



CIRCUIT OF THE AMERICAS EXPANSION
9201 CIRCUIT OF THE AMERICAS BOULEVARD
AUSTIN, TRAVIS COUNTY, TEXAS 78617

RESTORATION PLANTING DETAILS

SHEET TITLE:

C007

C814-2018-0122

Type	Name (Species)
	American basketflower (<i>Centaurea americana</i>)
	Partridge pea (<i>Chamaecrista fasciculata</i>)
	Purple prairie clover (<i>Dalea purpurea</i> var. <i>purpurea</i>)
	Illinois bundleflower (<i>Desmanthus illinoensis</i>)
	Climbing coneflower (<i>Dracopis amplexicaulis</i>)
	Cuteleaf daisy (<i>Engelmannia peristensis</i>)
	Rattlesnake master (<i>Eryngium yuccifolium</i>)
	Indian blanket (<i>Gaillardia pulchella</i>)
	Prairie verberna (<i>Glendularia bipinnatifida</i> var. <i>bipinnatifida</i>)
	Common sunflower (<i>Helianthus annuus</i>)
	Standing cypress (<i>Ipomopsis rubra</i>)
	Texas yellow star (<i>Lindheimeria texana</i>)
	Lemon mint (<i>Monarda citriodora</i>)
	Foxglove (<i>Penstemon cubaeae</i>)
	Plains coreopsis (<i>Coreopsis tinctoria</i>)
	Black-eyed Susan (<i>Rudbeckia hirta</i>)
	Mealy blue sage (<i>Salvia farinacea</i>)
	White rosinweed (<i>Silphium albidiflorum</i>)

Additional Blackland Prairie Restoration Area Planting Plan

- Seed application rate to be 10 pounds per acre (Source: Native American Seed Company)
- Seeding to take place concurrently with planting of trees and shrubs.
- Diverse species mix is required.
- Mow area short, expose soil and till no more than 1 inch deep.
- Sow seeds so that seeds touch the soil and roll or pack.

Type	Name (Species)
Grasses*	Big bluestem (<i>Andropogon gerardi</i>)
	Broomseed bluestem (<i>Andropogon virginicus</i>)
	Sideoats grama (<i>Bouteloua curtipendula</i>)
	Buffalograss (<i>Bouteloua dactyloides</i>)
	Inland seaots (<i>Chasmananthum latifolium</i>)
	Hooded windmill grass (<i>Chloris cucullata</i>)
	Canada wildrye (<i>Elymus canadensis</i>)
	Virginia wildrye (<i>Elymus virginicus</i>)
	Sand lovegrass (<i>Eragrostis trichodes</i>)
	Texas cupgrass (<i>Eriochloa sericea</i>)
	Green sbrangletop (<i>Leptochloa dubia</i>)
	Switchgrass (<i>Panicum virgatum</i>)
	Florida paspalum (<i>Paspalum floridanum</i>)
	Plains bristleglass (<i>Setaria leucopila</i>)
	Little bluestem (<i>Schizachyrium scoparium</i>)
Forbs*	Indiangrass (<i>Sorghastrum nutans</i>)
	Sand dropseed (<i>Sporobolus cryptandrus</i>)
	White tridens (<i>Tridens albescens</i>)
	Purpletop (<i>Tridens flavus</i>)
	Eastern gamagrass (<i>Tripsacum dactyloides</i>)
	Prairie agalinis (<i>Agalinis heterophylla</i>)
	Rose milkweed (<i>Asclepias incarnata</i>)
	Showy milkweed (<i>Asclepias speciosa</i>)
	Butterflyweed (<i>Asclepias tuberosa</i>)
	Winecup (<i>Callirhoe involucrata</i>)
	Annual Winecup (<i>Callirhoe laeocarpa</i>)

Type	Name (Species)
	Prairie verbena (<i>Glandularia bipinnatifida</i> var. <i>bipinnatifida</i>)
	Common sunflower (<i>Helianthus annuus</i>)
	Standing cypress (<i>Ipomopsis rubra</i>)
	Texas yellow star (<i>Lindheimeri texana</i>)
	Lemon mint (<i>Monarda citriodora</i>)
	Foxglove (<i>Penstemon cobaea</i>)
	Plains coreopsis (<i>Coreopsis tinctoria</i>)
	Black-eyed Susan (<i>Rudbeckia hirta</i>)
	Mealy blue sage (<i>Salvia farinacea</i>)
	White rosinweed (<i>Silphium albidiflorum</i>)

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	Buffalograss (<i>Bouteloua dactyloides</i>)
	Inland seaoats (<i>Chasmanthium latifolium</i>)
	Hooded windmill grass (<i>Chloris cucullata</i>)
	Canada wildrye (<i>Elymus canadensis</i>)
	Virginia wildrye (<i>Elymus virginicus</i>)
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	Switchgrass (<i>Panicum virgatum</i>)
	Florida paspalum (<i>Paspalum floridanum</i>)
	Plains bristlegress (<i>Setaria leucopila</i>)
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	Winecup (<i>Callirhoe involucrata</i>)
	Annual Winecup (<i>Callirhoe leicarpa</i>)
	American basketflower (<i>Centaurea americana</i>)
	Partridge pea (<i>Chamaecrista fasciculata</i>)
	Purple prairie clover (<i>Dalea purpurea</i> var. <i>purpurea</i>)
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	Rattlesnake master (<i>Eryngium yuccifolium</i>)
	Indian blanket (<i>Gaillardia pinnellata</i>)

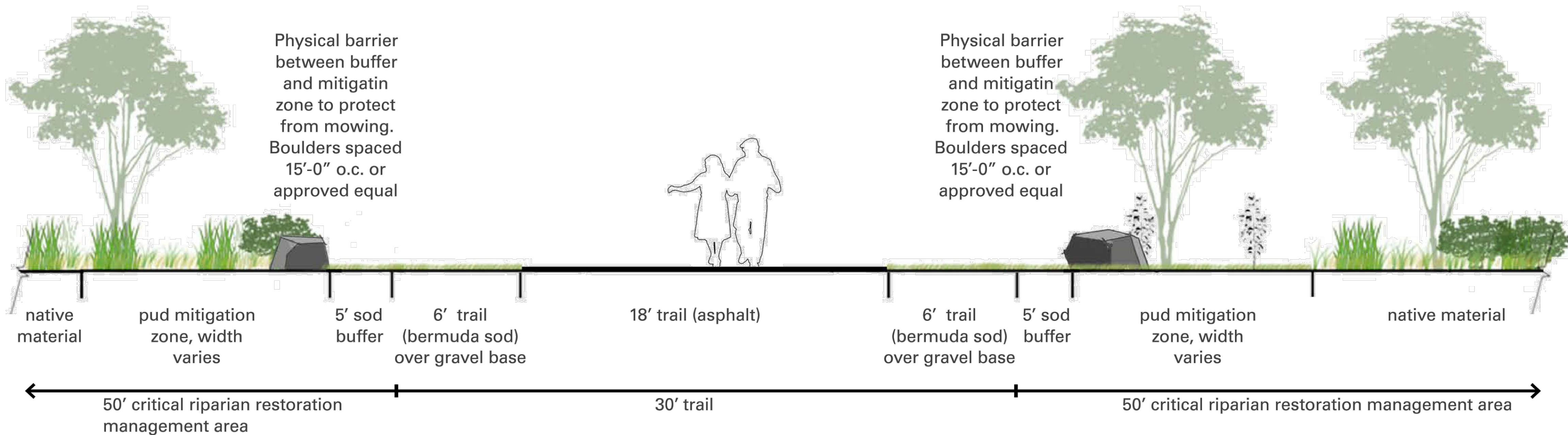
Trees & Shrubs

- Seedlings spaced 3' apart (4,840 seedlings/acr) with one large growing species for every two small growing species.
- Seedlings planted in the period between November and February.
- Diverse species mix is required. No species represents more than 20% within each size category.
- A 30% survival should be achieved and dead seedlings below the threshold shall be replaced within 1 year of initial planting.

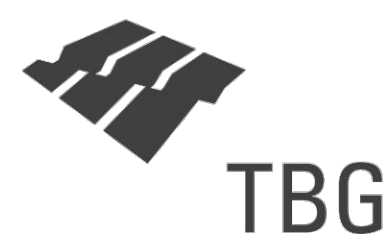
Type	Name (Species)	Percentage of type
Large Species	Eastern red cedar (<i>Juniperus virginiana</i>)	≤20
	Cedar Elm (<i>Ulmus crassifolia</i>)	≤20
	Eastern cottonwood (<i>Populus deltoides</i>)	≤20
	Pecan (<i>Carya illinoensis</i>)	≤20
	Black cherry (<i>Prunus serotina</i> var. <i>exima</i>)	≤20
	Sycamore (<i>Platanus occidentalis</i>)	≤20
Small Species	Common persimmon (<i>Diospyros virginiana</i>)	≤20
	Roughleaf dogwood (<i>Cornus drummondii</i>)	≤20
	Yaupon holly (<i>Ilex vomitoria</i>)	≤20
	Texas ash (<i>Fraxinus texana</i>)	≤20
	Texas mountain laurel (<i>Sophora secundiflora</i>)	≤20
	Whitebrush (<i>Aloysia gratissima</i>)	≤20
	Mexican plum (<i>Prunus mexicana</i>)	≤20
	Eastern redbud (<i>Cercis canadensis</i>)	≤20

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- Diverse species mix is required.
- Mow area short, expose soil and till no more than 1 inch deep.
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	Broomsedge bluestem (<i>Andropogon virginicus</i>)
	Sideoats grama (<i>Bouteloua curtipendula</i>)



