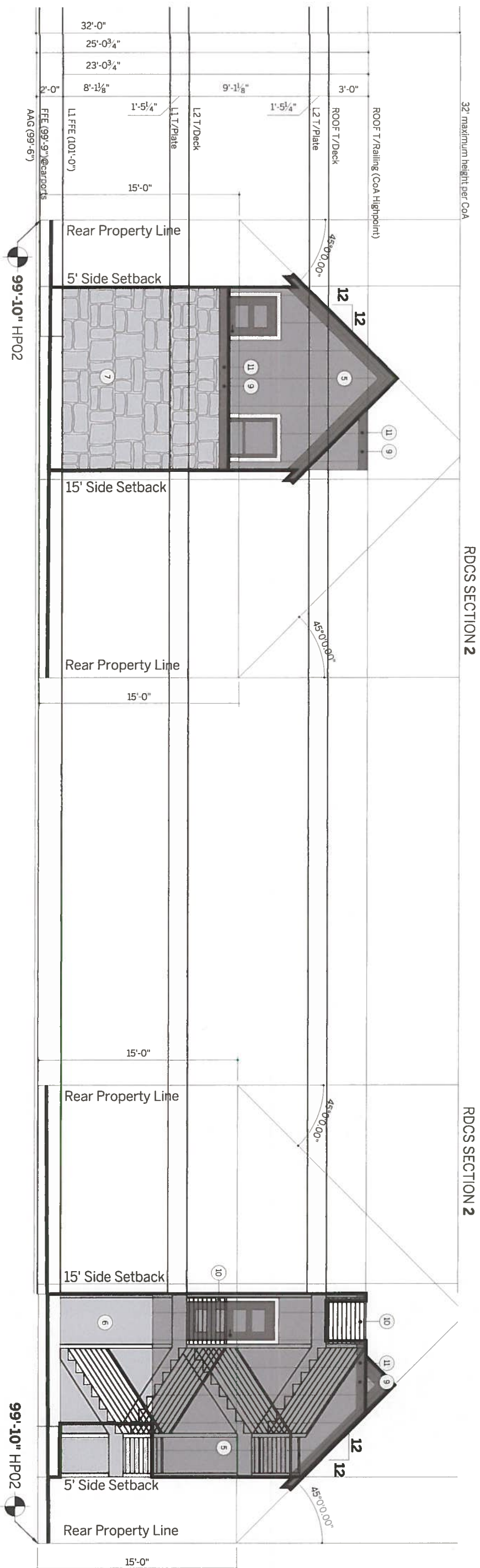
FIXTURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).									
	Ceiling fan w/ light kit		Pendant light		Wall switch		Smoke detector		Hot/cold water tap
	Ceiling mounted light		CO2 detector		Hose bibb		Door bell chime		
	Recessed can light		Thermostat		Gas tap				
	Vanity light		AC mini split						
	Exterior wall-mounted light								
	Exhaust fan								
	Duplex outlet								
	GFCI duplex outlet								
	Waterproof GFCI duplex outlet								
	220V outlet								
DISCLAIMERS.									
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SEAL OF ARCHITECT.			SEAL OF MUNICIPAL APPROVAL.			City of Austin REVIEWED FOR CODE COMPLIANCE			
						OCHONA Development + Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702			
ISSUE DATE 02 Nov 2017.			ISSUE DATE 02 Nov 2017.			SHEET TYPE MEP Plans, Level 03.			
0 1 2 4 8 GRAPHIC SCALE (in feet)			A107						



LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE E, 4, b, (i): 34.1

A structure may not extend beyond a setback plane...except for gables or a steepled roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



### 1 Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

**2 Elevation, Bldg 1, Rear**  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)

01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.		
03	New horizontally-oriented cement-board siding.	08	New brick masonry veneer, common bond.		
04	Exposure 6". New horizontally-oriented cement-board siding.	09	New metal coping. Exposure 6".		
05	Exposure 12". New vertically-oriented cement-board paneling.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.		
	Exposure 24" w/ 1x2 battens.				

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# OCHONA

SINGLE-FAMILY RESIDENCE W/  
ACCESSORY APT AT

1401 E 3RD ST  
AUSTIN, TEXAS 78702

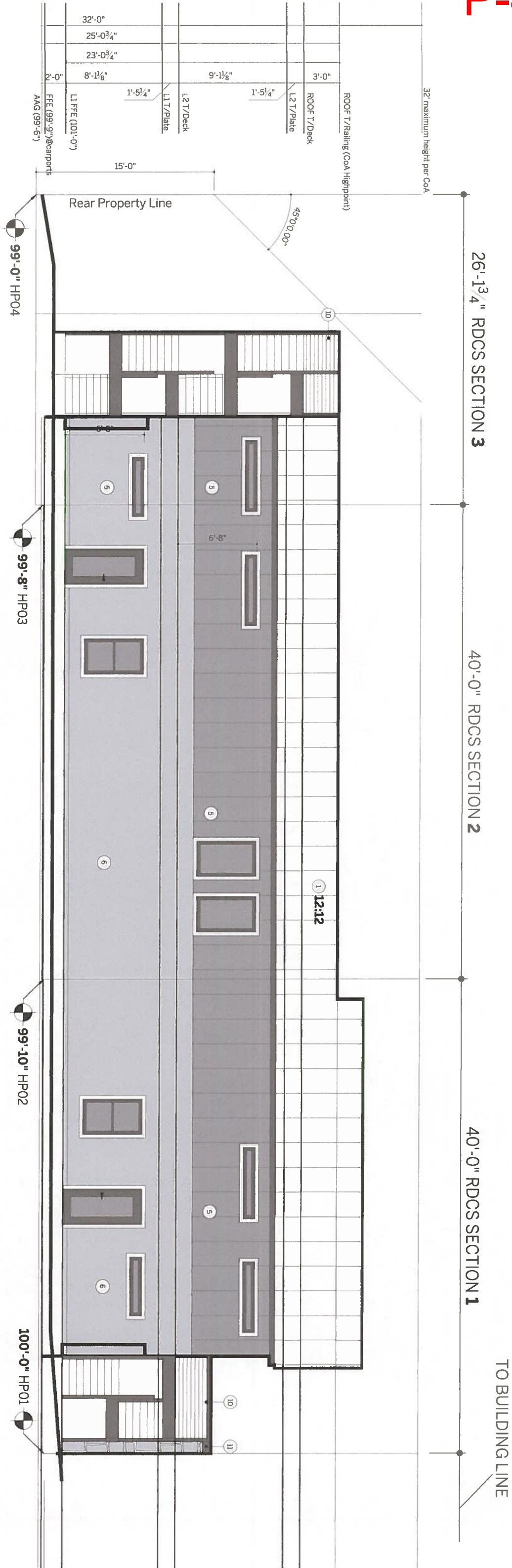
ISSUE DATE 02 Nov 2011  
SHEET TYPE Elevations, Bldg

A201

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i):  
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1  
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE, ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal latn. 3rd coat	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.		
03	New horizontally-oriented cement-board siding.	08	New brick masonry veneer, common bond.		
04	Exposure 6". New horizontally-oriented cement-board siding.	09	New metal coping. Exposure 6".		
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.		

