

**PLANNING COMMISSION
SITE PLAN COMPATIBILITY WAIVER REQUEST REVIEW SHEET**

CASE: SP-2019-0559C

PLANNING COMMISSION DATE: July 14, 2020

PROJECT NAME: W 7th Street Passive

ADDRESS OF SITE: 1118 W 7th St

APPLICANT: Mountain Sun Development Group (Russ Hooper, PE) 707-502-4319

AGENT: Mountain Sun Development Group (Russ Hooper, PE) 707-502-4319

AREA: 0.2 acre

WATERSHED: Town Lake (Urban)

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance

C.I.P. STATUS: N/A

T.I.A.: N/A

CAPITOL VIEW: N/A

PROPOSED DEVELOPMENT:

The applicant is proposing to construct a duplex behind an existing single-family dwelling, with parking, detention and water quality. The development is taking access to West 7th Street and the alley to the north.

EXISTING ZONING:

The site is zoned MF-4-HD-NP. The site plan complies with the zoning ordinance.

DESCRIPTION OF WAIVER:

Waiver request is as follows: LDC Section 25-2-1062(B):

If a site has street frontage of 50 feet or less, a person may not construct a structure 15 feet or less from property:

- (1) In an urban family residence (SF-5) or more restrictive zoning district, or;
- (2) On which a use permitted in an SF-5 or more restrictive zoning district is located.

The applicant requests a waiver from a 15-foot to an approximately 5-foot compatibility setback for a walkway leading to the duplex and for drainage/detention structures. The site is adjacent to single-family houses to the west, multifamily to the east, an alley and a mix of single-and multifamily residential to the north and a mix of single-and multifamily uses to the south across W 7th Street.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the waiver from LDC Section 25-2-1062 to reduce the Compatibility setback requirement from 15 feet to approximately five feet from adjacent MF-4-HD-NP- zoned properties used as single family. The site measures less than 50 feet wide, and the duplex will be behind the existing house. The proposed use is similar to other uses within the neighborhood.

CASE MANAGER: Christine Barton-Holmes, CNUa, LEED AP **PHONE:** 974-2788
Christine.Barton-Holmes@austintexas.gov

PROJECT INFORMATION: 0.20 acre

EXIST. ZONING: MF-4-HD-NP

MAX. BLDG. COVERAGE : 60%

MAX. IMPERV. CVRG.: 70%

ALLOWED F.A.R.: 0.75:1

HEIGHT: 32' per Historic District

REQUIRED PARKING: 6 spaces

PROPOSED ACCESS: Driveway access to W 7th Street and alley

PROP. BUILDING CVR: 51% (4474 sf)

PROP. IMP. CVRG.: 69% (6025 sf)

PROPOSED F.A.R.: 0.749:1

PROP. HEIGHT: 27' 10"

PROVIDED PARKING: 6 spaces (1 on-street)

SUMMARY COMMENTS ON SITE PLAN:

Land Use: The applicant is requesting a waiver from Compatibility standards to reduce the setback for the walkway and cistern from 15 feet to approximately five feet in order to construct a duplex. The proposed duplex will be similar in scale and use to adjacent single- and multifamily residences, and will be screened with fencing and landscape. The site plan will comply with all applicable regulations upon site plan approval.

Environmental:

The site is located within the Town Lake Watershed, which is classified as an Urban Watershed. There are no critical environmental features.

Transportation:

Access to the proposed residences will be from West 7th Street and the alley to the north. The proposed development did not require a TIA.

This administrative site plan will comply with all applicable requirements of the Land Development Code prior to its release. Staff recommends approval of the waiver.

PLANNING COMMISSION ACTION:

SURROUNDING CONDITIONS:

Zoning/ Land Use

North: Alley, then MF-4-HD-NP and SF-3-HD-NP (single- and multifamily)

South: W 7th Street, then MF-4-HD-NP and SF-4A-HD-NP (single- and multifamily)

East: MF-4-HD-NP (multifamily)

West: MF-4-HD-NP (single- and multifamily)

<u>STREET:</u>	<u>R.O.W.</u>	<u>SURFACING</u>	<u>CLASSIFICATION</u>
West 7 th Street	60'	30'	Local City Street

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Neighborhoods Council

Bike Austin

Friends of Austin Neighborhoods

Homeless Neighborhood Assn.

Neighborhood Empowerment Foundation

Old West Austin Neighborhood Association

Old West Austin Neighborhood Plan Contact Team

Preservation Austin

SELTexas

Shoal Creek Conservancy

Sierra Club, Austin Regional Group

Amanda Swor
direct dial: (512) 807-2904
aswor@drennergroupp.com

June 23, 2020

Ms. Denise Lucas
Development Services Department
City of Austin
505 Barton Springs Road
Austin, TX 78704

Via Electronic Delivery

Re: 1118 West 7th Street – Compatibility waiver request associated with the site development permit application, SP-2019-0559C, for the property located at 1118 W. 7th Street in Austin, Travis County, Texas (the “Property”)

Dear Ms. Lucas:

As representatives of the owner of the Property, we respectfully request a waiver from compatibility standards for small lots, §25-2-1062 - Height Limitations and Setbacks for Small Sites, for the 15-foot property line no-build setback from adjacent single-family residential zoning and uses requirement. Per §25-2-1081 Land Use Commission Or Council Waiver, a waiver request from the requirements of §25-2, Subchapter C, Article 10 Compatibility Standards, is allowed provided that the setback will not be reduced to less than five (5) feet and that the waiver is appropriate and will not harm the surrounding area.