*Revegetate critical riparian restoration management areas that have been clear cut. reference existing and proposed environmental mitigation sheet and restoration planting details for plant material species and spacing.



circuit of the
americas

CWQZ Trail Crossing and Mitigation Elevation

Austin, Texas
04/17/2020

Grow Green Native and Adapted Landscape Plants Invasive Species/Problem Plants

Trees

Ash, Texas *Fraxinus texensis*
 Arizona Cypress *Cupressus arizonica*
 Big Tooth Maple *Acer grandidentatum*
 Cypress, Bald *Taxodium distichum*
 Cypress, Montezuma *Taxodium mucronatum*
 Elm, Cedar *Ulmus crassifolia*
 Elm, Lacebark *Ulmus parvifolia*
 Honey Mesquite *Prosopis glandulosa*
 Oak, Bur *Quercus macrocarpa*
 Oak, Chinquapin *Quercus muhlenbergii*
 Oak, Southern Live *Quercus virginiana*

Oak, Escarpment Live *Quercus fusiformis*
 Oak, Lacey *Quercus glaucoides*
 Oak, Monterey (Mexican White) *Quercus polymorpha*
 Oak, Shumard *Quercus shumardii*
 Oak, Texas Red *Quercus texana* (*Quercus buckleyi*)
 Pecan *Carya illinoensis*
 Soapberry *Sapindus drummondii*

Small Trees/Large Shrubs

Anacacho Orchid Tree *Bauhinia congesta*
 Buckeye, Mexican *Ungnadia speciosa*
 Buckeye, Rec *Aesculus pavia*
 Carolina Buckthorn *Rhamnus caroliniana*
 Cherry Laurel *Prunus caroliniana*
 Crape Myrtle *Lagerstroemia indica*
 Desert Willow *Chilopsis linearis*
 Dogwood, Roughleaf *Cornus drummondii*
 Escarpment Black Cherry *Prunus serotina* var. *eximia*
 Eve's Necklace *Sophora affinis*
 Goldenball Leadtree *Leucaena retusa*
 Holly, Possumhaw *Ilex decidua*
 Holly, Yaupon *Ilex vomitoria*
 Mountain Laurel, Texas *Sophora secundiflora*

Persimmon, Texas *Diospyros texana*
 Pistachio, Texas *Pistacia texana*
 Plum, Mexican *Prunus mexicana*
 Pomegranate *Punica granatum*
 Redbud, Mexican *Cercis canadensis* 'mexicana'
 Redbud, Texas *Cercis canadensis* var. 'texensis'
 Retama Jerusalem Thorn *Parkinsonia aculeata*
 Senna, Flowering *Cassia corymbosa*
 Smoke Tree, American *Cotinus obovatus*
 Sumac, Flameleaf *Rhus lanceolata*
 Viburnum, Rusty Blackhaw *Viburnum rufidulum*
 Viburnum, Sandankwa *Viburnum suspensum*

Shrubs

Abelia, Glossy <i>Abelia grandiflora</i>	Nandina <i>Nandina domestica</i> 'Compacta nana' 'Gulf Stream'
Agarita <i>Berberis trifoliata</i>	Oleander <i>Nerium oleander</i>
Agave (Century Plant) <i>Agave sp.</i>	Palmetto <i>Sabal minor</i>
American Beautyberry <i>Callicarpa americana</i>	Prickly Pear <i>Opuntia engelmannii</i> var. <i>lindheimeri</i>
Artemisia <i>Artemisia</i> 'Powis Castle'	Rose, Belinda's Dream <i>Rosa</i> 'Belinda's Dream'
Barbados Cherry <i>Malpighia glabra</i>	Rose, Lamarne <i>Rosa</i> 'Lamarne'
Barberry, Japanese <i>Berberis thunbergii</i>	Rose, Livin' Easy <i>Rosa</i> 'Livin' Easy'
'Atropurpurea'	Rose, Marie Pavie <i>Rosa</i> 'Marie Pavie'
Basket Grass (Sacahuista) <i>Nolina texana</i>	Rose, Martha Gonzales <i>Rosa</i> 'Martha Gonzales'
Black Dalea <i>Dalea frutescens</i>	Rose, Mutabilis <i>Rosa</i> 'Mutabilis'
Bush Germander <i>Teucrium fruticans</i>	Rose, Nearly Wild <i>Rosa</i> 'Nearly Wild'
Butterfly Bush <i>Buddleia davidii</i>	Rose, Old Blush <i>Rosa</i> 'Old Blush'
Butterfly Bush, Woolly <i>Buddleia marrubifolia</i>	Rose, Perle d'or <i>Rosa</i> 'Perle d'or'
Coralberry <i>Symphoricarpos orbiculatus</i>	Rock Rose <i>Pavonia lasiopetala</i>
Cotoncaster <i>Cotoneaster sp.</i>	Rosemary <i>Rosmarinus officinalis</i>
Eleagnus <i>Eleagnus pungens</i>	Sage, Mountain <i>Salvia reglia</i>
Esperanza/Yellow Bells <i>Tecoma stans</i>	Sage, Texas (Cenizo) <i>Leucophyllum frutescens</i>
Flame Acanthus <i>Anisacanthus quadrifidus</i> var. <i>wrightii</i>	Senna, Lindheimer <i>Cassia lindheimeriana</i>
Fragrant Mimosa <i>Mimosa borealis</i>	Southern Wax Myrtle <i>Myrica cerifera</i>
Holly, Burford <i>Ilex cornuta</i> 'Burfordii'	Sumac, Evergreen <i>Rhus virens</i>
Holly, Dwarf Chinese <i>Ilex cornuta</i>	Sumac, Fragrant (Aromatic) <i>Rhus aromatica</i>
'Rotunda nana'	Texas Sotol <i>Dasylirion texanum</i>
Holly, Dwarf Yaupon <i>Ilex vomitoria</i>	Turk's Cap <i>Malvaviscus arboreus</i>
'Nana'	Yucca, Paleleaf <i>Yucca pallida</i>
Jasmine, Primrose <i>Jasminum mesnyi</i>	Yucca, Red <i>Hesperaloe parviflora</i>
Kidneywood <i>Eysenhardtia texana</i>	Yucca, softleaf <i>Yucca recurvifolia</i>
Lantana, Native <i>Lantana horrida</i>	Yucca, Twistleaf <i>Yucca rupicola</i>
Mistflower, Blue (Blue Boneset) <i>Eupatorium coelestinum</i>	
Mistflower, White (Shrubby White Boneset) <i>Ageratina havanense</i>	
Mock Orange <i>Philadelphus coronarius</i>	

Perennials

Black-eyed Susan <i>Rudbeckia hirta</i>	Lantana, Trailing <i>Lantana montevidensis</i>
Bulbine <i>B. frutescens</i> or <i>caulescens</i>	Marigold, Mexican Mint <i>Tagetes lucida</i>
Bush Morning Glory <i>Ipomoea fistulosa</i>	Obedient Plant, Fall <i>Physostegia virginiana</i>
Butterfly Weed <i>Asclepias tuberosa</i>	Oregano, Mexican <i>Poliomintha longiflora</i>
Butterfly Weed 'Mexican' <i>Asclepias curassivica</i>	Penstemon <i>Penstemon</i> sp.
Cast Iron Plant <i>Aspidistra elatior</i>	Phlox, Fragrant <i>Phlox pilosa</i>
Chile Pequin <i>Capsicum annuum</i>	Pink Skullcap <i>Scutellaria suffrutescens</i>
Cigar Plant <i>Cuphea micropetala</i>	Plumbago <i>Plumbago auriculata</i>
Columbine, Red <i>Aquilegia canadensis</i>	Poinciana, Red Bird of Paradise, Pride of Barbados
Columbine, Yellow <i>Aquilegia chrysantha</i> 'Texas Gold'	<i>Caesalpinia pulcherrima</i>
Coreopsis <i>Coreopsis lanceolata</i>	Primrose, Missouri <i>Oenothera macrocarpa</i>
Daisy, Blackfoot <i>Melampodium leucanthum</i>	Purple Coneflower <i>Echinacea purpurea</i>
Daisy, Copper Canyon <i>Tagetes lemmonii</i>	Ruellia <i>Ruellia brittoniana</i>
Damiantia <i>Crysactina mexicana</i>	Sage, Cedar <i>Salvia roemeriana</i>
Fall Aster <i>Aster oblongifolius</i>	Sage, Jerusalem <i>Phlomis fruticosa</i>
Fern, River <i>Thelypteris kunthii</i>	Sage, Majestic <i>Salvia guaranitica</i>
Firebush <i>Hamelia patens</i>	Sage, Mealy Blue <i>Salvia farinacea</i>
Gaura <i>Gaura lindeheimeri</i>	Sage, Mexican Bush <i>Salvia leucantha</i>
Gayfeather <i>Liatris mucronata</i>	Sage, Penstemon, Big Red Sage <i>Salvia penstemonoides</i>
Gregg Dalea <i>Dalea greggii</i>	Sage, Russian <i>Perovskia atricplifolia</i>
Hibiscus, Perennial <i>Hibiscus moscheutos</i> , <i>Hibiscus coccineus</i>	Sage, Scarlet or 'Tropical' <i>Salvia coccinea</i>
Honeysuckle, Mexican <i>Justicia spicigera</i>	Salvia, Gregg (Cherry Sage) <i>Salvia greggii</i>
Hymenoxys (Four Nerve Daisy) <i>Tetranneuris scaposa</i>	Shrimp Plant <i>Justicia brandegeana</i>
Indigo Spires <i>Salvia 'Indigo Spires'</i>	Texas Betony <i>Stachys coccinea</i>
Iris, Bearded <i>Iris albicans</i>	Verbena, Prairie <i>Verbena bipinnatifida</i>
Iris, Butterfly/Bicolor (African) <i>Dietes</i> sp.	Yarrow <i>Achillea millefolium</i>
Lamb's Ear <i>Stachys byzantina</i>	Zexmenia <i>Wedelia texana</i>
Lantana <i>Lantana x hybrida</i> (many varieties)	