DISCLAIMERS.

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SEAL OF ARCHITECT.

SEAL OF MUNICIPAL APPROVAL.

1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17

Scale 1/4" = 1'-0" @ 24x36

0 1 2 4 8

GRAPHIC SCALE (in feet)

ISSUE DATE

02 Nov 2017.

City of Austin

REVIEWED FOR CODE COMPLIANCE

OCHONA

Development + Architecture

SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702

ISSUE DATE

02 Nov 2017.

SHEET TYPE

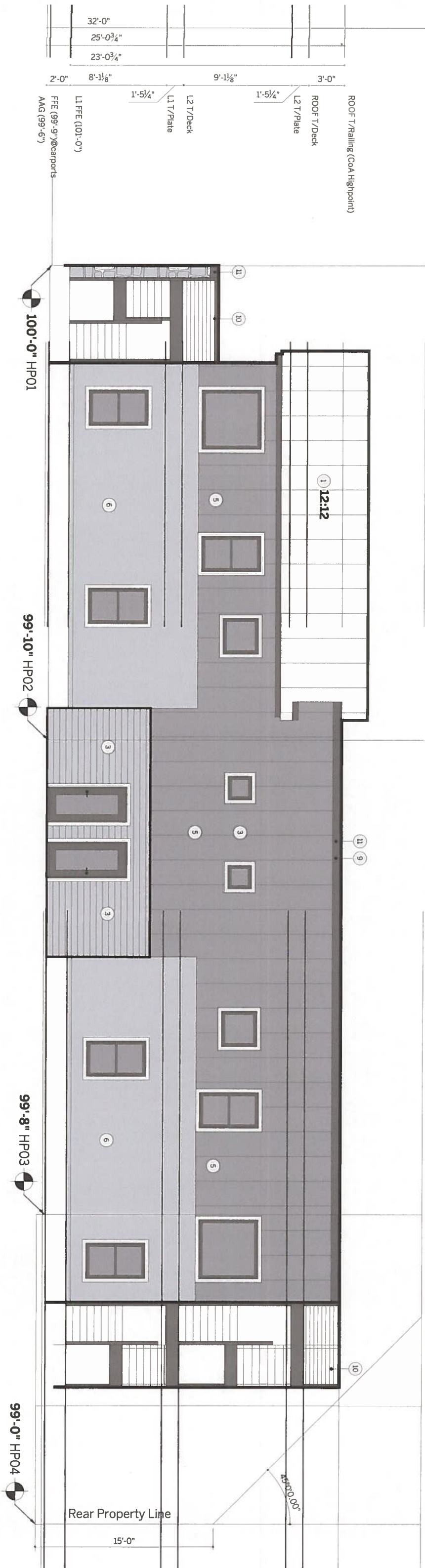
Elevations, Bldg 1

A203



26'-1<sup>3</sup>/<sub>4</sub>" RDCS SECTION 3

32' maximum height per CoA



**1 Elevation, Bldg 1, Right**

Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02	New 30-year composition shingle roof.	07	New 3.5" thick store masonry veneer, random-ashlar bond.		
03	New horizontally-oriented cement-board siding.	08	New brick masonry veneer.		
	Exposure 6"		common bond.		
04	New horizontally-oriented cement-board siding.	09	New metal coping. Exposure 6".		
	Exposure 12"	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.		
05	New vertically-oriented cement-board paneling.				
	Exposure 24" w/ 1x2 battens.				

## DISCLAIMERS

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ISSUE DATE 02 Nov 2017.

0 1 2 4 8  
GRAPHIC SCALE (in feet)

**OCHONA**  
*Development + Architecture*

SINGLE-FAMILY RESIDENCE W/  
ACCESSORY APT AT  
1401 E 3RD ST  
AUSTIN, TEXAS 78702

ISSUE DATE: 02 Nov 2017

SHEET TYPE Elevations, Bldg 1

**A204**

DO NOT CONSTRUCT IN A HALF CRITICAL ROOT ZONE FOR ANY PROTECTED TREE. IF PROPOSED FOUNDATION LIES WITHIN A HALF CRITICAL ROOT ZONE IN THE FIELD, CONTACT ENGINEER FOR FOUNDATION DESIGN REVISIONS

TREE PROTECTION NOTES

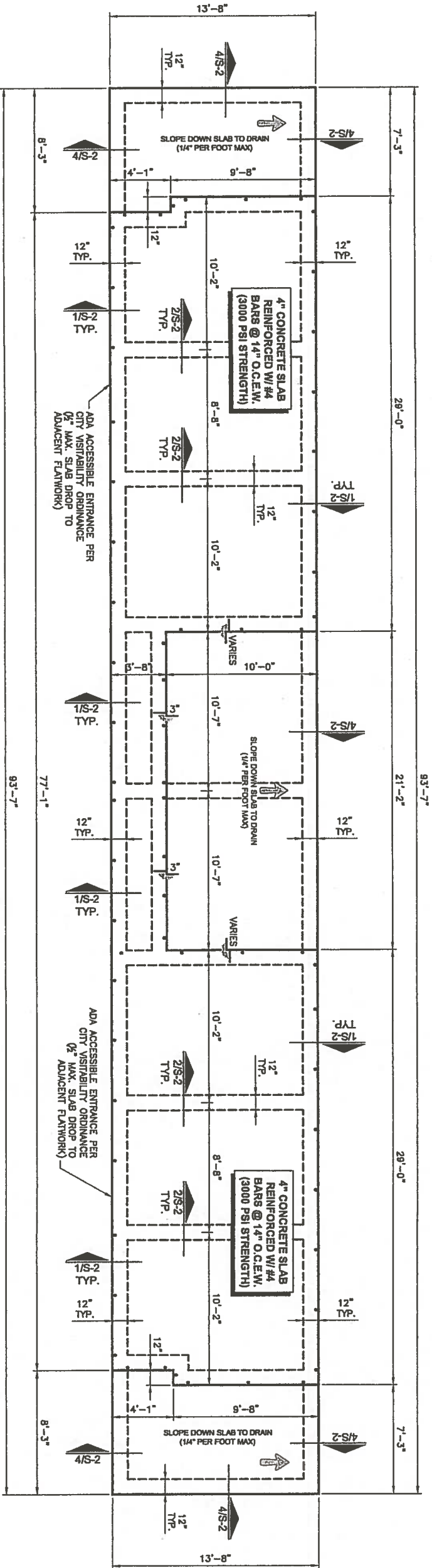
1. All trees close to structure shall be protected with fencing.
2. Tree protection fences shall be erected according to City of Austin Standards, including types of fencing and signage.
3. Tree protection fences shall be installed prior to the commencement of any site preparation work.
4. Pruning to provide clearance for structures, vehicular traffic, and construction equipment shall take place before construction begins. All pruning must be done according to City of Austin standards and as outlined in literature provided by the International Society of Arboriculture (ISA pruning technique).
5. All tree cuts, intentional or unintentional, shall be painted immediately (within 10 minutes). Tree paint must be kept on site at all times.