The Property is located on the north side of West 7th Street, approximately 50 feet from the intersection of West 7th Street and Blanco Street. A site development permit application is in review as SP-2019-0559C to allow a new duplex on the rear portion of the Property. The Property is currently zoned MF-4-HD-NP, Multifamily Residence Moderate-High Density – Historic District – Neighborhood Plan, and is located in the Castle Hill Local Historic District per ordinance 20100930-038. The Castle Hill local historic district also makes up a portion of the West Line National Historic District. An existing single-family residential structure fronting West 7th Street on the property will be preserved to respect these historic district designations.

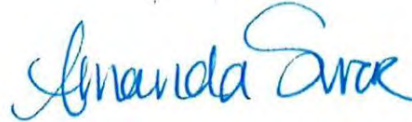
As mentioned above, the property is currently zoned MF-4-HD-NP, and is surrounded on all sides by MF-4-HD-NP zoned Properties. However, the property located at 1120 West 7th Street, although zoned MF-4-HD-NP is occupied by a single family structure. The site plan application, SP-2019-0559C, contemplates a new duplex, a single family residential use, on the

rear portion of the Property. Upon completion, because the Property will comprise of three total residential units on a single lot, the use will become multifamily residential and will therefore be subject to compatibility standards. The proposed project was approved at the Historic Landmark Commission on September 23, 2019 after extensive conversations and input from the City of Austin Historic Preservation Office, and Historic Landmark Commissioners.

We respectfully request a waiver from the 15-foot no build setback for small sites as described in §25-2-1062(B)(2) to reduce this 15-foot setback to five (5) feet, and to allow the placement of detention facilities within the setback, in order to allow the proposed duplex as currently designed. This project is not requesting any additional code modifications and will adhere to MF-4 site development regulations, including five (5) foot minimum interior side yard setbacks, 60% maximum building coverage and 70% maximum impervious cover. The proposed project will not alter or harm the neighborhood character, as it is preserving the existing historic home on the lot while developing additional single family residential land uses. The surrounding neighborhood contains a mixture of single family and low-density multifamily land uses and the proposed project will complement its neighbors and provide much-needed additional housing stock in the urban core.

Please let me know if you or your team members require additional information or have any questions. Thank you for your time and attention to this project.

Very truly yours,



Amanda Swor

cc: Christine Barton-Holmes, Development Services Department (*via electronic delivery*)

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

A zoning ordinance amendment may include a conditional overlay which would include conditions approved by the Land Use Commission or the City Council. If final approval is by a City Council's action, there is no appeal of the Land Use Commission's action.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact listed on a notice*); or
 - appearing and speaking for the record at the public hearing;
- and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
 - is the record owner of property within 500 feet of the subject property or proposed development; or
 - is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/devservices.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice.

Case Number: SP-2019-0559C

**Contact: Christine Barton-Holmes, 512-974-2788 or
Elsa Garza, 512-974-2308**

Public Hearing: Planning Commission, Jul 14, 2020

Evan M Williams

Your Name (please print)

1114 West 7th St

Your address(es) affected by this application

[Signature]

Signature

<input type="checkbox"/>	I am in favor
<input checked="" type="checkbox"/>	I object

7/8/2020

Date

Daytime Telephone: 512 695 5360

Comments: Inconsistent w/ neighborhood
uses -

If you use this form to comment, it may be returned to:

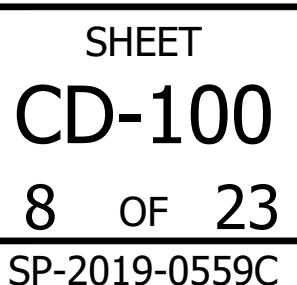
City of Austin

Development Services Department, 4th Floor

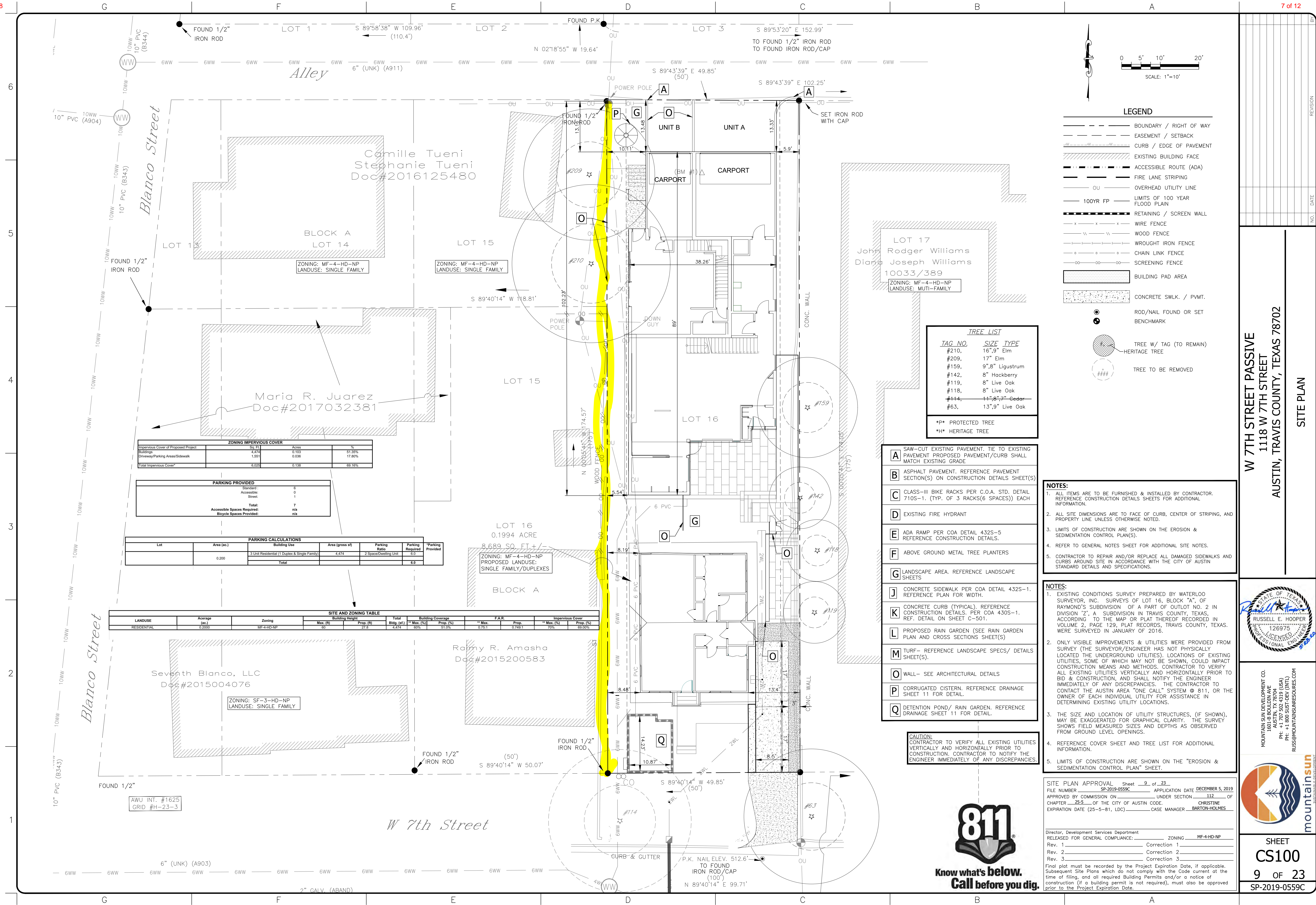
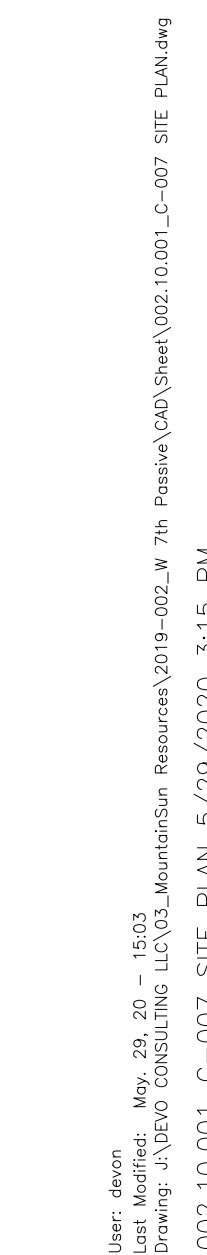
Christine Barton-Holmes

P. O. Box 1088

Austin, TX 78767-8810



Know what's below.
Call before you dig



PASSIVE HOUSE CERTIFICATION

22.43
Building Coverage
3,403.10

GROSS FLOOR AREA	
UNIT A MAIN FLR SF	1,563.97
UNIT A 2ND FLR SF	1,466.33
UNIT A LOWER LVL SF	806.69
EXISTING HOUSE SF	1,023.89
UNIT B 2ND FLR SF	1,018.78
UNIT B MAIN FLR SF	681.67
	6,561.33 sq ft
EXISTING IMPERVIOUS	3,442.77
PROPOSED TOTAL IMPERVIOUS	6,019.04
BLDG COVERAGE	4,461.71

MF-4

Total Site Area - 8,750 sf

	Allowed	Proposed
Max Building Coverage	60%	5,250 sf
Max Impervious Cover	70%	4,474 sf (51%)
Max FAR	.75:1	6,025 sf (69%)
Max Units Per Acre	36-54	6,561 sf (.749)
Max Height Per Zoning		3 units
Max Height Per LHD		27'-10"
Parking	2 PER UNIT	27'-10"
		6 (one on street)