Ornamental Grasses

Bluestem, Big <i>Andropogon gerardii</i>	Mexican Feathergrass (Wiregrass) <i>Stipa tenuissima</i>
Bluestem, Bushy <i>Andropogon glomeratus</i>	Muhly, Bamboo <i>Muhlenbergia dumosa</i>
Bluestem, Little <i>Schizachyrium scoparium</i>	Muhly, Big <i>Muhlenbergia lindheimeri</i>
Fountain Grass, Dwarf <i>Pennisetum alopecuroides</i>	Muhly, Deer <i>Muhlenbergia rigens</i>
Indian Grass <i>Sorghastrum nutans</i>	Muhly, Gulf <i>Muhlenbergia capillaris</i>
Inland Sea Oats <i>Chasmanthium latifolium</i>	Muhly, Seep <i>Muhlenbergia reverchonii</i>
	Sideoats Grama <i>Bouteloua curtipendula</i>
	Wild Rye <i>Elymus canadensis</i>

Vines

Asian Jasmine <i>Trachelospermum asiaticum</i>	Honeysuckle, Coral <i>Lonicera sempervirens</i>
Carolina Jessamine <i>Gelsemium sempervirens</i>	Lady Banksia Rose <i>Rosa banksiae</i>
Coral Vine <i>Antigonon leptopus</i>	Passion Vine <i>Passiflora incarnata</i>
Crossvine <i>Bignonia capreolata</i>	Trumpet Vine <i>Campsis radicans</i>
Fig Vine <i>Ficus pumila</i>	Virginia Creeper <i>Parthenocissus quinquefolia</i>

Groundcover

Aztec Grass <i>Ophiopogon japonicus</i>	Purple Heart <i>Secreasea pallida</i>
Frogfruit <i>Phyla incisa</i>	Santolina (Lavender Cotton) <i>Santolina chamaecyparissus</i>
Horseherb <i>Calypiocarpus vialis</i>	Sedge, Berkeley <i>Carex tumulicola</i>
Leadwort <i>Plumbago Ceratostigma plumbaginoides</i>	Sedge, Meadow <i>Carex perdentata</i>
Liriope <i>Liriope muscari</i>	Sedge, Texas <i>Carex texensis</i>
Monkey Grass (Mondo Grass) <i>Ophiopogon japonicus</i>	Sedum (Stonedrop) <i>Sedum nuttallianum</i>
Oregano <i>Origanum vulgare</i>	Silver Ponyfoot <i>Dichondra argentea</i>
Periwinkle, Littleleaf <i>Vinca minor</i>	Wooly Stemodia <i>Stemodia lanata</i> (<i>Stemodia tomentosa</i>)
Pigeonberry <i>Rivina humilis</i>	

Turf Grasses

Bermuda 'Tif 419', 'Sahara', 'Baby', 'Common'
Buffalo '609', 'Stampede', 'Prairie'
St. Augustine 'Baby', 'Common', 'Raleigh', 'Delmar'
Zoysia, Fine Leaf 'Matrella', 'Emerald', 'Zorro'
Zoysia, Coarse Leaf 'Japonica', 'Jamur', 'El Toro', 'Palis'

Invasive Species/Problem Plants

PLANTS TO AVOID

INVASIVES

(Plants that are non-native to the Central Texas ecosystem and tend to out-compete native species)

Do Not Plant

(Travel by seeds, berries, and spores so can be transported long distances. They have already invaded preserves and greenbelts):

- Arizona Ash
- Chinaberry
- Chinese Pistache
- Chinese Tallow
- Chinese Privet
- Elephant Ear
- Holly Fern
- Japanese Honeysuckle
- Ligustrum, Wax Leaf
- Mimosa
- Mulberry, Paper
- Nandina (large, berrying varieties)
- Photinia, Chinese
- Pyracantha
- Tamarisk
- Tree of Heaven

Do Not Plant Near Parks/Preserves/Greenbelts

(travel by runners, rhizomes, and stems so only invade neighboring areas):

- Bamboo
- English Ivy
- Vinca (Periwinkle)

PROBLEM TREES AND SHRUBS

(Typically fast-growing, highly adaptable, but often have weak wood and are short-lived. Most are susceptible to insect and disease problems.)

- | | |
|--|-------------------|
| • Arizona Ash | Mimosa |
| • Azalea (not adapted to Austin soils) | Mulberry, Paper |
| • Boxelder | Photinia, Chinese |
| • Camellia | Siberian Elm |
| • Chinaberry | Silver Maple |
| • Chinese Privet | Sweetgum |
| • Chinese Tallow | Sycamore |
| • Cottonwood | Tree of Heaven |
| • Ligustrum | |
| • Lombardy Poplar | |

REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
FORT WORTH DISTRICT, CORPS OF ENGINEERS
P.O. BOX 17300
FORT WORTH, TEXAS 76102-0300

December 29, 2010

Planning, Environmental, and Regulatory Division
Regulatory Branch

SUBJECT: Project Number SWF-2010-00406, Formula One Race Track, Travis County, Texas

Mr. Shannon Dorsey
Horizon Environmental Services, Inc.
1507 South IH 35
Austin, Texas 78741

Dear Mr. Dorsey:

Thank you for your letter received August 12, 2010, and subsequent submittals dated November 29, 2010, December 22, 2010, and December 28, 2010, concerning a proposal by Land Accelerator, LLC to build a Formula One race track and ancillary facilities located east of McAngus Road and south of Elroy Road in the City of Del Valle, Travis County, Texas. This project has been assigned Project Number SWF-2010-00406. Please include this number in all future correspondence concerning this project.

Under Section 404 of the Clean Water Act the U. S. Army Corps of Engineers (USACE) regulates the discharge of dredged and fill material into waters of the United States, including wetlands. USACE responsibility under Section 10 of the Rivers and Harbors Act of 1899 is to regulate any work in, or affecting, navigable waters of the United States. Based on your description of the proposed work, and other information available to us, we have determined this project will involve activities subject to the requirements of Section 404. The USACE based this decision on a preliminary jurisdictional determination that there are waters of the United States on the project site.

We have reviewed this project under the pre-construction notification procedures of Nationwide Permit General Condition 27 (Federal Register, Vol. 72, No. 47, Monday, March 12, 2007, and corrections in Federal Register Vol. 72, No. 99, Tuesday, May 8, 2007). We have determined this project is authorized by Nationwide Permit 39 for Commercial and Institutional Developments. To use this permit, the permittee must ensure the work is in compliance with the specifications and conditions listed on the enclosures and the special conditions listed below.

1. The permittee shall not undertake work affecting waters of the US until the USACE has verified the requirements of 33 CFR 325 (Appendix C) and 36 CFR 800 have been satisfied.
2. The permittee shall implement and abide by the mitigation plan titled "Mitigation Plan, Formula 1 Track Development, Austin, Travis County, Texas," prepared by Horizon

Environmental Services, Inc., dated December 28, 2010. The permittee shall implement the mitigation plan concurrently with the construction of the project and complete the initial construction and plantings associated with the mitigation work prior to completion of construction of the project. Completion of all elements of this mitigation plan is a requirement of this permit.

3. The permittee shall be responsible for maintaining the mitigation area to comply with Special Condition 2 above, until such time as the permittee provides documentation to, and receives verification from, the USACE, that areas within the mitigation area intended to become:
 - a. waters of the United States meet the definition of a waters of the United States under the Regulatory Program regulations;
 - b. waters of the United States are functioning as the intended type of waters of the United States and at an acceptable level of ecological performance; and
 - c. buffer, riparian zones, and other areas integral to the enhancement of the aquatic ecosystem are functioning as the intended type of ecosystem component and at an acceptable level of ecological performance.

Failure to comply with these specifications and conditions invalidates the authorization and may result in a violation of the Clean Water Act.

We have determined the proposed activity would comply with all the terms and conditions of Nationwide Permit 39 and that the adverse environmental effects of the proposed project would be minimal both individually and cumulatively. Therefore, we are waiving the 300-linear foot limit for loss of streambed in this case.

Our verification for the construction of this activity under this nationwide permit is valid until March 18, 2012, unless prior to that date the nationwide permit is suspended, revoked, or modified such that the activity would no longer comply with the terms and conditions of the nationwide permit on a regional or national basis. The USACE will issue a public notice announcing the changes when they occur. Furthermore, activities that have commenced, or are under contract to commence, in reliance on a nationwide permit will remain authorized provided the activity is completed within 12 months of the date of the nationwide permit's expiration, modification, or revocation, unless discretionary authority has been exercised on a case-by-case basis to modify, suspend, or revoke the authorization in accordance with 33 CFR 330.4(e) and 33 CFR 330.5(c) or (d). Continued confirmation that an activity complies with the specifications and conditions, and any changes to the nationwide permit, is the responsibility of the permittee.

Our review of this project also addressed its effects on threatened and endangered species. Based on the information provided, we have determined this project will not affect any species listed as threatened or endangered by the U.S. Fish and Wildlife Service within our permit area. However, please note you are responsible for meeting the requirements of General Condition 17 on endangered species.

The permittee must sign and submit to us the enclosed certification that the work, including any proposed mitigation, was completed in compliance with the nationwide permit. The

permittee should submit the certification within 30 days of the completion of work.