GENERAL PROJECT NOTES

1. The design of this project is the property of Genesis 1 Engineering Co. Any changes without prior written permission are not permitted.
2. Any field changes or conflicts shall be reported to the design engineer immediately at (512) 899-2246.
3. All required permits by City of Austin, TX shall be secured prior to start of construction.
4. All contractors and subcontractors shall have at least five years experience in the construction industry.
5. Job site shall be cleaned daily of all excess debris and spillo.
6. The site and building shall be designed in accordance with the 2015 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.

Approved Plans Correction Notes:

1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.



FOUNDATION PLAN  
FULL SIZE: 1/8" = 1'-0" (24x36)  
HALF SIZE: 1/16" = 1'-0" (11x17)

LEGEND

- SLAB DROP, SEE HEIGHT
- L-60 ANCHOR BOLT

REFER TO S-2 FOR FOUNDATION NOTES

CONTENTS

- S-1..... FOUNDATION PLAN
- S-2..... FOUNDATION DETAILS
- S-3..... STRUCTURAL FRAMING PLAN
- S-4..... LEVEL 1 WALL BRACING PLAN
- S-5..... LEVEL 2 WALL BRACING PLAN
- S-6..... FRAMING DETAILS I
- S-7..... FRAMING DETAILS II

PLAN NOTES:

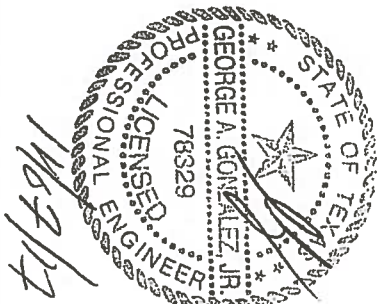
1. Concrete contractor shall verify all foundation dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.
2. Dimensions for interior beams are taken from edge of foundation to center of interior beam.
3. Do NOT scale off dimensions on plans.

SLAB PENETRATIONS:

Refer to architectural drawings for all locations, sizes and typical requirements.

FINISHED FLOOR ELEVATION:

Refer to Architectural Drawings for finished floor elevations.



Genesis 1 Engineering Company  
Commercial • Residential  
6104 South First St., Ste.105  
Austin, TX 78745  
Office: 512-899-2246  
Fax: 512-899-2203  
T.B.P.E. Registered Firm #F-2565

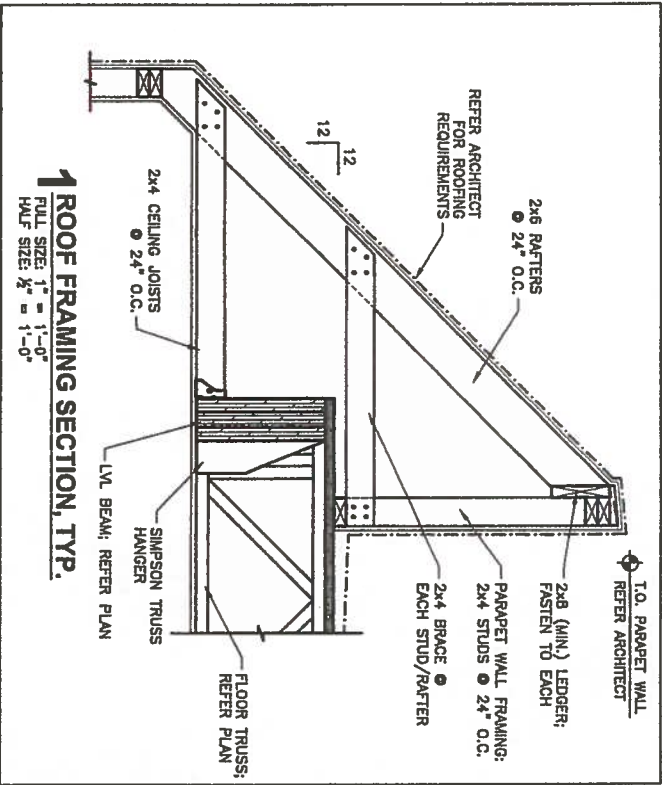
PROJECT ADDRESS  
1401 E. 3RD STREET  
AUSTIN, TEXAS  
CLIENT NAME  
ARCHITECT WILLIAM HODGE

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECT FOR ANY INCONSISTENCIES IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.  
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.







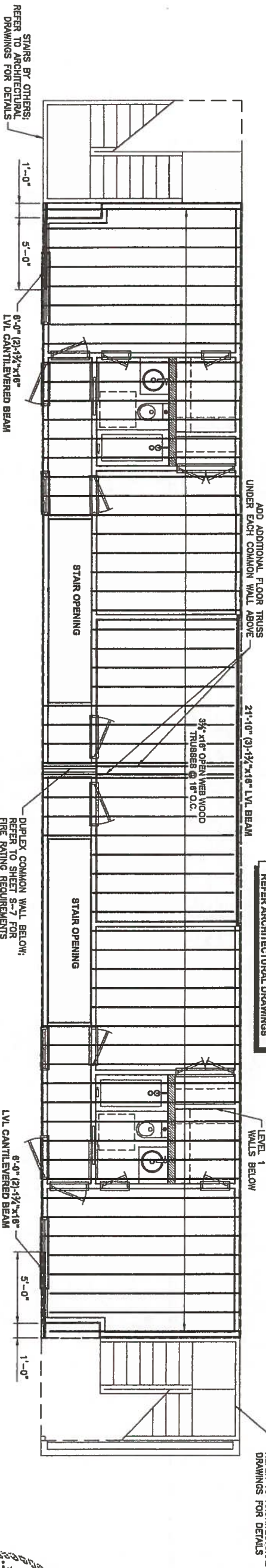


- NOTES:
1. Framing contractor shall verify all dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.
  2. Do NOT scale off dimensions on plans.
  3. Framing members on this plan are shown for conjectural purposes based on the typical spacing. Do NOT base quantity take offs based on the number of members shown.
  4. Construct ceiling framing spanning the short direction where possible. Reference "Ceiling Joist Maximum Span Table" on sheet S-6 for appropriate joist sizes.
  5. Refer to "Header Schedule" on sheet S-6 for typical header size requirements

