

# BOA GENERAL REVIEW COVERSHEET

**CASE:** C15-2020-0022

**BOA DATE:** June 8, 2020

**ADDRESS:** 305 W. 45<sup>th</sup> St

**COUNCIL DISTRICT:** 9

**OWNER:** Michael Synowiec

**AGENT:** N/A

**ZONING:** SF-3-HD-NCCD-NP (Hyde Park Neighborhood Conservation Combining District)

**LEGAL DESCRIPTION:** W 39.5FT OF LOT 31-32 BLK 7 HYDE PARK ADDN NO 1

**VARIANCE REQUEST:** decrease minimum lot size to 1,985 sq. ft, decrease minimum lot width to 39 ft. and decrease parking spaces to 1 parking spot.

**SUMMARY:** remodel and 2<sup>nd</sup> story addition

**ISSUES:** lot size was developed before March 1946, impervious cover is insufficient for additional parking due to lot size

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	SF-3-HD-NCCD-NP	Single-Family
<i>North</i>	SF-3-NCCD-NP	Single-Family
<i>South</i>	SF-3-NCCD-NP	Single-Family
<i>East</i>	SF-3-NCCD-NP	Single-Family
<i>West</i>	MF-3-HD-NCCD-NP	Multi-Family

**NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District  
 Austin Lost and Found Pets  
 Austin Neighborhoods Council  
 Bike Austin  
 Central Austin Community Development Corporation  
 Friends of Austin Neighborhoods  
 Friends of Hyde Park  
 Homeless Neighborhood Association  
 Hyde Park Neighborhood Assn.  
 Hyde Park Neighborhood Plan Contact Team  
 Neighborhood Empowerment Foundation  
 North Austin Neighborhood Alliance  
 Preservation Austin  
 SELTexas  
 Sierra Club, Austin Regional Group



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

### NOTIFICATIONS

CASE#: C15-2020-0022  
LOCATION: 305 W 45TH STREET



1" = 333'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



## CITY OF AUSTIN

### Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

## Board of Adjustment General/Parking Variance Application

**WARNING:** Filing of this appeal stops all affected construction activity.

**This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.**

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

### For Office Use Only

Case # \_\_\_\_\_ ROW # \_\_\_\_\_ Tax # \_\_\_\_\_

### Section 1: Applicant Statement

Street Address: \_\_\_\_\_

Subdivision Legal Description:

\_\_\_\_\_  
\_\_\_\_\_

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_

Outlot: \_\_\_\_\_ Division: \_\_\_\_\_

Zoning District: \_\_\_\_\_

I/We \_\_\_\_\_ on behalf of myself/ourselves as  
authorized agent for \_\_\_\_\_ affirm that on  
Month \_\_\_\_\_, Day \_\_\_\_\_, Year \_\_\_\_\_, hereby apply for a hearing before the  
Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other: \_\_\_\_\_

Type of Structure: \_\_\_\_\_

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

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**Section 2: Variance Findings**

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

I contend that my entitlement to the requested variance is based on the following findings:

**Reasonable Use**

The zoning regulations applicable to the property do not allow for a reasonable use because:

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**Hardship**

a) The hardship for which the variance is requested is unique to the property in that:

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b) The hardship is not general to the area in which the property is located because:

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**Area Character**

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

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**Parking** (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

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2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

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3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

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4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant Name (typed or printed): \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Name (typed or printed): \_\_\_\_\_

Owner Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 5: Agent Information**