*SLOPE ACROSS SITE = 19.8%
EXEMPTED FROM VISITABILITY PER ORDINANCE NUMBER 20140130-021 R3 20.7.1

*3 UNITS ON COMMERCIAL ZONING, THEREFOR MC MANSION DOES NOT APPLY

*RESIDENTIAL STRUCTURES AND USE, THEREFOR COMPATIBILITY DOES NOT APPLY PER 25-2-1052-A-1 OF LDC

*STRUCTURES ARE UNDER IRC 2015

*SUBCHAPTER E APPLIES BUT BUILDING PLACEMENT AND DESIGN STANDARDS ARE NOT APPLIED TO EXISTING BUNGALOW

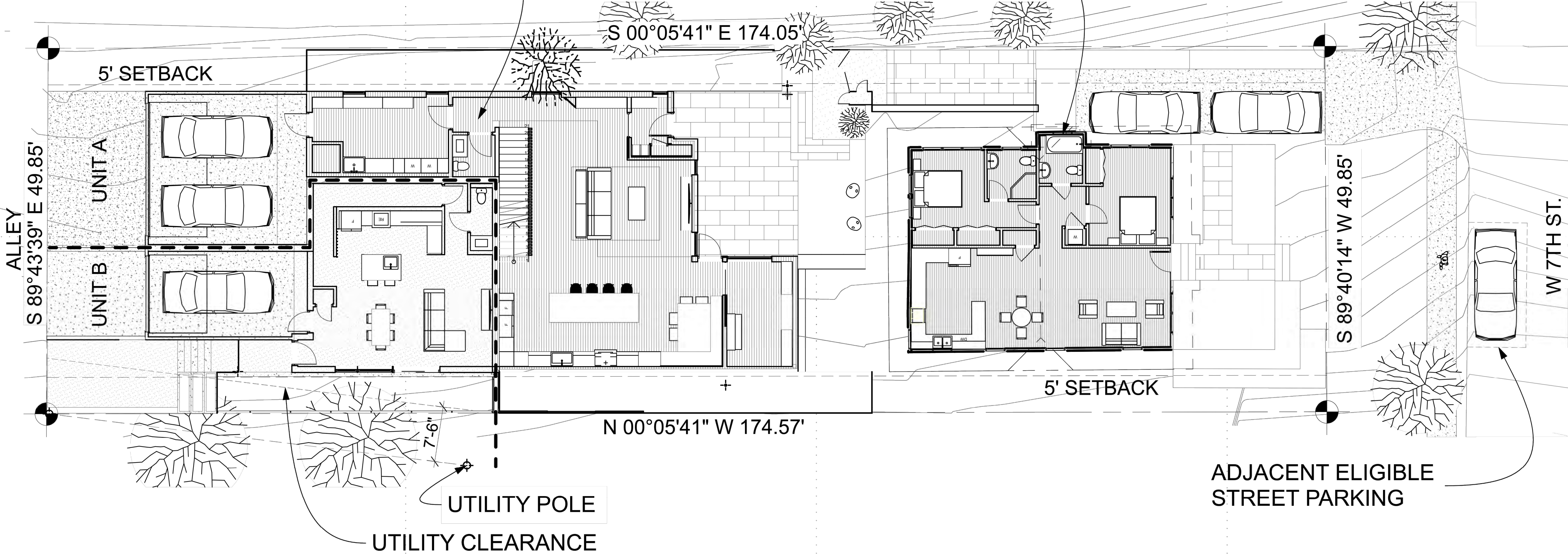


Scott Ginder - Texas Architect
Registration # 21234

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approval, permitting or construction