LEGEND

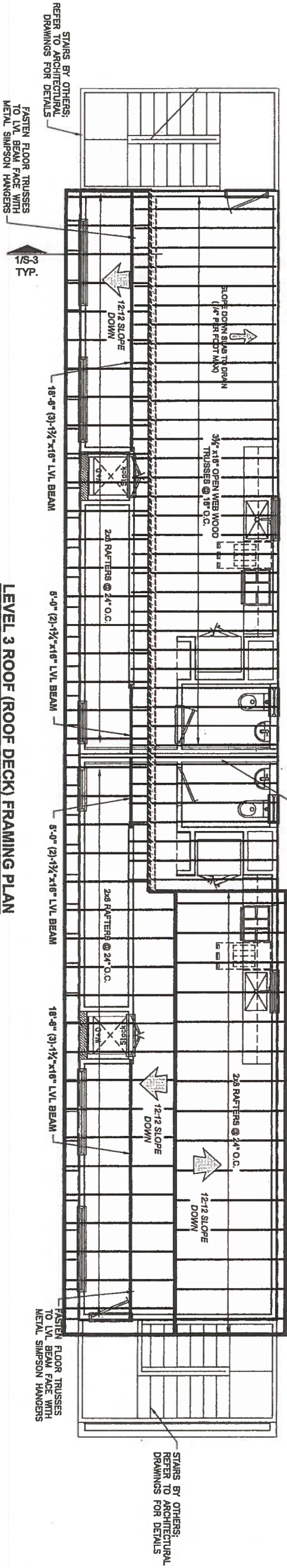
36" TALL PARAPET WALL ABOVE  
ROOF DECK FINISHED FLOOR

REFER TO S-6 FOR  
FRAMING NOTES

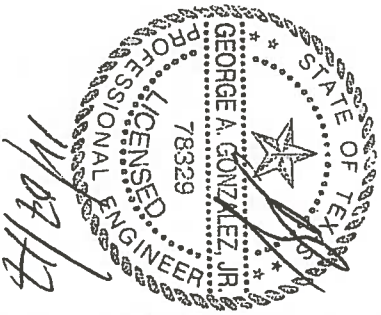


SLOPE FINISH FLOOR (0.5:12 PITCH)  
ABOVE PLYWOOD SHEATHING TO  
PARAPET WALL SCUPPERS;  
REFER ARCHITECTURAL DRAWINGS  
FOR SCUPPER LOCATIONS

REFER ARCHITECTURAL DRAWINGS  
FOR ROOF DECK WATER-ROOFING  
AND FLASHING REQUIREMENTS



- Approved Plans Correction Notes:
1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
  2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.



City of Austin  
REVIEWED FOR CODE COMPLIANCE

<p>3 of 7</p> <p><b>S-3</b></p>	<p>PROJECT NAME: <b>STRUCTURAL FRAMING PLAN</b></p> <p>PROJECT NAME: <b>SINGLE-FAMILY DUPLEX</b></p>	<p>Genesis 1 Engineering Company Commercial • Residential <b>G1E</b> 6104 South First St., Ste.105 Austin, TX 78745 Office: 512-899-2246 Fax: 512-899-2203 T.B.P.E. Registered Firm #F-2565</p>	<p>PROJECT ADDRESS: <b>1401 E. 3RD STREET AUSTIN, TEXAS</b></p> <p>CLIENT NAME: <b>ARCHITECT WILLIAM HODGE</b></p>	<p>1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.</p> <p>2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.</p>
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TABLE 5 - TWB (T-TYPE) WALL BRACING

MODEL NO.	BRACE LENGTH (1) (FEET-INCHES)	WALL HEIGHT (FEET)	REQUIRED INSTALLATION ANGLE OF THE TWB (T-TYPE) BRACE FROM THE HORIZONTAL (DEGREE)	FASTENERS (QUANTITY-TYPE)	TOP AND BOTTOM PLATES	END AND STUD
TWB10	9'-6"	8	55°		2-18d	1-8d
TWB12	11'-4"	8	45°		2-18d	1-8d
TWB14	14'-2"	10	45°		2-18d	1-8d

FOR S1: 1 INCH = 25.4MM, 1LBS = 4.45N

<sup>1</sup>THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATIVE TO BRACED WALL CONSTRUCTION METHODS DESCRIBED IN THE CODE.

<sup>2</sup>THE ALLOWABLE IN-PLANE RACKING SHEAR LOAD OF WALL BRACED WITH THE TWB12 OR TWB14 STRAP INSTALLED IN ACCORDANCE WITH THIS TABLE IS 180LBS. THE TWB STRAPS RESIST TENSION AND COMPRESSION LOADS, AND MUST NOT BE COMBINED WITH OTHER SHEAR RESISTING ELEMENTS OR COMPONENTS. THE ALLOWABLE RACKING SHEAR LOAD MUST NOT BE INCREASED FOR SHORT TERM LOADING, SUMMING SHEAR CAPACITIES OF THE TWB WALL BRACE WITH DISSIMILAR MATERIALS APPLIED TO EITHER SIDE OF THE SAME WALL IS NOT ALLOWED.

<sup>3</sup>THE WALL STUDS MUST BE SPACED 16 INCHES ON CENTER, MAXIMUM.

<sup>4</sup>THE TWB WALL BRACING STRAP MUST BE INSTALLED AT THE INSTALLATION ANGLE SPECIFIED IN THE TABLE.

(OPTIONAL WHERE FEASIBLE)

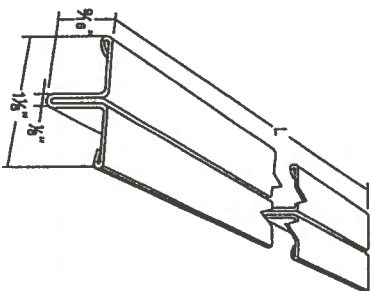


FIGURE 5A-TWB (T-TYPE) BRACE DIMENSIONS

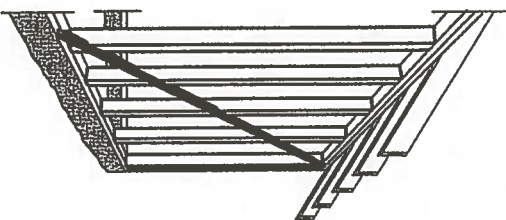


FIGURE 5B-TYPICAL TWB (T-TYPE) EXTERIOR WALL BRACE INSTALLATION (MAXIMUM 3/8"-INCH DEEP SAW KEYS IN STUDS)

OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)

- Approved Plans Correction Notes:
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  2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