Agent Name: \_\_\_\_\_

Agent Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

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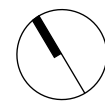
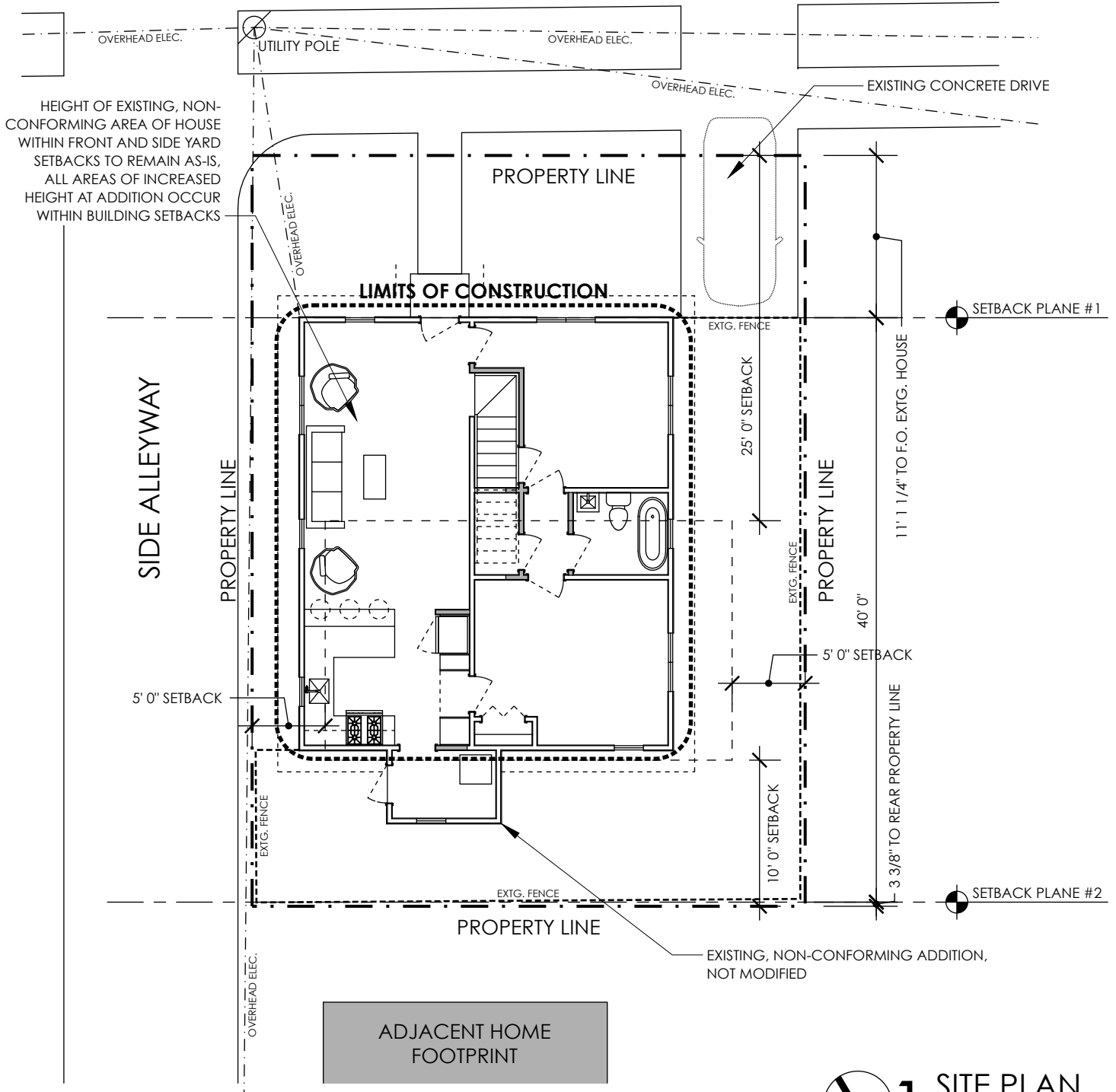
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### Additional Space (continued)

[illegible]