This permit should not be considered as an approval of the design features of any activity authorized or an implication that such construction is considered adequate for any purpose intended. It does not authorize any damages to private property, invasion of private rights, or any infringement of federal, state, or local laws or regulations.

Thank you for your interest in our nation's water resources. If you have any questions concerning our regulatory program, please refer to our website at <http://www.swf.usace.army.mil/regulatory> or contact Mr. Frederick Land at the address above or telephone (817) 886-1729.

Please help the Regulatory Program improve its service by completing the survey on the following website: <http://per2.nwp.usace.army.mil/survey.html>.

Sincerely,



for Stephen L. Brooks
Chief, Regulatory Branch

Enclosures

Copy Furnish (with enclosures):

Mr. Kurt Rechner
Land Accelerator, LLC
5908 Overlook Drive
Austin, Texas 78731



Carbon Impact Statement

Project:

Scoring Guide:

1-4: Business as usual

5-8: Some positive actions

9-12: Demonstrated leadership



	Response: Y=1, N=0	Documentation: Y/N
<u>Transportation</u>		
T1: Public Transit Connectivity	<input type="text" value="0"/>	<input type="text" value="N"/>
T2: Bicycle Infrastructure	<input type="text" value="1"/>	<input type="text" value="Y"/>
T3: Walkability	<input type="text" value="0"/>	<input type="text" value="N"/>
T4: Utilize TDM Strategies	<input type="text" value="1"/>	<input type="text" value="Y"/>
T5: Electric Vehicle Charging	<input type="text" value="1"/>	<input type="text" value="Y"/>
T6: Maximize Parking Reductions	<input type="text" value="1"/>	<input type="text" value="Y"/>
<u>Water + Energy</u>		
WE1: Onsite Renewable Energy	<input type="text" value="0"/>	<input type="text" value="N"/>
WE2: Reclaimed Water	<input type="text" value="1"/>	<input type="text" value="Y"/>
<u>Land Use</u>		
LU1: Imagine Austin Activity Center or Corridor	<input type="text" value="1"/>	<input type="text" value="Y"/>
LU2: Floor-to-Area Ratio	<input type="text" value="1"/>	<input type="text" value="Y"/>
<u>Food</u>		
F1: Access to Food	<input type="text" value="0"/>	<input type="text" value="N"/>
<u>Materials</u>		
M1: Adaptive Reuse	<input type="text" value="0"/>	<input type="text" value="N"/>
<u>Total Score:</u>		

The Carbon Impact Statement calculation is a good indicator of how your individual buildings will perform in the Site Category of your Austin Energy Green Building rating.

Notes: Brief description of project, further explanation of score and what it means

- T1. Is any functional entry of the project within 1/4 mile walking distance of existing or planned bus stop(s) serving at least two bus routes, or within 1/2 mile walking distance of existing or planned bus rapid transit stop(s), or rail station(s)? [There is currently not public transportation in the area.](#)
- T2. Is there safe connectivity from the project site to an “all ages and abilities bicycle facility” as listed in the Austin Bicycle Master Plan? [Yes, a shared use path is planned in alignment with the Austin Bicycle Master Plan.](#)
- T3. Is the property location “very walkable” with a minimum Walk Score of 70 (found at [walkscore.com](https://www.walkscore.com)), or will the project include at least five new distinct basic services (such as a bank, restaurant, fitness center, retail store, daycare, or supermarket)?
- T4. Does the project utilize two or more of the following Transportation Demand Management strategies: unbundling parking costs from cost of housing/office space, providing shower facilities, providing secured and covered bicycle storage, and/or providing 2+ car sharing parking spaces for City-approved car share programs? [Yes, TDM is planned but has not yet been defined.](#)
- T5. Will the project include at least one DC Fast Charging electric vehicle charging station?
[We are considering installing charging stations, but cannot commit at this time.](#)
- T6. Does the project utilize existing parking reductions in code to provide 20% less than the minimum number of parking spaces required under the current land development code (or 60% less than the code’s base ratios if there is no minimum parking capacity requirement)?
[The project will be pursuing shared parking.](#)
- WE1. Will the project include on-site renewable energy generation to offset at least 1% of building electricity consumption? [While on-site renewable energy is not proposed at this time, the roofs will be solar-ready.](#)
- WE2. Will the project include one or more of the following reclaimed water systems: large scale cisterns, onsite grey or blackwater treatment, and reuse or utilization of Austin Water Utility's auxiliary water system to eliminate the use of potable water on landscape/irrigation? [We are considering rainwater harvesting, but this has not been completely vetted.](#)
- LU1. Is the proposed project site located within one of the centers or corridors as defined in the Imagine Austin Comprehensive Plan Growth Concept Map? [Yes, the Project is located in a designated Job Center.](#)
- LU2. If located in an Imagine Austin activity center or corridor, will the proposed project use at least 90% of its entitled amount of floor-to-area ratio? [We intend to use at least 90% of proposed FAR.](#)
- F1. Will the project include a full service grocery store onsite, or is one located within 1 mile of the project, or will the project integrate opportunities for agriculture to the scale as defined by Austin Energy Green Building?
- M1. Will the project reuse or deconstruct existing buildings on the project site?



MEMORANDUM

Date: June 19, 2020
To: Sherri Sirwaitis, Case Manager
CC: Dan Hennessey, P.E., WGI; Curtis Beaty, P.E., ATD; Joan Jenkins EIT, ATD;
Amber Mitchell, ATD
Reference: Circuit of the Americas PUD
Transportation Impact Analysis Final Memo
C814-2018-0122

Summary of the Transportation Impact Analysis (TIA):

The Austin Transportation Department (ATD) has thoroughly reviewed the “*Circuit of the Americas Expansion*” TIA dated June 18, 2020, prepared by WGI. Note that for this particular case, specific sections of the TIA were submitted for early review as they became available due to the significant extent of the analysis. ATD then reviewed the final TIA to ensure consistency with the previously approved sections. The proposed development includes a 358-room hotel, a 150-room hotel, water slide park with 416 parking spaces, soccer complex with 11 fields, 30 dwelling units of recreational homes, 150,000 SF of general office, 50,000 SF of shopping center, 120,000 SF of general light industrial, 70,000 SF of museum, a 170,000 SF indoor sports facility, and a 20,000 SF e-sports arena. This development is located in southeast Austin on Circuit of the Americas Boulevard between FM 812 and Elroy Road. The development is anticipated to be completed in two phases with build-out years of 2021 and 2026 for Phase 1 and Phase 2, respectively.

Below is a summary of our review findings and recommendations:

1. The applicant shall design, construct, and fund 100% of the improvements identified in Table 2 as part of their first site development application for Phase 1. No temporary certificate of occupancy (TCO) or certificate of occupancy (CO) shall be issued until the construction of the identified improvements is complete. Note: Cost estimates **should not** be assumed to represent the maximum dollar value of improvements the applicant may be required to construct.
2. The applicant shall also design, construct, and fund 100% of the improvements identified in Table 3, excluding the Kellam Road widening project, as part of their site development applications for Phase 2. Off-site improvements shall be included in the first site plan for each identified Planning Area based on the Planning Areas Map shown in Attachment B. No temporary certificate of occupancy (TCO) or certificate of occupancy (CO) shall be issued until the construction of the identified improvements is complete. Note: Cost estimates **should not** be assumed to represent the maximum dollar value of improvements the applicant may be required to construct.

3. If at the time of site plan it is determined by the Authority (government entity corresponding to the specific improvements) that the triggered improvements are already constructed or if other improvements noted in the TIA are deemed higher priority, then a fee-in-lieu payment for the estimated cost of the triggered improvements shall be made to the respective government entity.
4. The applicant shall contribute a fee-in-lieu payment to Travis County for the construction of an additional southbound through lane on Kellam Road between Pearce Lane and Elroy Road for each site plan application in Phase 2. The fee-in-lieu amount shall be determined by calculating the percentage of unadjusted site trips versus the most recent estimate of total trips to be generated by all Phase 2 land uses and applying that percentage to the estimated improvement cost of \$2,727,273. Note that the current edition of the ITE Trip Generation Manual at time of site plan shall be used to calculate the unadjusted site trips.
5. Development of this property should not vary from the approved uses or deviate from the approved intensities and estimated traffic generation assumptions within the finalized TIA document, including land uses, trip generation, trip distribution, traffic controls, driveway locations, and other identified conditions. Any change in the assumptions made to the TIA document shall be reviewed by ATD and may require a new or updated TIA/addendum.
6. The applicant shall provide an electronic copy of the final TIA report, including all supplemental documents, before 3rd reading.
7. The findings and recommendations of this TIA memorandum remain valid until the end of the Phase 2 buildout year, December 31, 2026, after which a revised TIA or addendum may be required.

Assumptions

1. The development will consist of two phases with build-out years of 2021 and 2026 for Phase 1 and Phase 2, respectively.
2. Based on TxDOT AADT volume data, a five (5) percent annual growth rate was assumed to account for the increase in background traffic.
3. Below are the background projects that were assumed to contribute trips to the surrounding roadway network in addition to forecasted traffic for 2021 and 2026:
 - Lexington Parke
 - Elroy Retail

Trip Generation and Land Use

Based on the Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition) and trip generation studies for the indoor sports facility and e-sports arena, the development will generate approximately 15,342 unadjusted average daily vehicles trips (ADT) at full build out as shown in Table 1.