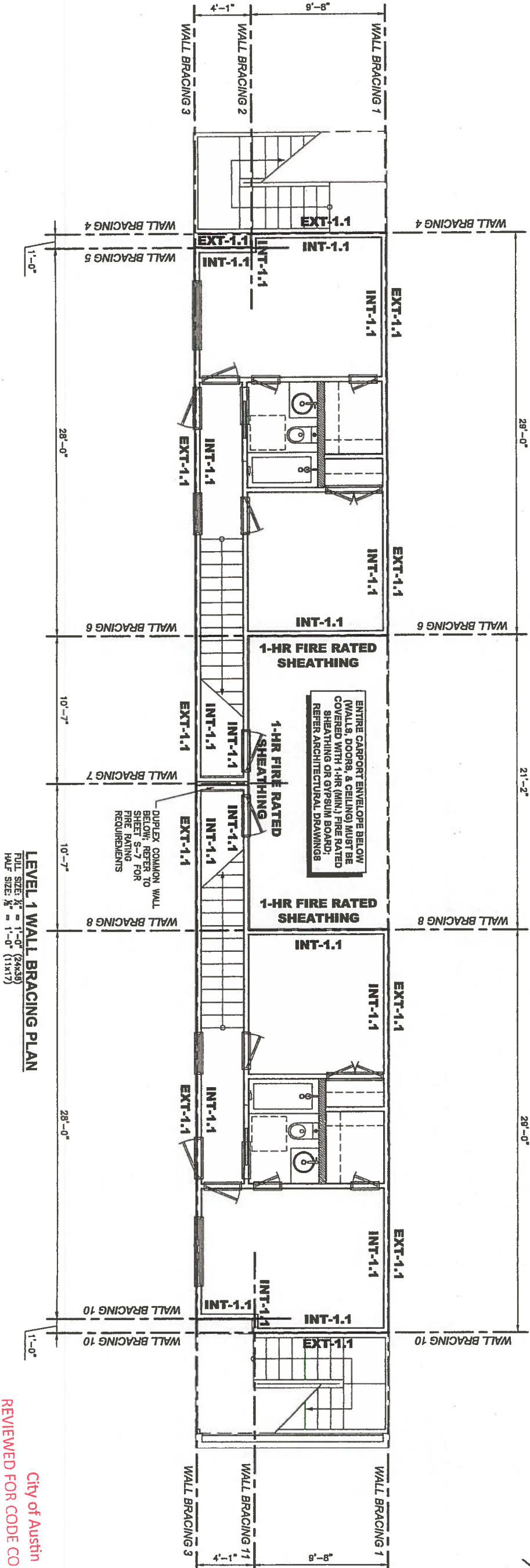
WALL BRACING NOTES

1. The design of the wall bracing for this new project is based on the 2015 edition of the International Residential Code (IRC 2015)
2. Method of wall bracing shall be of the Continuous Structural Sheathing in accordance Chapter 6, Section R602.10.4 and Methods found in Table R602.10.4
3. If construction method deviates from the prescribed method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method

DIMENSION NOTE:

1. Wall bracing dimension presented only for City of Austin plan review purposes.
2. For framing dimensions refer to Architectural floor plans

WALL BRACING LEGEND	
DESIGNED BY GENESIS 1 ENGINEERING	
EXT-1.1	Continuous wood structural panel sheathing: Solid sheath entire building in 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 in. 1 3/4" staples at 3" on center at supported edges and 6" on center at the intermediate supports. Horizontal block all wood panels.
INT-1.1	Gypsum board: Minimum thickness: 1/2" Connection criteria: 13 gage, 1-3/8" long, 1894 head, 0.089" diameter, 1-1/4" long; annular-ripped 8d cooler nail, 0.085" diameter, 1-5/8" long, 1894" head, or gypsum board nail, 0.085" diameter, 1-5/8" long, 822" head, Spacing: Nails, @ 8" o.c.; Screws, @ 16" o.c.
INT-1.2	Gypsum board: Minimum thickness: 5/8" w/ ceiling roof support @ 16" o.c. Connection criteria: 13 gage, 1-5/8" long, 1894 head, 0.089" diameter, 1-3/8" long; annular-ripped 8d cooler nail, 0.082" diameter, 1-7/8" long, 1/4" head, or gypsum board nail, 0.0815" diameter, 1-7/8" long, 1894" head, Spacing: Nails, @ 7" o.c.; Screws, @ 12" o.c.



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PROJECT ADDRESS:  
1401 E. 3RD STREET  
AUSTIN, TEXAS  
ARCHITECT WILLIAM HODGE

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2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT NAME:  
LEVEL 1  
WALL BRACING PLAN  
PROJECT TYPE:  
SINGLE-FAMILY DUPLEX  
PROJECT NUMBER:  
AU-17-73  
VERSION:  
VERSION 2.0  
DRAWN BY:  
FV/SAG / JTH  
CHECKED BY:  
JTH  
DATE:  
AS NOTED  
SHEET:  
4 of 7

City of Austin  
REVIEWED FOR CODE COMPLIANCE



TABLE 5 - TWB (T-TYPE) WALL BRACING

MODEL NO.	BRACE LENGTH (L) (FEET-INCHES)	WALL HEIGHT (FEET)	REQUIRED INSTALLATION ANGLE OF THE TWB (T-TYPE) BRACE FROM THE HORIZONTAL (DEGREE)	FASTENERS (QUANTITY-TYPE)	
				TOP AND BOTTOM PLATES	EACH AND STUD
TWB10	8'-0"	8	55°	2-16d	1-8d
TWB12	11'-4"	8	45°	2-16d	1-8d
TWB14	14'-2"	10	45°	2-16d	1-8d

FOR S1: 1 INCH = 25.4MM, 11BS = 4.43N

<sup>1</sup>THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATIVE TO BRACED WALL CONSTRUCTION METHODS DESCRIBED IN THE CODE.

<sup>2</sup>THE ALLOWABLE IN-PLANE RACKING SHEAR LOAD OF WALL BRACED WITH THE TWB12 OR TWB14 STRAP INSTALLED IN ACCORDANCE WITH THIS TABLE IS 180LBS. THE TWB STRAPS RESIST TENSION AND COMPRESSION LOADS, AND MUST NOT BE COMBINED WITH OTHER SHEAR RESISTING ELEMENTS OR COMPONENTS. THE ALLOWABLE RACKING SHEAR LOAD MUST NOT BE INCREASED FOR SHORT TERM LOADING. SUMMING SHEAR CAPACITIES OF THE TWB WALL BRACE WITH DISSIMILAR MATERIALS APPLIED TO EITHER SIDE OF THE SAME WALL IS NOT ALLOWED.

<sup>3</sup>THE WALL STUDS MUST BE SPACED 16 INCHES ON CENTER, MAXIMUM.