DUPLEX, NEW
CONSTRUCTION

EXISTING HOUSE,
RENOVATION ONLY,
FOOTPRINT TO REMAIN
UNCHANGED



W 7th Passive

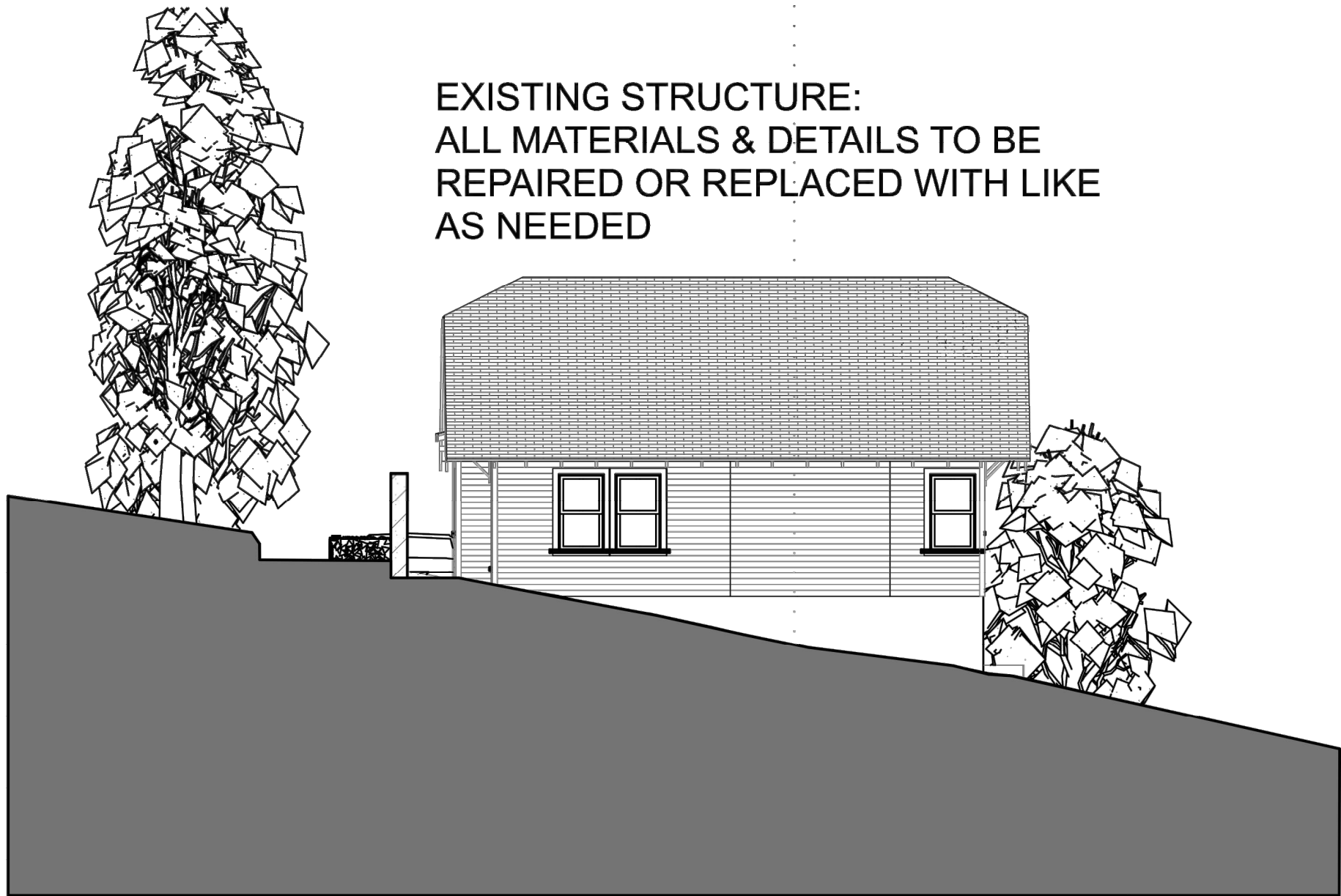
1118 W 7th St
Austin, TX 78703

REV DATE DESCRIPTION

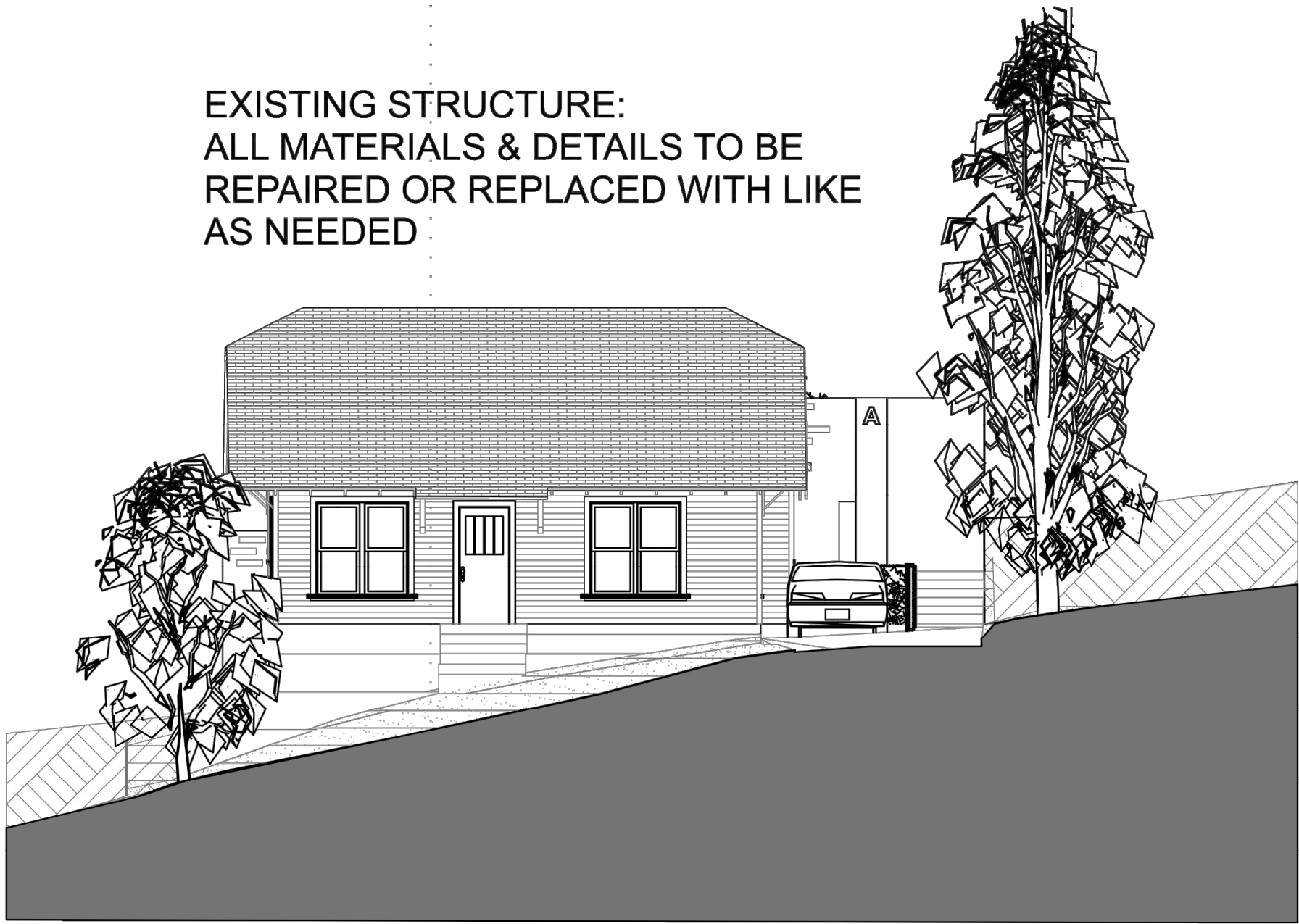
ISSUE:
PERMITTING
DATE:
5/27/20
PROJECT NUMBER:
2019-###
SHEET TITLE:
ARCHITECTUR
AL SITE