# W 45TH ST.



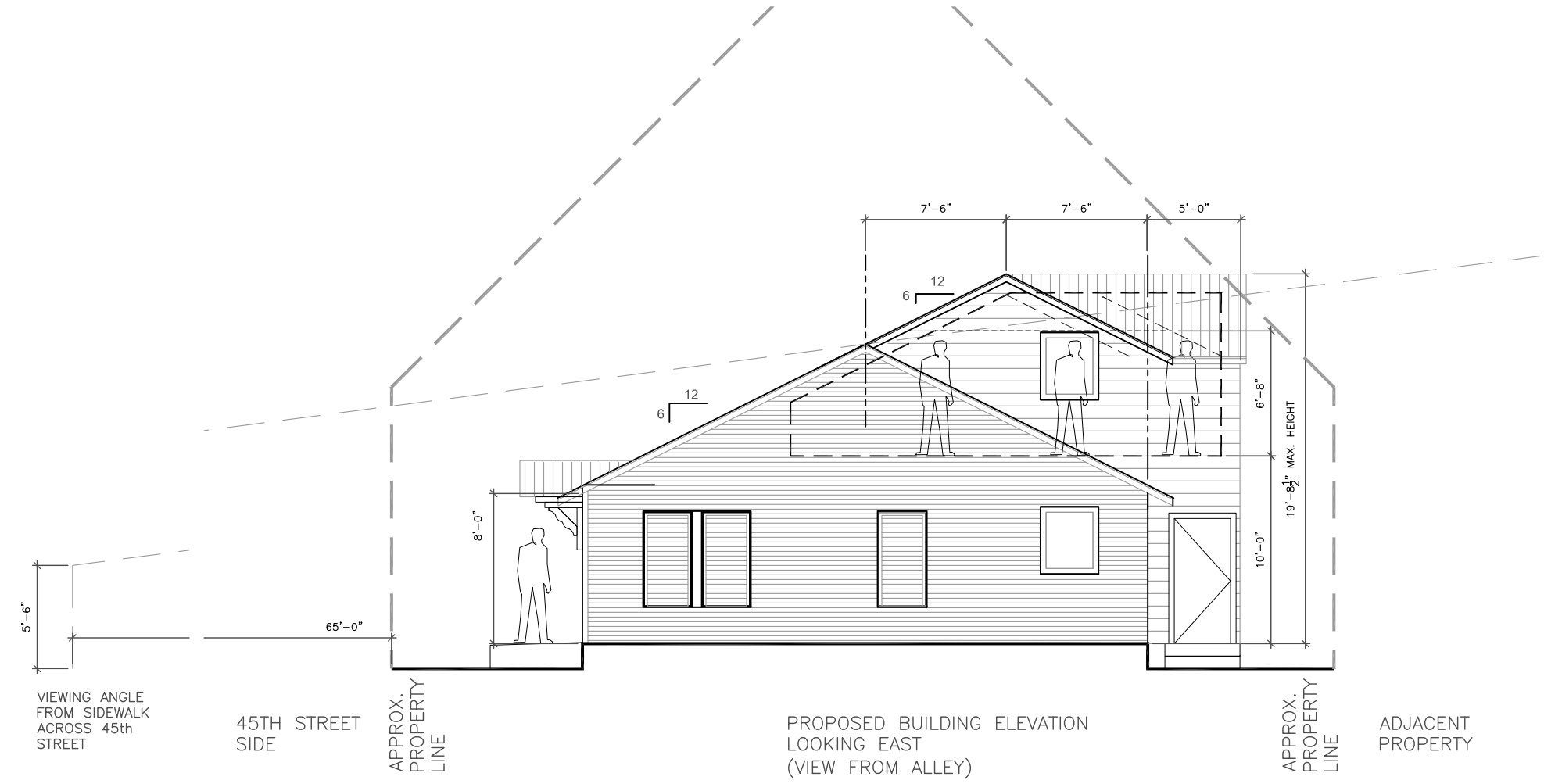
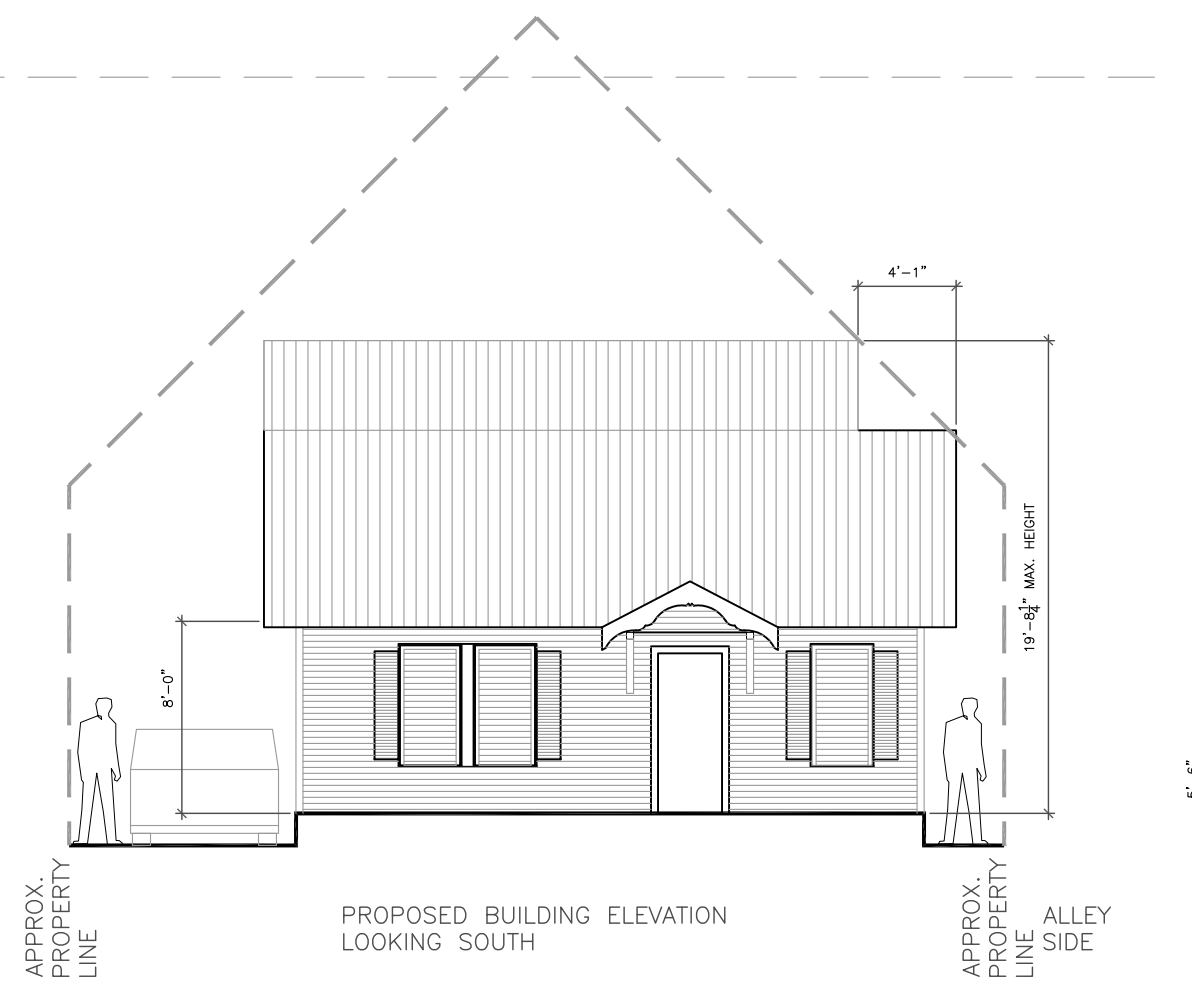