<sup>4</sup>THE TWB WALL BRACING STRAP MUST BE INSTALLED AT THE INSTALLATION ANGLE SPECIFIED IN THE TABLE

(OPTIONAL WHERE FEASIBLE)

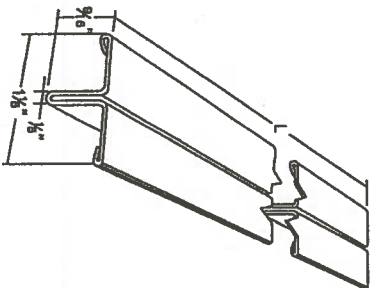


FIGURE 5A-TWB (T-TYPE) BRACE DIMENSIONS

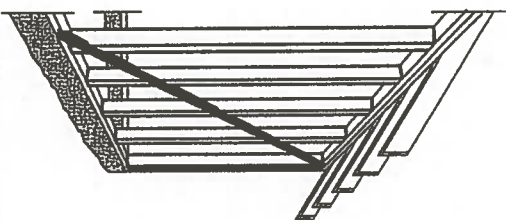


FIGURE 5B-TYPICAL TWB (T-TYPE) EXTERIOR WALL BRACE INSTALLATION (MAXIMUM 3/8-INCH DEEP SNAW KEYS IN STUDS)

OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)

WALL BRACING LEGEND  
DESIGNED BY GENESIS 1 ENGINEERING

EXT-1.1	Continuous wood structural panel sheathing: 2x6 double end stud building in 1/2" wood framing and fasten with 6d common nails at 8" on center at supported edges and 12" on center at the intermediate supports or 16 in. 1 3/4" staples at 3" on center at supported edges and 8" on center at the intermediate supports. Horizontal block all wood panels.
INT-1.1	Gypsum board: Minimum thickness: 1/2" Connection criteria: 13 gips, 1-3/8" long, 18d4 head, 0.098" diameter, 1-1/4" long, annular-ringed; 5d cooler nail, 0.088" diameter, 1-5/8" long, 9d2 head, 0.0915" diameter, 1-7/8" long, 18d4 head, Spacing: Nails, @ 8" o.c.; Screws, @ 16" o.c.
INT-1.2	Gypsum board: Minimum thickness: 5/8" w/ ceiling roof support @ 16" o.c. Connection criteria: 13 gips, 1-5/8" long, 18d4 head, 0.098" diameter, 1-3/8" long, annular-ringed; 6d cooler nail, 0.088" diameter, 1-7/8" long, 1/4" head, or gypsum board nail, 0.0915" diameter, 1-7/8" long, 18d4 head, Spacing: Nails, @ 7" o.c.; Screws, @ 12" o.c.

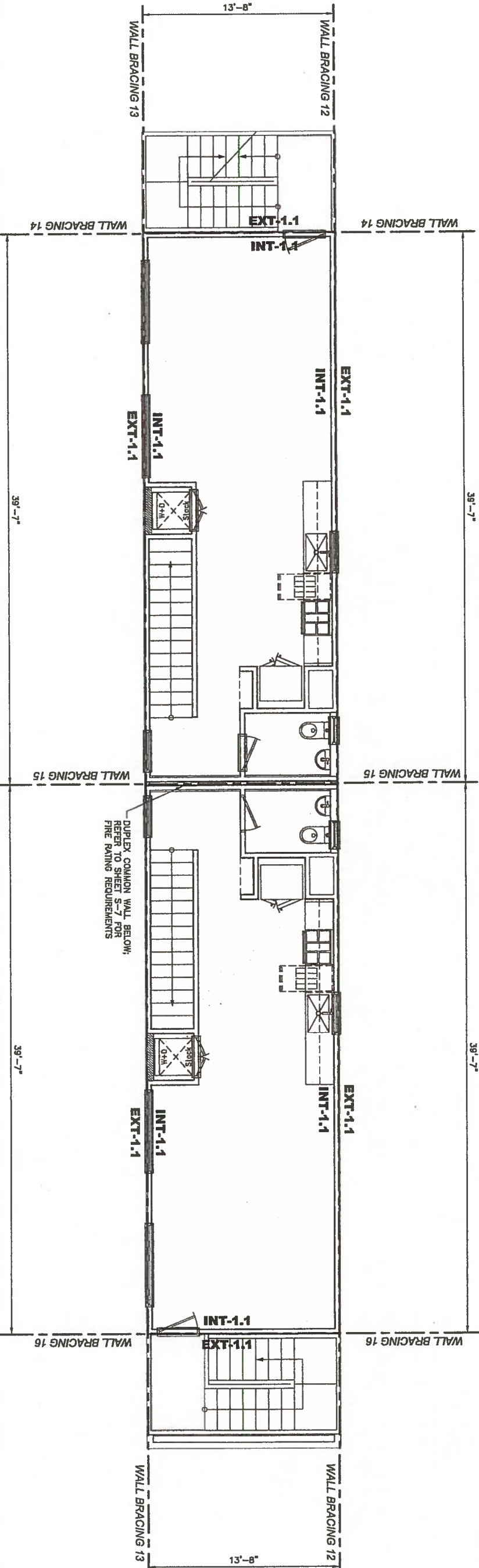
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  2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

WALL BRACING NOTES

1. The design of the wall bracing for this new project is based on the 2015 edition of the International Residential Code (IRC 2015)
2. Method of wall bracing shall be of the Continuous Structural Sheathing in accordance Chapter 6, Section R602.10.4 and Methods found in Table R602.10.4
3. If construction method deviates from the prescribed method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method

DIMENSION NOTE:

1. Wall bracing dimension presented only for City of Austin plan review purposes.
2. For framing dimensions refer to Architectural floor plans



LEVEL 2 WALL BRACING PLAN

FULL SIZE: 1/4" = 1'-0" (24x36)  
HALF SIZE: 1/8" = 1'-0" (11x17)

City of Austin  
REVIEWED FOR CODE COMPLIANCE

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THE DRAWINGS FOR SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS  
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AUSTIN, TEXAS

CLIENT NAME  
ARCHITECT WILLIAM HODGE

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T.B.P.E. Registered Firm #F-2565

PROJECT NAME  
LEVEL 2  
WALL BRACING PLAN

PROJECT NAME  
SINGLE-FAMILY DUPLEX

VERSION 2.0  
DATE  
11-17-23

AS NOTED

S-5



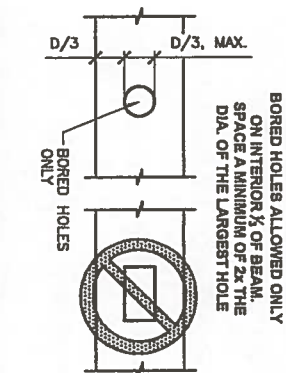
TYPICAL WALL SECTIONS - WOOD FRAMING

WALL	STUDS	SHEATHING	INSULATION
		SIDE 1	SIDE 2
EXTERIOR 4"	2x4 @ 16" O.C.	3/8" OSB	R-12
EXTERIOR 6"	2x6 @ 16" O.C.	3/8" OSB	R-20
INTERIOR 4"	2x4 @ 16" O.C.	1/2" GWB	SOUND
INTERIOR 6"	2x6 @ 16" O.C.	1/2" GWB	SOUND
EXT. SHEAR 4"	2x4 @ 16" O.C.	STR 1 1/2"	R-12
EXT. SHEAR 6"	2x6 @ 16" O.C.	STR 1 1/2"	R-20
INT. SHEAR 4"	2x4 @ 16" O.C.	STR 1 1/2"	SOUND
INT. SHEAR 6"	2x6 @ 16" O.C.	STR 1 1/2"	SOUND