Table 1 – Trip Generation

Proposed Land Use (ITE Code)	Size	24-Hour Two Way Volume	AM Peak Hour		PM Peak Hour	
			Enter	Exit	Enter	Exit
Phase 1 Land Uses						
Hotel (310)	358 Rooms	2,993	99	69	110	105
Water Slide Park (416)	416 Parking Spaces	944	23	10	24	92
Subtotal		3,937	122	79	134	197
Phase 2 Land Uses						
Soccer Complex (488)	11 Fields	785	7	4	119	62
Hotel (310)	150 Rooms	1,254	42	29	46	44
Recreational Homes (260)	30 DU	104	5	2	3	5
General Office (710)	150 kSF	1,572	144	23	27	140
Shopping Center (820)	50 kSF	3,752	110	67	156	169
General Light Industrial (110)	120 kSF	513	45	6	5	37
Museum (580)	70 kSF	130	17	3	2	11
Indoor Sports Facility (Custom Rate)	170 kSF	3,107	185	68	207	122
E-Sports Arena (Custom Rate)	20 kSF	188	1	2	16	3
Subtotal		11,405	556	204	581	593
Total		15,342	678	283	715	790

Summary of Recommended Improvements

Mitigation for this development has been split between the two proposed phases. Specific improvements were identified for each phase in the TIA report to accurately assess the timing and priority of said improvements. Phase 1 is identified as including the 358-room hotel and water park. Improvements associated with Phase 1 are to be shown on the first site plan application and constructed before the TCO or CO is issued. Table 2 below summarizes the improvements associated with Phase 1.

For Phase 2, a mitigation phasing agreement was established to ensure that improvements are being constructed proportional to the level of development activity occurring. Identified improvements for Phase 2 have been tied to specific development Planning Areas based on the Planning Areas Map shown in Attachment B. A TIA Waiver Letter will be required with all site plan applications to determine which improvements, if any, are triggered and ensure the development continues to comply with the requirements of this TIA memo.

For the first site plan application associated with each Planning Area, all improvements tied to that Planning Area, as listed in Table 3, shall be shown on the site plan application and

constructed before the TCO or CO is issued. Note that the land uses from Phase 1 do not count towards triggering improvements from Phase 2.

For all site plan applications in Phase 2, a fee-in-lieu payment to Travis County shall be required for the construction of a southbound through lane on Kellam Road from Pearce Lane to Elroy Road. This fee-in-lieu amount will be assessed based on the percentage of unadjusted site trips versus the most recent estimate for the total trips to be generated by all Phase 2 land uses. Note that the current edition of the ITE Trip Generation Manual at time of site plan shall be used to calculate the unadjusted site trips. Information regarding the fee-in-lieu amount shall be included in the TIA Waiver Letters mentioned above.

Table 2 – Phase 1 Improvements

Intersection	Improvement	Estimated Cost	Improvement Trigger
Elroy Road & Circuit of the Americas Boulevard / Kellam Road	Design and construct a traffic signal	\$250,000	First site plan in Phase 1
	Restripe the northbound Circuit of the Americas Boulevard approach to provide dual left-turn lanes	\$12,500	First site plan in Phase 1
	Design and construct a dedicated eastbound right-turn lane on Elroy Road (300-ft storage)	\$102,272	First site plan in Phase 1
Pearce Lane & Kellam Road	Design and construct a dedicated eastbound left-turn lane on Pearce Lane (300-ft storage)	\$102,272	First site plan in Phase 1
	Design and construct a dedicated westbound left-turn lane on Pearce Lane (300-ft storage)	\$102,272	First site plan in Phase 1
	Design and construct a dedicated westbound right-turn lane on Pearce Lane (200-ft storage)	\$68,182	First site plan in Phase 1
	Modify signal equipment	\$25,000	First site plan in Phase 1
FM 812 & Circuit of the Americas Boulevard	Design and construct a traffic signal	\$250,000	First site plan in Phase 1
FM 973 (Clinger Road) & FM 812	Design and construct a dedicated eastbound right-turn lane on FM 973 (Clinger Road) (250-ft storage)	\$85,227	First site plan in Phase 1
Total		\$997,725	

Note: No temporary certificate of occupancy (TCO) or certificate of occupancy (CO) shall be issued until the construction of the identified improvements is complete.

Table 3 – Phase 2 Improvements

Planning Area	Improvement (Construction)				Improvement (Fee-In-Lieu)
	Intersection	Improvement	Estimated Cost	Improvement Trigger	
1	N/A	N/A	N/A	N/A	Design and construct an additional southbound through lane from Pearce Lane to Elroy Road Total estimated cost: \$2,727,273
2	FM 973 (Clinger Road) & FM 812	Design and construct a traffic signal	\$250,000	First site plan	
3	Pearce Lane & Wolf Lane	Design and construct a traffic signal	\$250,000	First site plan	
4	N/A	N/A	N/A	N/A	
5	Pearce Lane & Ross Road	Design and construct a dedicated eastbound left-turn lane on Pearce Lane (500-ft storage) and modify signal equipment	\$200,000	First site plan	Each site plan, regardless of Planning Area, shall contribute a fee-in-lieu payment to Travis County based on the percentage of unadjusted site trips versus the most recent estimate of total trips to be generated by all Phase 2 land uses. The current edition of the ITE Trip Generation Manual at time of site plan shall be used to calculate unadjusted site trips
6	FM 812 & SH 130 Frontage Roads	Design and construct traffic signals at both frontage road intersections	\$350,000	First site plan	
7	FM 812 & Elroy Road	Design and construct a traffic signal	\$250,000	First site plan	
8	N/A	N/A	N/A	N/A	
Total			\$1,300,000		\$2,727,273

Note: For each site plan in Phase 2, no temporary certificate of occupancy (TCO) or certificate of occupancy (CO) shall be issued until the construction of the identified improvements is complete and the appropriate fee-in-lieu amount is paid.

Again, it should be noted that the applicant shall design and construct all the improvements (except the road widening improvement to Kellam Road) noted in Table 2 and Table 3 above with the funding solely from the applicant. For the roadway widening improvement to Kellam Road, the applicant shall contribute fee-in-lieu mitigation payments to Travis County for every site plan application associated with Phase 2. The cost estimates noted in the tables above are planning level cost estimates for the purpose of discussion and review only. The cost estimates noted in the tables shall not be assumed to represent the maximum dollar value of improvements the applicant is required to construct.

If you have any questions or require additional information, please contact me at 512-974-1449.

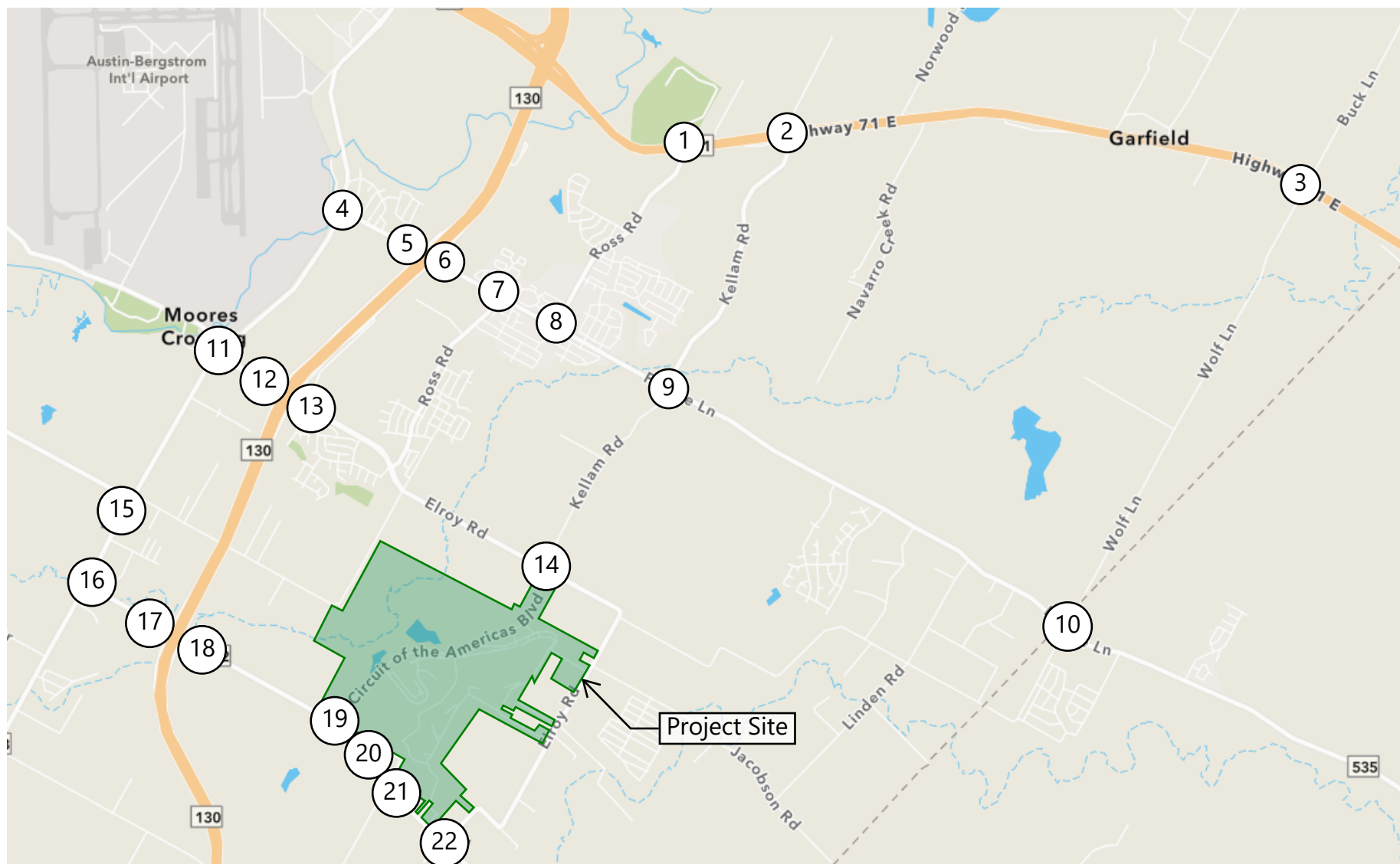


Justin Good, P.E.