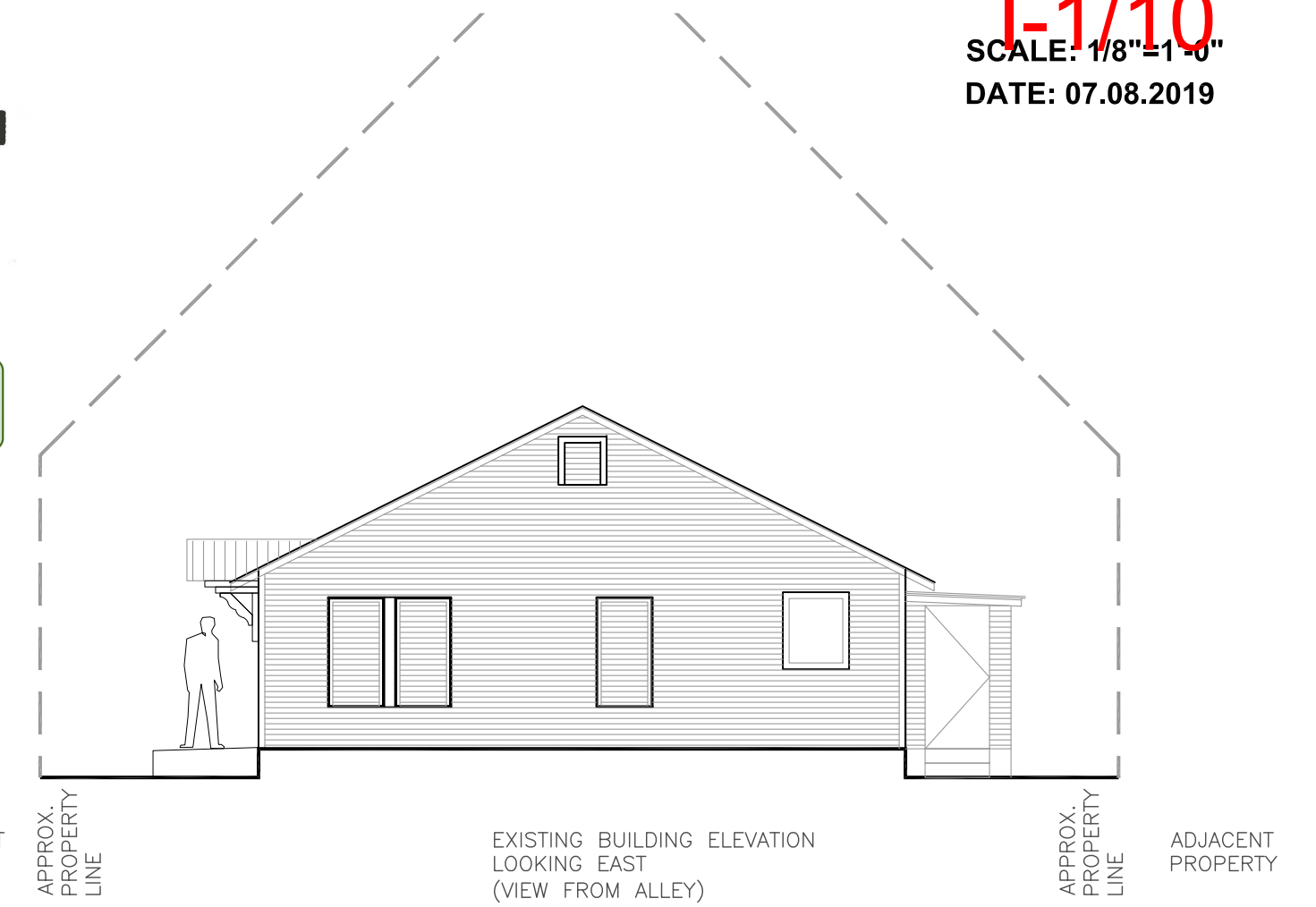
**1 SITE PLAN**  
 FULL SIZE: 1" = 10"  
 HALF SIZE: 1" = 20"