A0.10

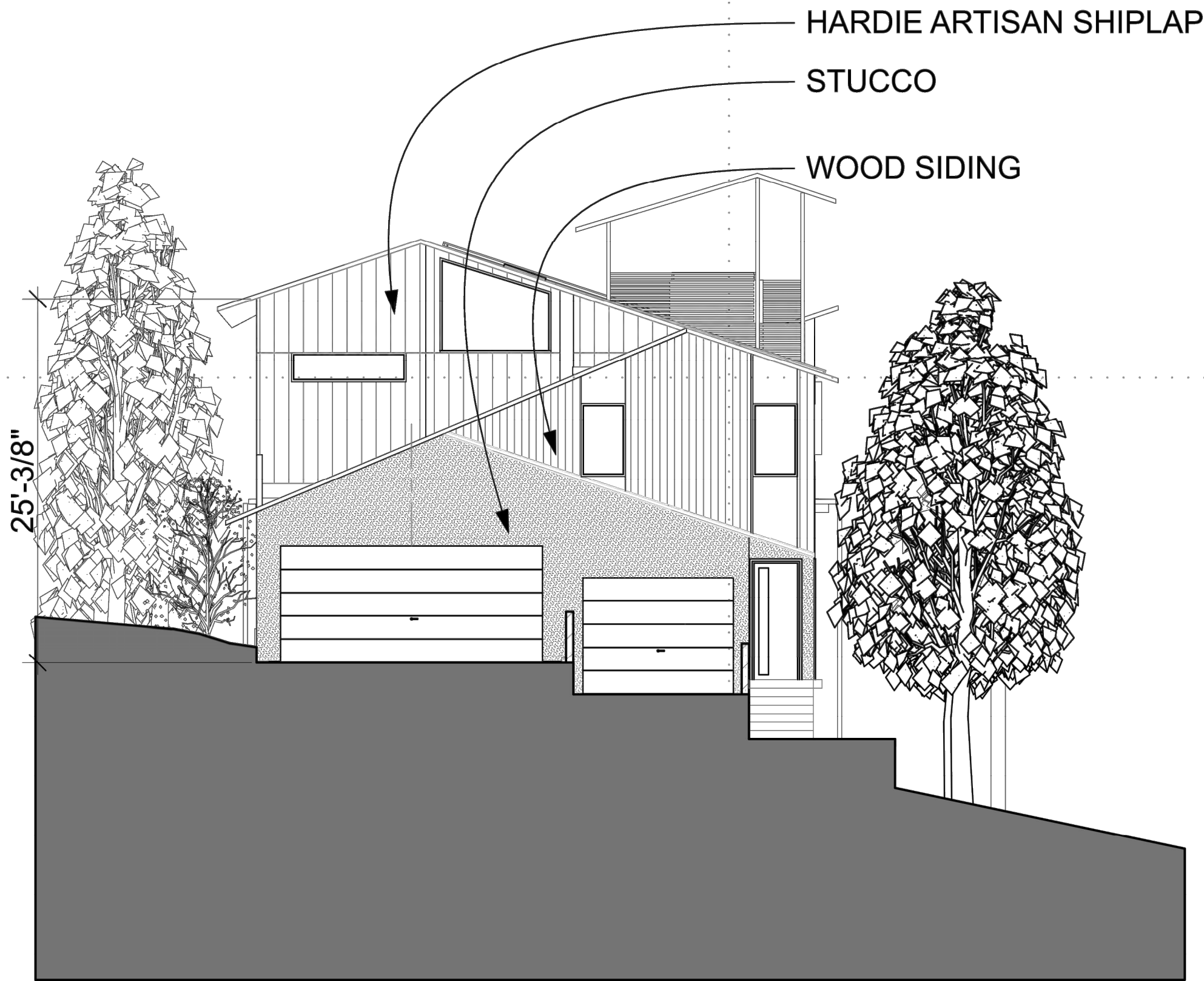
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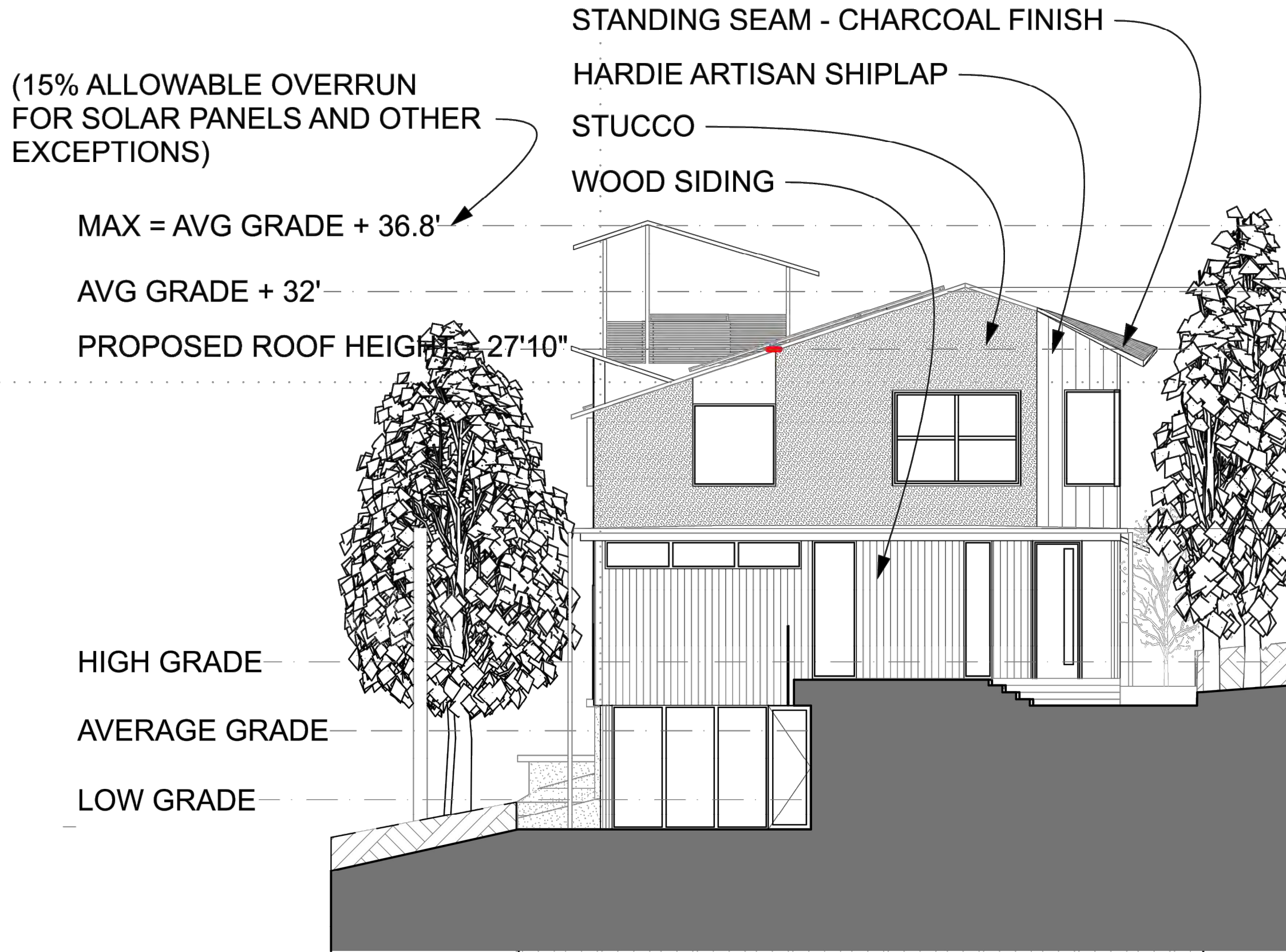
8 NORTH ELEVATION - EXISTING
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION - EXISTING
SCALE: 1/16" = 1'-0"