Austin Transportation Department

EXHIBIT A
SITE LOCATION MAP

Figure
Study Area



Key

(X) Study Intersection

EXHIBIT B
PLANNING AREAS MAP

Figure
COTA Planning Areas Map

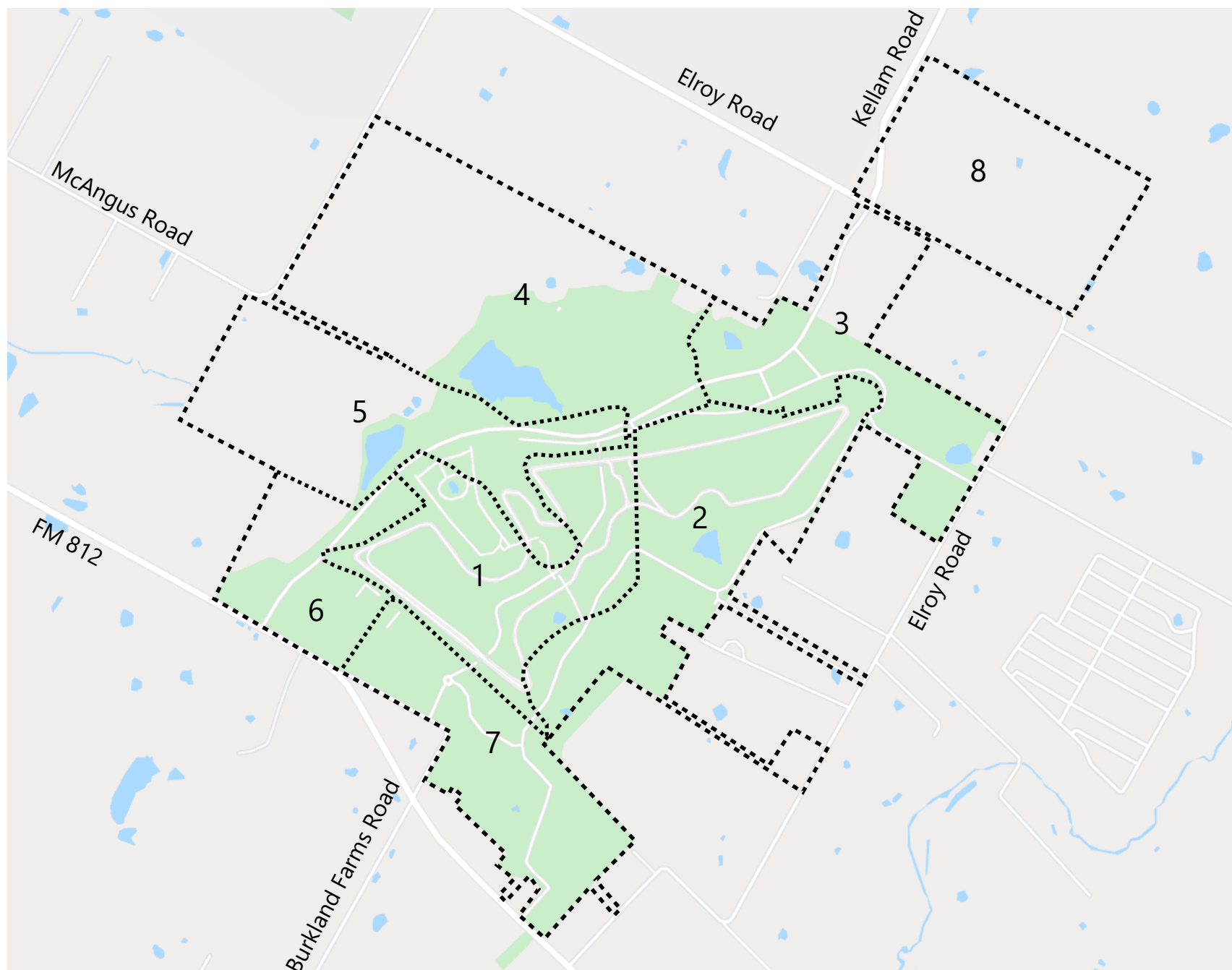
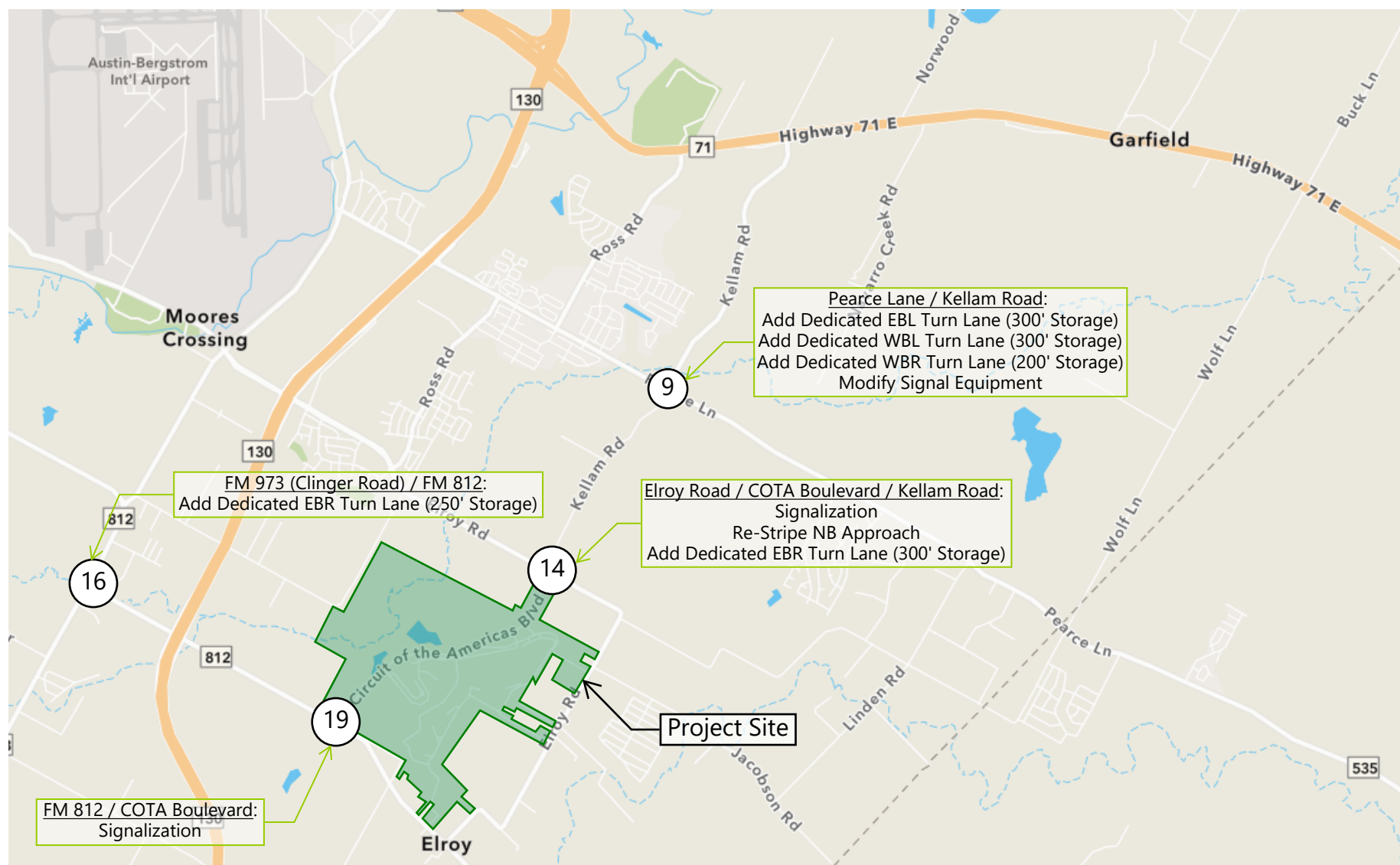