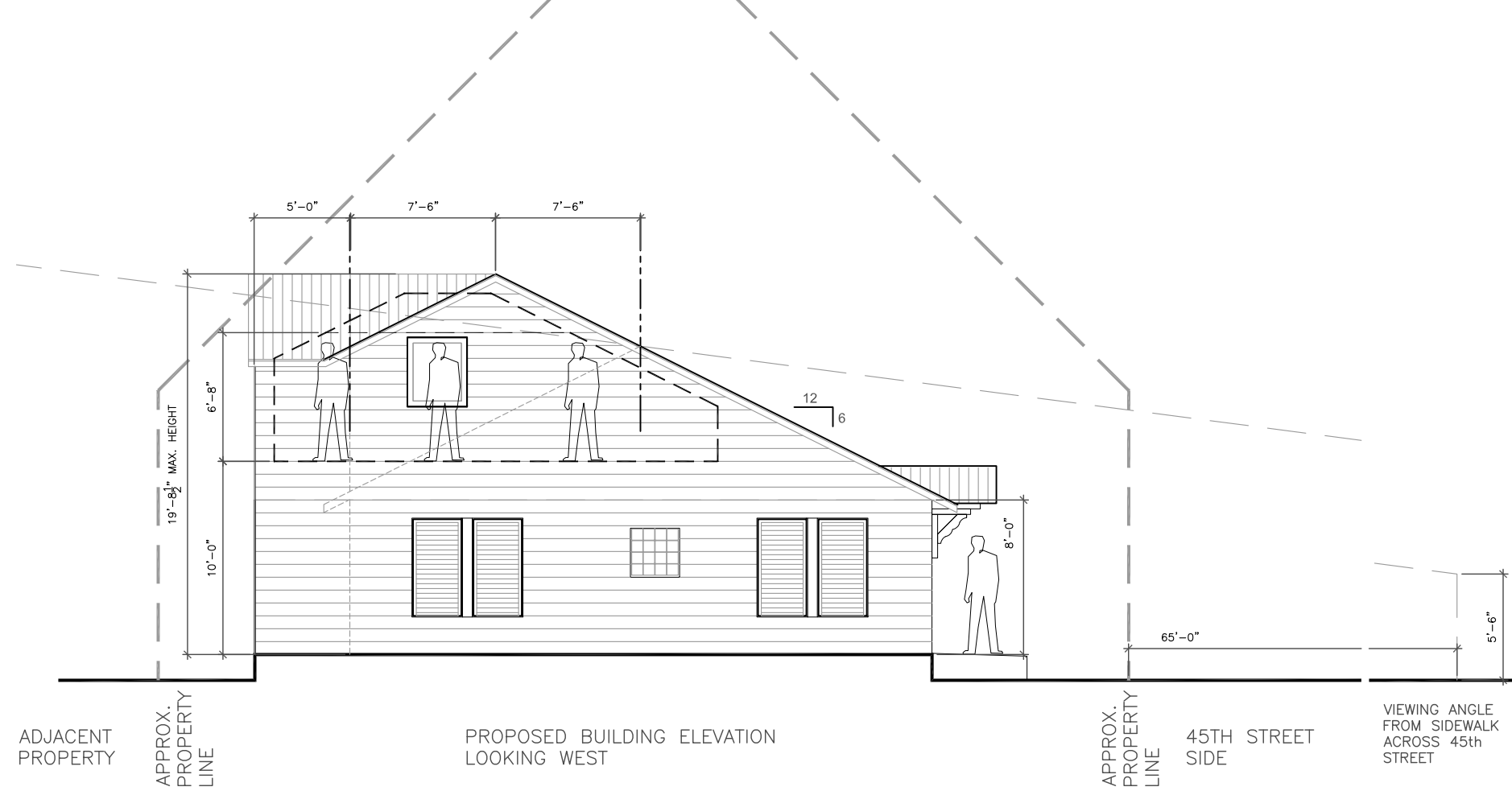
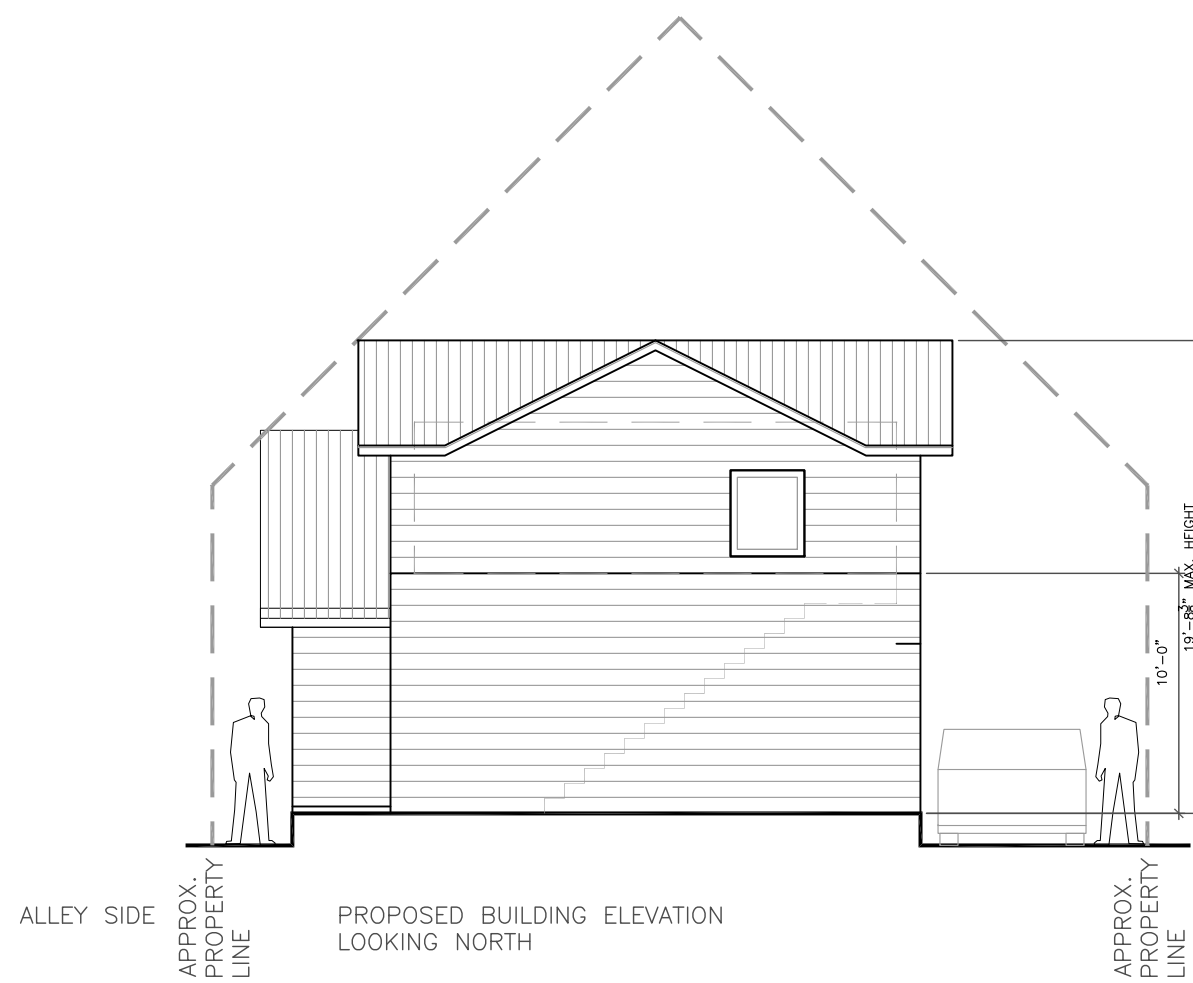