7 NORTH ELEVATION - ADDITION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION - ADDITION
SCALE: 1/16" = 1'-0"



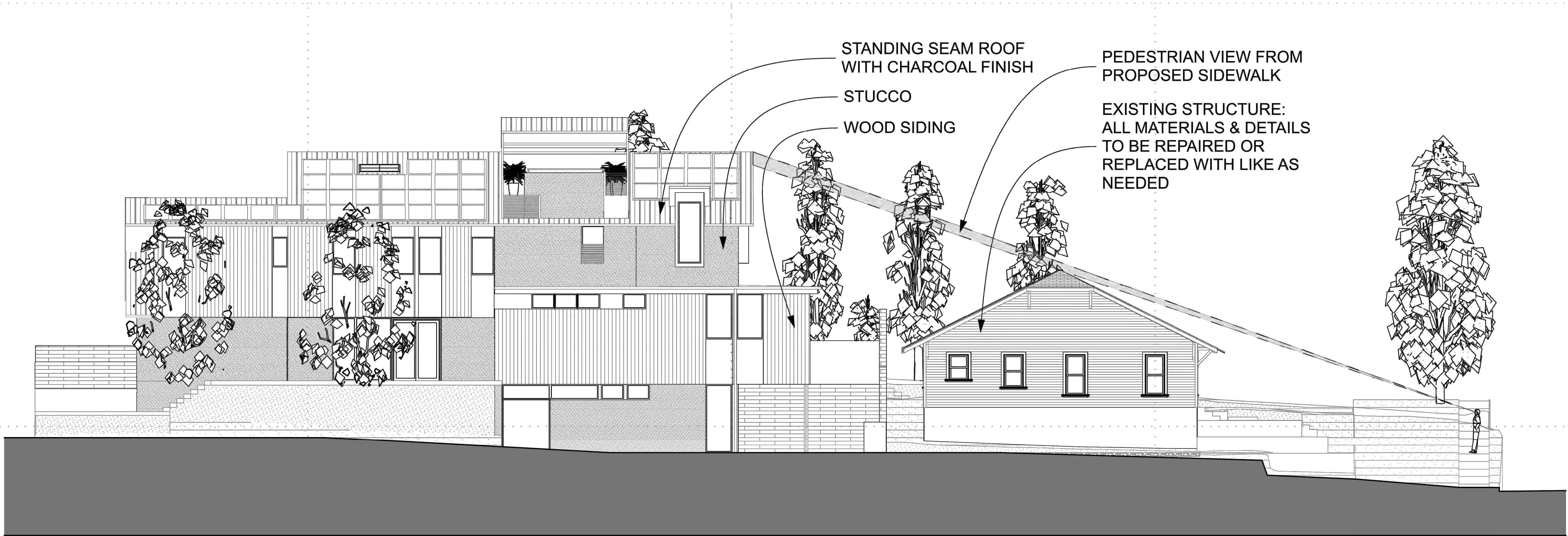
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W 7th Passive
1118 W 7th St
Austin, TX 78703

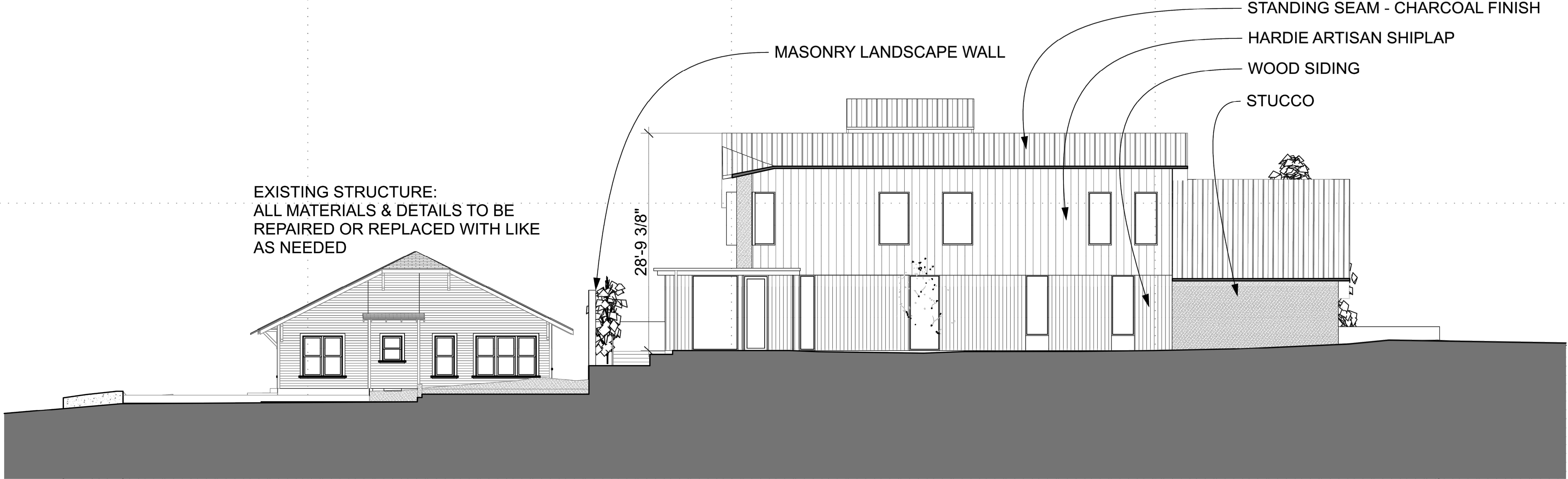
REV	DATE	DESCRIPTION
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ISSUE: PERMITTING
DATE: 5/27/20
PROJECT NUMBER: 2019-###
SHEET TITLE: BUILDING ELEVATIONS