OSB = APA RATED ORIENTED STRAND BOARD / GWB = Gypsum Wall Board /  
STR1 = APA RATED STRUCTURAL SHEATHING

HEADER SCHEDULE  
(FOR SAWN LUMBER HEADERS NOT OTHERWISE SPECIFIED)

MAX. ALLOWABLE SPAN, FT.	NON-STRUCTURAL SHEATHING	STRUCTURAL SHEATHING
HEADER SIZE		
DBL 2x4	2'-6"	3'-6"
DBL 2x6	3'-6"	4'-6"
DBL 2x8	4'-6"	5'-6"
DBL 2x10	5'-6"	6'-6"
DBL 2x12	6'-6"	7'-6"

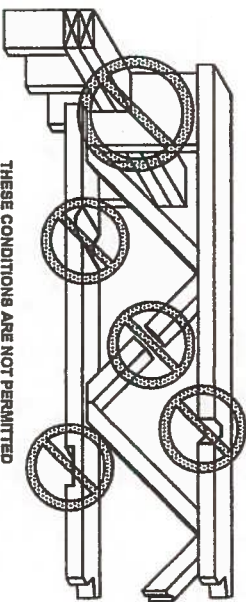


JOIST PENETRATION LIMITATIONS  
NOT TO SCALE

NAME	PANEL	ORIENTATION	MAX. FASTENER SPACING
		TO FRAMING	
SHEAR WALL	¾" OSB	1 OR 2	EDGES 12"
ROOF SHEATHING	¾" PLYWOOD	1	10d 4" 8"
INTERIOR WALL	½" GWS	1	8d 12" 12"

H-CLIPS OR SOLID BLOCKING REQ'D AT ALL WOOD PANEL EDGES

SHEATHING FASTENING SCHEDULE - WOOD FRAMING



MMWT TRUSS MODIFICATION LIMITATIONS  
NOT TO SCALE

MANUFACTURED WOOD TRUSSES

1. Manufactured wood trusses shall be metal plate connected wood trusses designed and fabricated in accordance with the National Design Specification for Metal Plate Connected Wood Truss Construction (NDS/ITP 1-1985).
2. Trusses shall be designed by a Professional Engineer licensed in Texas (truss designed).
3. Lumber shall be kiln-dried and shall have a moisture content at time of manufacture between 7% and 15% by weight.
4. Connector plates shall be manufactured by a Wood Truss Council of America member plate supplier. Connector plates shall be 0.036-inch thickness minimum and shall conform to ASTM A653/A653M steel, grade 53 minimum. All plates shall be G80 galvanized in accordance with ASTM A653/A653M.
5. Truss erection shall be in accordance with Commentary And Recommendations For Handling, Installing And Bracing Metal Plate Connected Wood Trusses (ITP H1B-91).
6. All trusses are bottom chord bearing U.N.C.
7. Trusses with multiple point loads shall be designed for unbalanced loading.
8. Field verify span dimensions.
9. Truss configurations shown are schematic. Truss designer shall determine truss configuration.
10. Center opening of trusses are to remain clear of diagonal members to allow clearance for HVAC ductwork.
11. Cutting or altering of trusses is not permitted.
12. Coordinate with mechanical for duct chase sizes & locations.
13. Deflection criteria:

- Floor Trusses
  - Live-load deflection: span/600
  - Total-load deflection: span/480 or 1/4" max.
- Roof Trusses
  - Live-load deflection: span/480
  - Total-load deflection: span/360

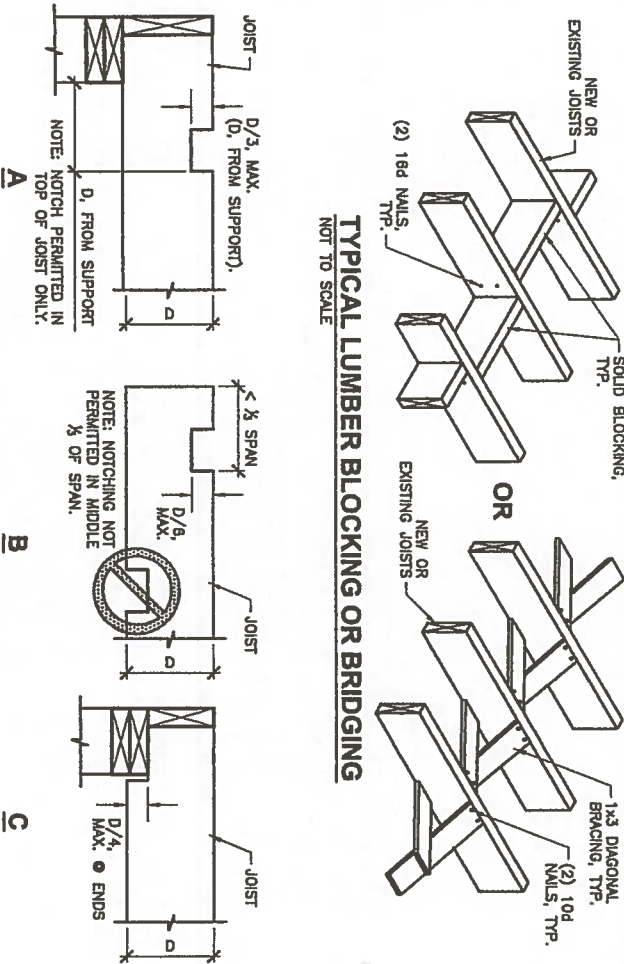
Wood Framing

Unless noted otherwise, the following materials are typical:

- Framing Lumber: #2 southern pine, kiln dried 15% MC
- Studs: #2 spf, kiln dried 15% MC
- Plywood: APA-rated exterior exposure, thickness as noted.
- Sheathing: APA-rated panels, thickness or span-rating as noted.
- Rimboard: APA ENVS 1" rim board.
- LVL: 2850 F2 20E, APA certified
- Bolts: ASTM A307, U.N.C., all holes 1/16" larger than bolt dia., use ASTM F344 standard washers at bolt ends (or 1/2" diameter steel plate washers shall be at least 25 times the bolt diameter).
- Connectors: Simpson Strong-Tie or approved substitute
- Glue: PF-400 construction adhesive, exterior exposure, or approved substitute
- Pressure-treated: ACQ treated to per AWPA treatment standards, designated as (C-1) on the drawings, kiln-dried after treatment (KDAT) where noted. Use Simpson Zmax (G185) connector or approved substitute.