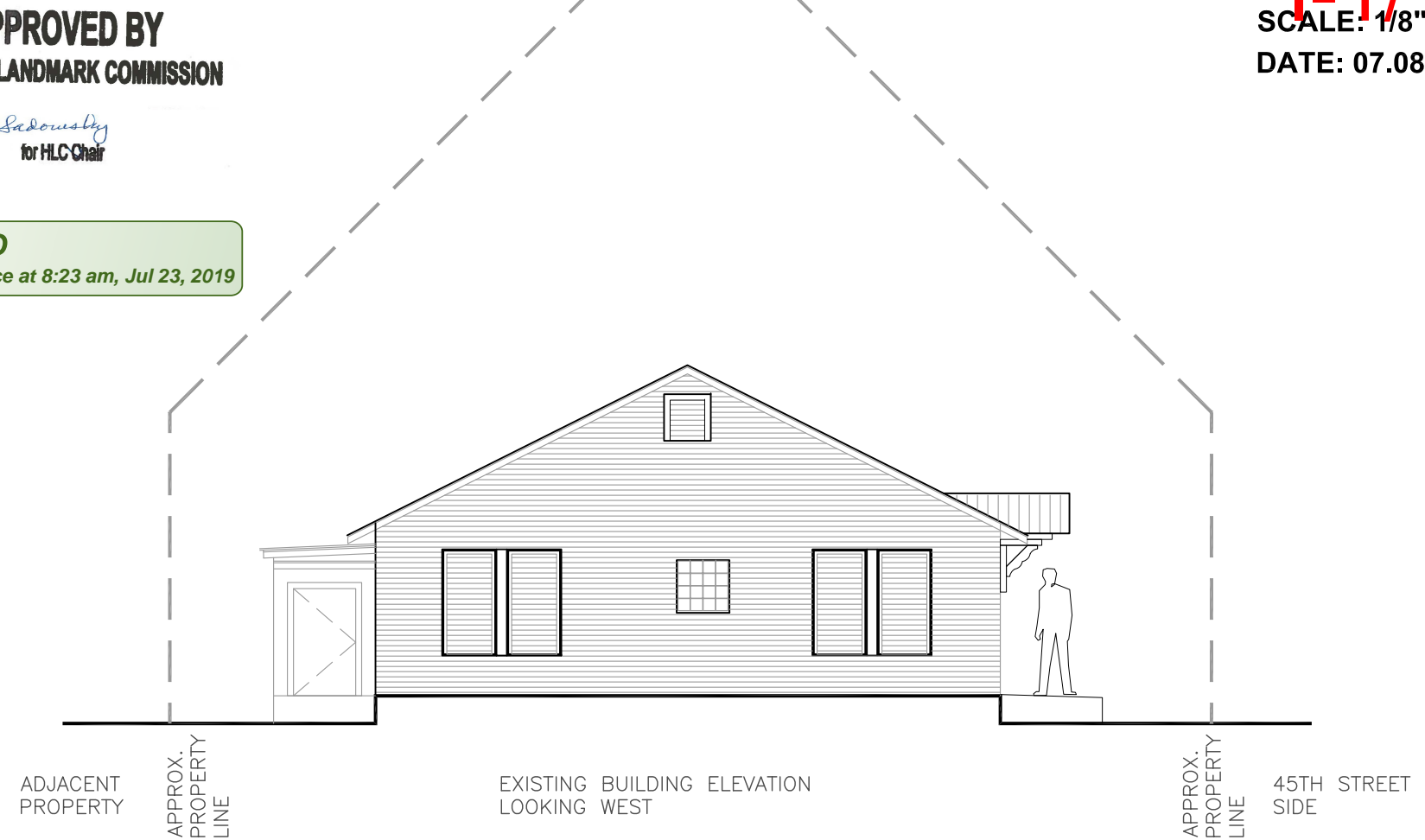
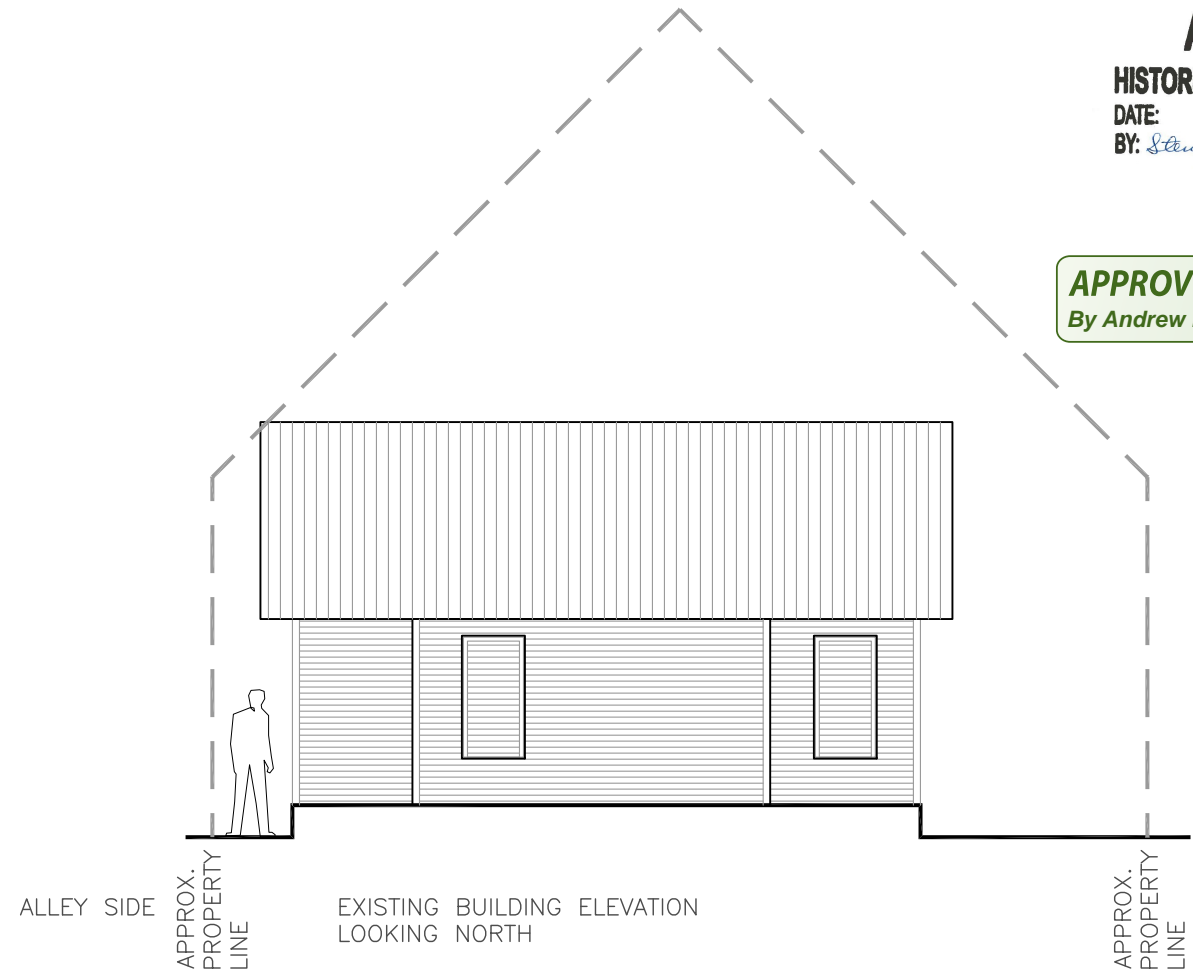
APPROVED BY  
HISTORIC LANDMARK COMMISSION  
DATE:  
BY: *Steve Sadowsky*  
for HLC Chair