A2.11



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



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W 7th Passive
1118 W 7th St
Austin, TX 78703

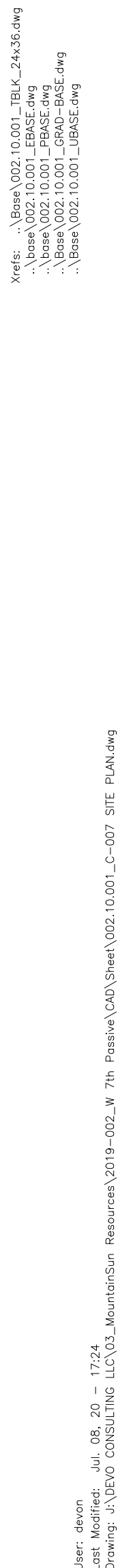
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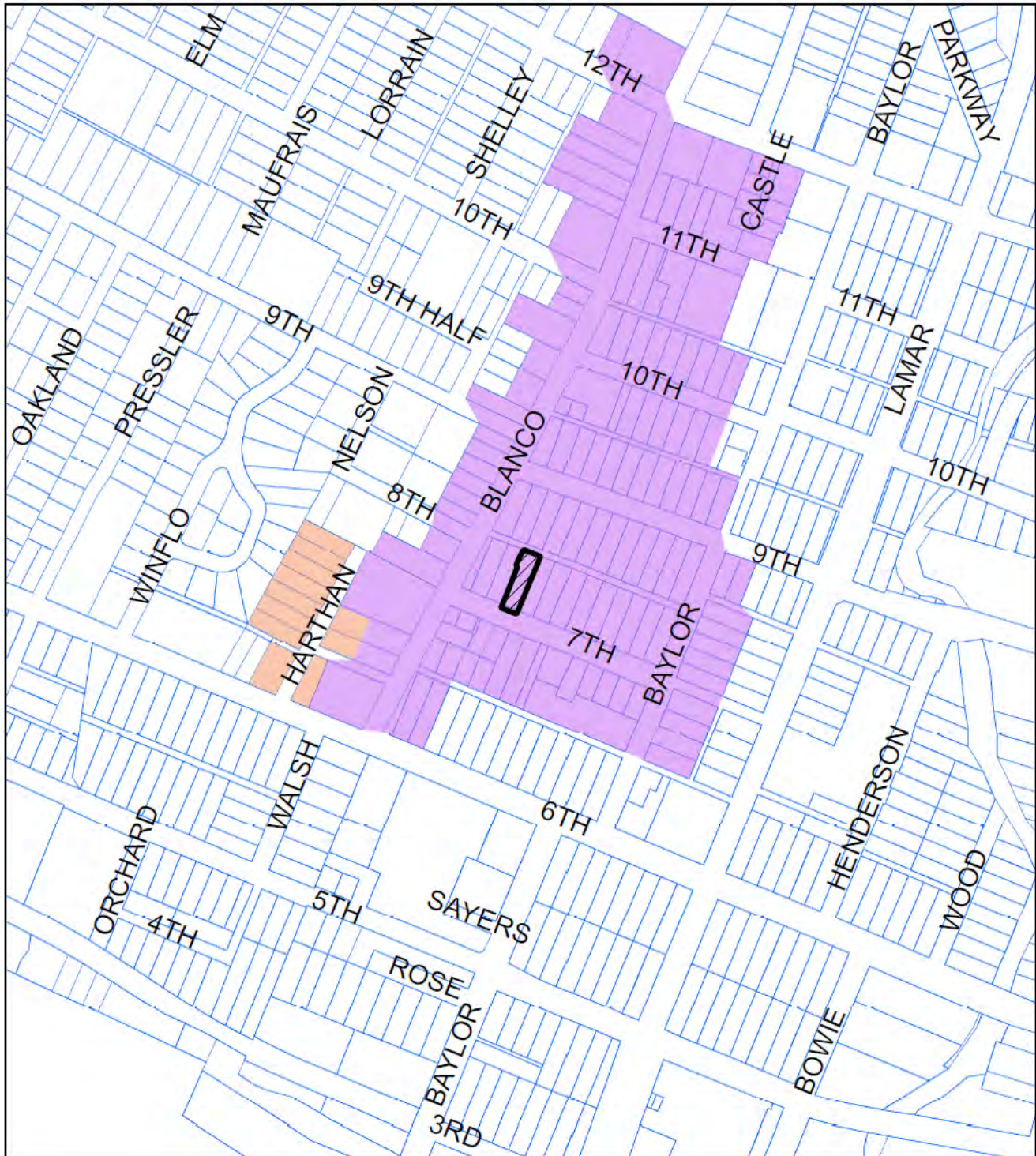
ISSUE:
PERMITTING
DATE:
5/27/20
PROJECT NUMBER:
2019-###
SHEET TITLE:



**BUILDING
ELEVATIONS**

A2.12

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 Subject Tract
 Base Map

CASE#: SP-2019-0559C
 LOCATION: 1118 W 7TH ST

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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