EXHIBIT C
IMPROVEMENTS MAP – PHASE 1

Figure
Phase 1 (2021) Improvements

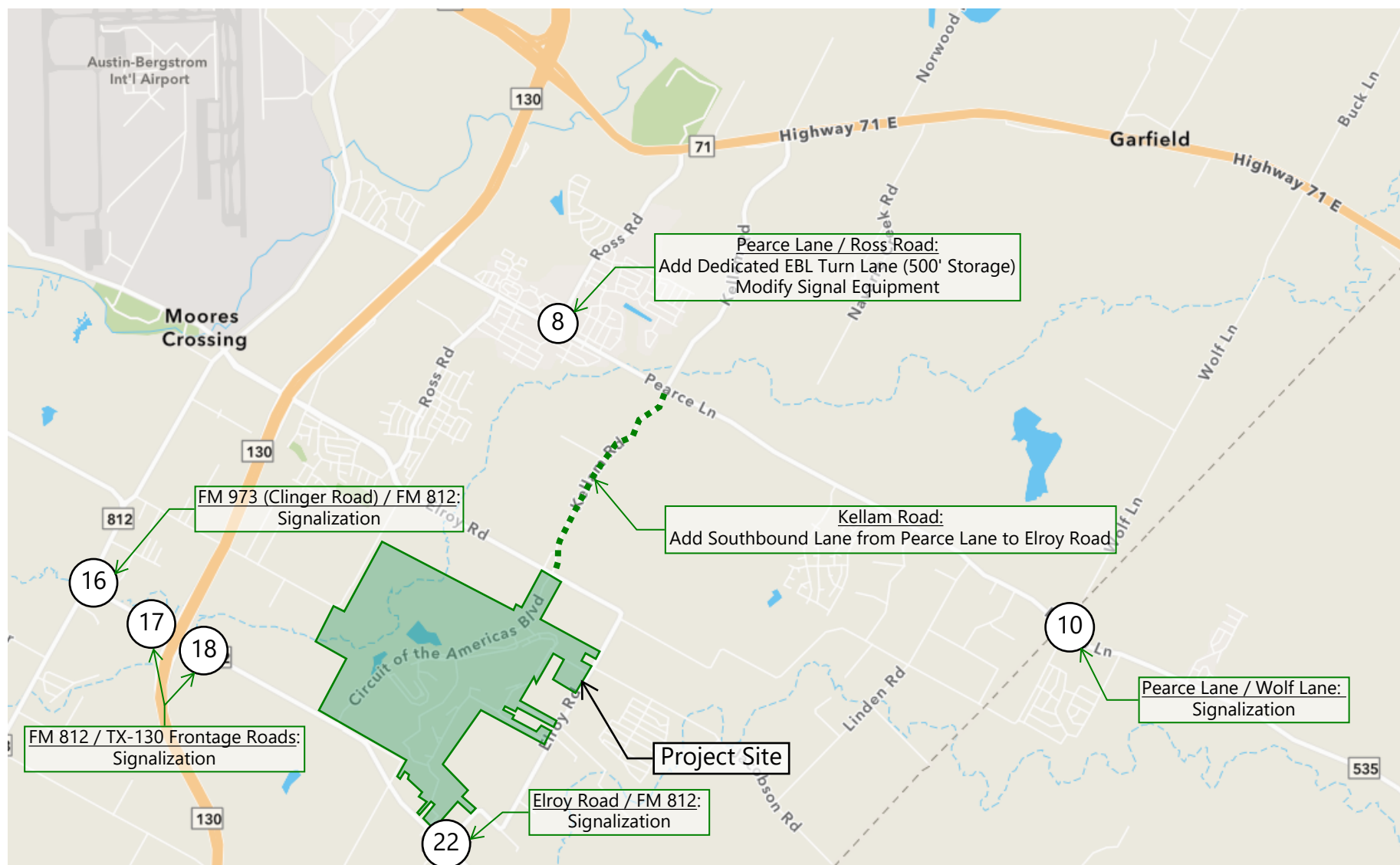


Key

(X) Study Intersection

EXHIBIT D
IMPROVEMENTS MAP – PHASE 2

Figure
Phase 2 (2026) Improvements



Key

(X) Study Intersection

**ITEM FOR ENVIRONMENTAL COMMISSION**

MEETING DATE: July 15, 2020

NAME & NUMBER OF PROJECT: PUD: Circuit of the Americas (COTA)
C814-2018-0122

NAME OF APPLICANT OR ORGANIZATION: Michele Rogerson-Lynch

LOCATION: 9201 Circuit of the Americas

COUNCIL DISTRICT: 2

WATERSHED: Dry Creek East and Maha Creek

REQUEST: To create a Planned Unit Development (PUD)

STAFF RECOMMENDATION: Staff recommended with conditions

RECOMMENDED CONDITIONS:

- Water quality for all new development shall consist of 100% green storm water infrastructure
- Impervious cover limited to 68%
- Dedicate 11.38 gross acres of parkland
- Provide 2 acres of Open Space
- Restore acres of wetlands
- Re-permit and construct US Army Corps of Engineers creek restoration
- Install 400 native trees minimum size 2" caliper and water trees for establishment. Trees shall not count towards any other landscape requirement
- Provide .88 acres of water quality treatment to mitigate asphalt trail
- Restore vegetation along asphalt trail per Sheet 9
- Requirements outlined in conditions #5, #6, #7, #8, and #9 shall be constructed with the first site plan requiring a building permit and only a site plan for the recreation fields associated with PA 4 shall proceed these requirements



ENVIRONMENTAL COMMISSION MOTION 20200715-003a

Date: July 15, 2020

Subject: Circuit of the Americas (COTA) Planned Unit Development, C814-2018-0122

Motion by: Kevin Ramberg

Seconded by: Mary Ann Neely

RATIONALE:

WHEREAS, the Environmental Commission recognizes the applicant wishes to create a Planned Unit Development (PUD) on the 1,153-acre site at 9201 Circuit of the Americas Boulevard.

WHEREAS, the Environmental Commission recognizes that staff recommends the approval of the PUD with recommendations.

THEREFORE, the Environmental Commission recommends the creation of the COTA PUD with the following;

Staff Conditions

1. Water quality for all new development shall consist of 100% green storm water infrastructure;
2. Impervious cover limited to 68%;
3. Dedicate 11.38 gross acres of parkland;
4. Provide 298 acres of Open Space;
5. Restore 14.36 acres of wetlands;
6. Re-permit and construct US Army Corps of Engineers creek restoration;
7. Install 400 native trees minimum size 2" caliper and water trees for establishment. Trees shall not count towards any other landscape requirement;
8. Provide 0.88 acre of water quality treatment to mitigate asphalt trail;
9. Restore vegetation along asphalt trail per Exhibit L; and,
10. Requirements outlined in conditions #5, #6, #7, #8, and #9 shall be constructed with the first site plan requiring a building permit and only a site plan for the recreation fields associated with PA 4 shall proceed these requirements.

Environmental Commission Conditions:

1. Applicant will hire a certified arborist to oversee the maintenance of (i.e. plan for watering, pruning, mulching, etc.) the planted trees for three years.

VOTE 11-0

For: Bedford, Creel, Smith, Thompson, Nill, Neely, Coyne, Maceo, Ramberg, Guerrero, and Gordon

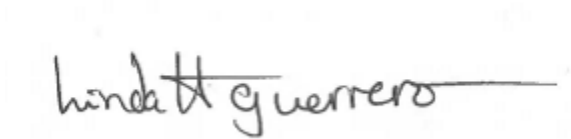
Against: None

Abstain: None

Recuse: None

Absent: None

Approved By:







A handwritten signature in dark ink, reading "Linda H. Guerrero", followed by a horizontal line extending to the right.

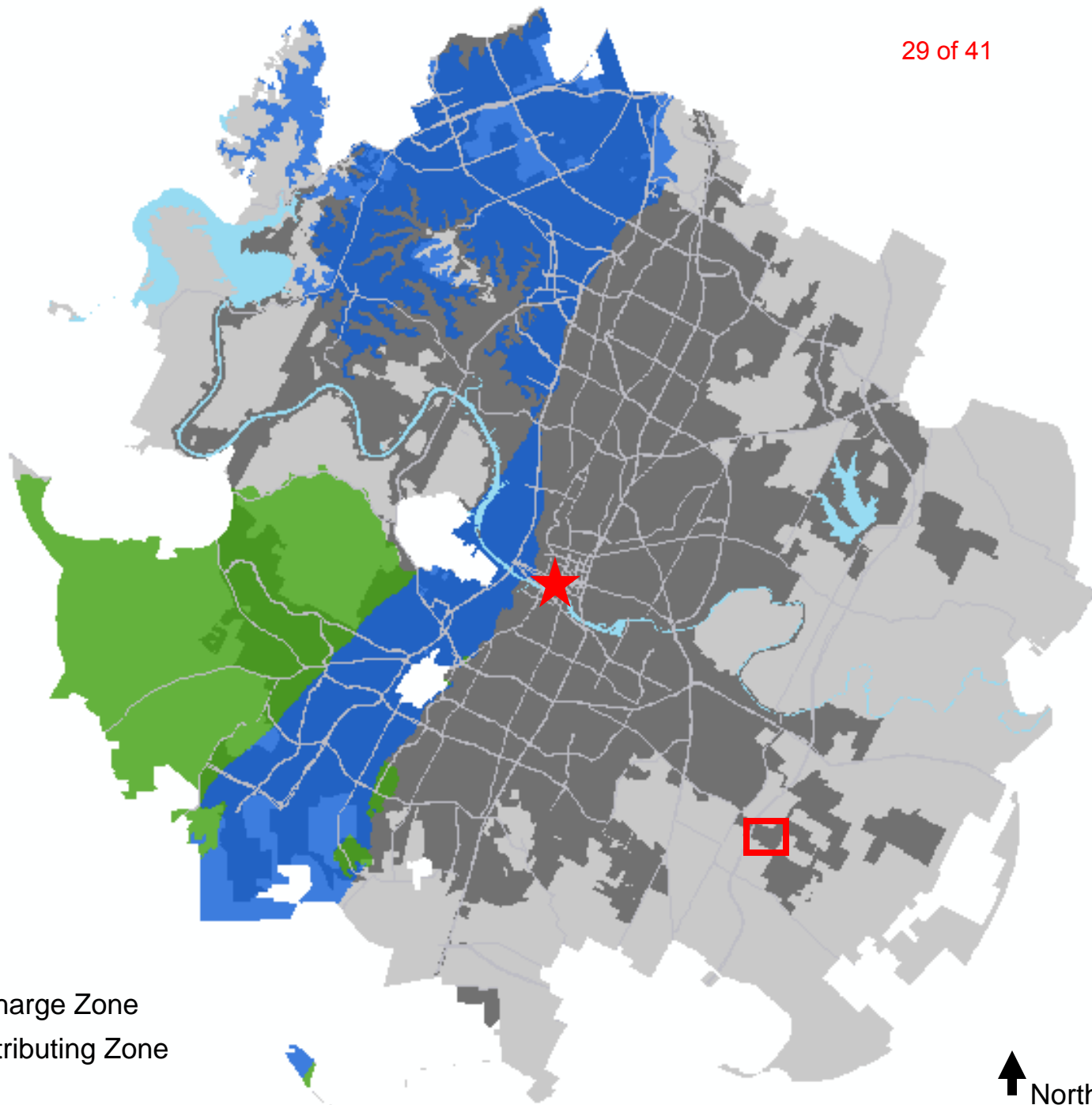
Linda Guerrero, Environmental Commission Chair