2. All framing shall be done in accordance with nationally-recognized framing standards, as reference in International Residential Code 2015
3. Headers shall be as shown on the drawings. If not shown on drawings, headers shall be as prescribed in Table RB02.7.1 of the International Residential Code. Contact Engineer for headers not shown on the drawings and not specified in Table RB02.7.1

TYPICAL LUMBER BLOCKING OR BRIDGING  
NOT TO SCALE



JOIST NOTCHING LIMITATIONS  
NOT TO SCALE

4. All end walls shall be framed with a single plate at the bottom and a double plate at the top. Splices in top-plates shall be staggered by more than 48-inches and nailed with (6) 16d common nails on both sides of the splice.
5. Plates in contact with concrete or masonry shall be pressure-treated.
6. Exterior all plates shall be bolted to the foundation with 1/2-inch anchor bolts at 72-inches (48-inches if two or more stories) on center with minimum embedment of 7-inches. 3" square, 3 gage bearing plate washers shall be provided and installed at every all anchor.
7. All wood stud walls shall be full height between floors without intermediate plate line, unless noted otherwise.
8. Provide double studs at all wall corners and on each side of all openings.
9. Wall studs shall be spiked at beam supports.
10. Roof sheathing shall be exterior grade, APA rated plywood. Sheathing shall be nailed with 8d common nails at 6-inches on center at panel edges and 12-inches on center at intermediate supports. Sheathing shall be laid with the face grain perpendicular to the rafters, continuous over three or more supports, with joints staggered. H-clips are required at all unsupported edges.
11. Shear wall (braced wall) and exterior wall sheathing shall be exterior grade, APA rated plywood, nailed with 8d common nails at 6-inches on center at panel edges and 12-inches on center at intermediate supports. Edges shall be fully blocked with 2x solid wood blocking.
12. Hold downs shall be provided at both ends of every shear wall (braced wall). Hold downs shall be through-bolted through double 2x studs (nail downs with screws or nails are not acceptable) and anchored into the concrete foundation. Acceptable hold down is Simpson Strong-Tie HCB3B. OR-Hold downs shall be located and installed as shown on the drawings. Hold downs shall be hot-dipped galvanized / stainless steel

13. Solid wood 2x blocking shall be provided between joists over supports and at ends of cantilevered joists.
14. Joist bridging shall be provided in rows not exceeding 8'-0" on center where joist depth exceeds 8" or where one side of the joist is not supported continuously by plywood or wood sheathing.
15. Provide double joists under all interior partitions oriented parallel to joists.
16. All framing members framing into the side of a header shall be attached using metal joist hangers sized to support the full design loads and installed in accordance with the joist hanger manufacturer's recommendations.
17. Special pre-final framing inspection shall be conducted prior to installation of insulation
18. Contractor shall contact the Design Engineer for clarifications to discrepancies found on the field.
19. All exterior and interior walls shall have 2 x 4 wood studs at 16" o.c. unless notes otherwise.
20. All wood beams and other wood structural members shall be supplied by a qualified manufacturer.
21. Framing contractors to install temporary wind bracing while main structure frame is being constructed.
22. Contractor to use 2 x 6 strong backs for roof rafter pulls, set a top load bearing walls beneath.
23. Contractor to install 2 x 6 wall blocking at accessible bathroom walls for accessible grab bars.
24. Contractor to install 2 x 6 wall blocking @ upper kitchen cabinet areas.
25. Refer to the architectural drawings for other required wood framing.

JOIST HANGER SCHEDULE  
(NOT OTHERWISE SPECIFIED)

MEMBER	HANGER #	FACE FASTENER	JOIST FASTENER
2x4	HJ24	(4) 10d	(2) 10d x 1.5
2x6	HJ26	(6) 10d	(4) 10d x 1.5
2x8	HJ28	(6) 10d	(4) 10d x 1.5
2x10	HJ210	(10) 10d	(6) 10d x 1.5
2x12	HJ212	(12) 10d	(6) 10d x 1.5
2x14	HJ214	(12) 10d	(6) 10d x 1.5
DBL 2x4	HJ24-2	(4) 10d	(2) 10d
DBL 2x6	HJ26-2	(6) 10d	(4) 10d
DBL 2x8	HJ28-2	(6) 10d	(4) 10d
DBL 2x10	HJ210-2	(14) 10d	(6) 10d
DBL 2x12	HJ212-2	(14) 10d	(6) 10d
DBL 2x14	HJ214-2	(14) 16d	(6) 16d

- NOTES:
1. Based on Simpson Strong-Tie.
  2. Hangers shown are for nominal dimensioned lumber, (1.5" thick). For rough sawn lumber use Simpson "JUS" or "JUT" series hangers, or approved substitute.
  3. Use oil avoidable fasteners, or approved substitute.
  4. Use only manufacturers approved fasteners.
  5. Hangers and fasteners in exterior conditions must be H.D. Galv.

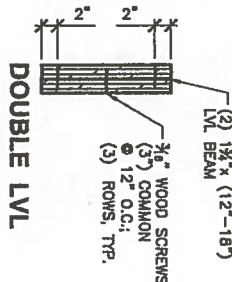
CEILING JOIST MAXIMUM SPAN TABLE  
(FOR SOUTHERN PINE #2 LUMBER NOT OTHERWISE SPECIFIED)

MEMBER	SPACING (IN.)	MAX. ALLOWABLE SPAN (FT.)
2x4	@ 16" O.C.	10'-9"
	@ 24" O.C.	9'-3"
2x6	@ 16" O.C.	16'-11"
	@ 24" O.C.	13'-11"
2x8	@ 16" O.C.	21'-7"
	@ 24" O.C.	17'-7"
2x10	@ 16" O.C.	28'-7"
	@ 24" O.C.	20'-11"

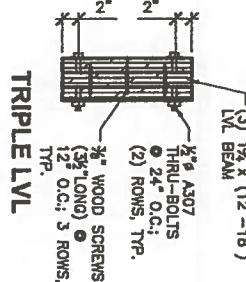
Based on International Residential Code Table RB02.4(1)  
(LL=10 per; DL=5 per L/A=240)

FOR ANY OTHER LUMBER SPECIES REFERENCE  
THE 2015 IRC CODE OR CONSULT WITH DESIGN ENGINEER

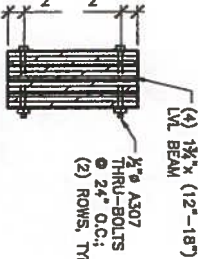
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DOUBLE LVL



TRIPLE LVL



QUADRUPLE LVL

MULTIPLE LVL  
FASTENING DETAIL  
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ARCHITECT WILLIAM HODGE

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T.B.P.E. Registered Firm #R-2565

PROJECT NAME:  
TYPICAL  
FRAMING DETAILS  
SINGLE-FAMILY DUPLEX

DESIGNED BY:  
AL-17-73  
VERSION 2.0  
DATE:  
FV/DAG / APPROVED:  
GG

CODE  
AS NOTED  
DATE:

S-6