APPROVED  
By Andrew Rice at 8:23 am, Jul 23, 2019

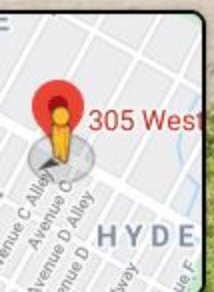


**APPROVED BY**  
**HISTORIC LANDMARK COMMISSION**  
DATE:  
BY: *Steve Sedowsky*  
for HLC Chair

**APPROVED**  
By Andrew Rice at 8:23 am, Jul 23, 2019









April 17, 2020

To the Board of Adjustment:

We are writing to express support for Mike Synowiec's request for a parking variance for 305 W 45<sup>th</sup> street. We own and reside at 304 W 45<sup>th</sup> street, directly across from Mr. Synowiec's home.

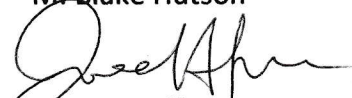
Houses along 45<sup>th</sup> street, including 305 W 45<sup>th</sup> street, face unique challenges. 45<sup>th</sup> street does not allow for on street parking. Those of us with homes in the middle of blocks do not have easily accessible on street parking (though the nearest side streets have an abundance of unused on street parking spaces). This creates a unique hardship in order to meet onsite parking requirements needed for home additions. Furthermore, 305 W 45<sup>th</sup> st is uniquely challenged as a very small home with very little lot space to grow.

Mr. Synowiec has been an exemplary neighbor and has worked to maintain and improve this historic home. I am confident that his plans for an addition to the home will make the home more livable and ensure this historic structure continues to contribute to the character of historic Hyde Park.

Sincerely,

  
M. Blake Hutson

4/17/2020

  
Jessica Hoffman

4/17/2020