Circuit of the Americas (COTA)

C814-2018-0122

Atha Phillips, Environmental Program Coordinator
Environmental Officer's Office

-  Downtown Austin
-  Site Location
-  Austin ETJ
-  Austin City Limits
-  Edwards Aquifer Recharge Zone
-  Edwards Aquifer Contributing Zone





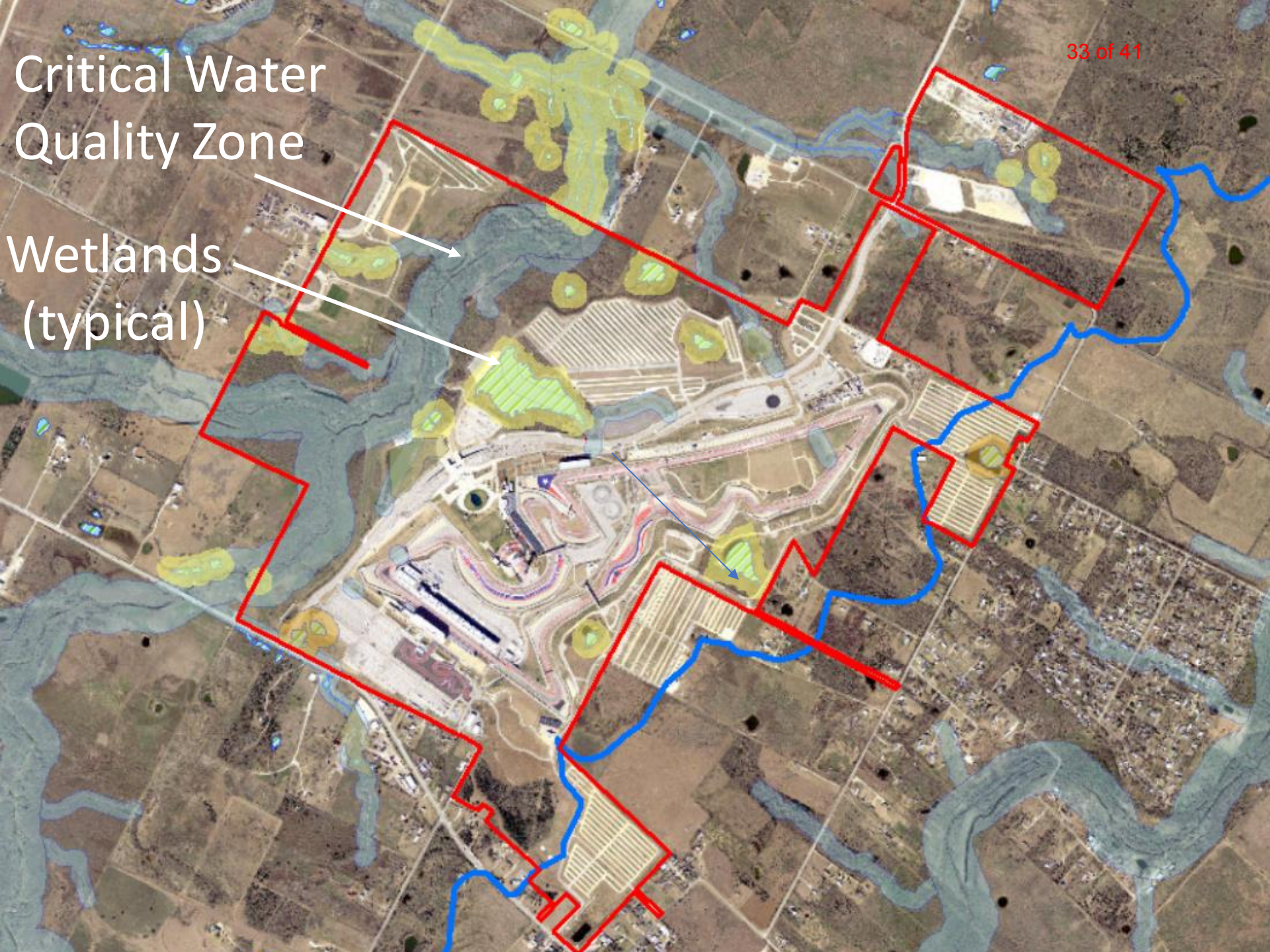


Site Data:

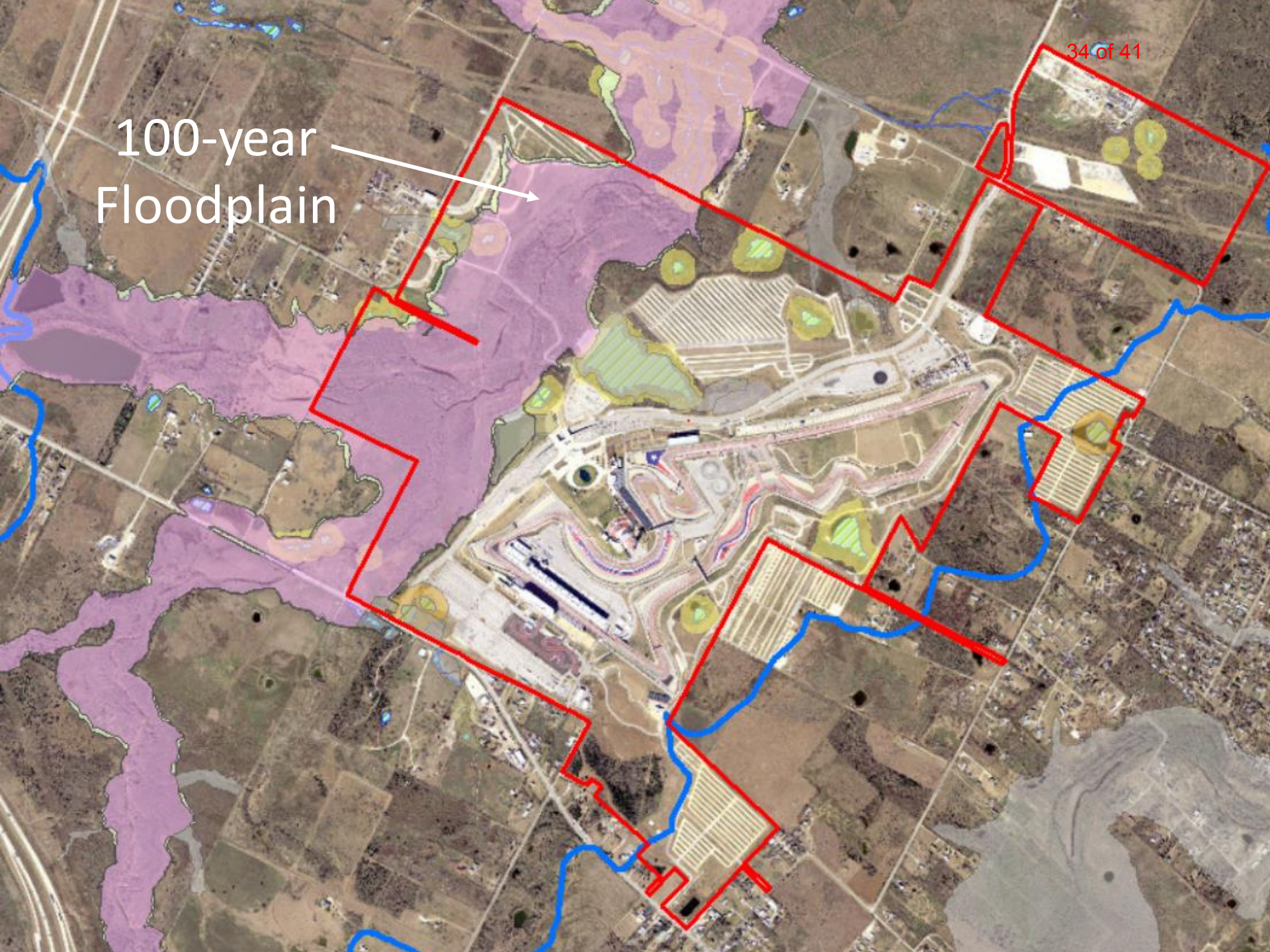
- 1153 acres
- Full-Purpose Jurisdiction
- Watersheds: Dry Creek East and Maha Creek
- Council District: 2

Critical Water
Quality Zone

Wetlands
(typical)







100-year
Floodplain



Project History:

- Resolution 201120629-002: Allowed the City Manager to negotiate and execute an agreement with Circuit of the Americas
- On July 31, 2011, the City entered into an agreement with Circuit of the Americas
- The agreement had several requirements that have been tracked by the Economic Development Department. Some of the requirements include:
 - Air quality and emissions standards
 - Recycling program
 - Transportation management strategies
 - Renewable energy requirements
 - Land preservation and restoration
 - Locate a 5-acre community garden
 - Follow Environmental Board recommendations
 - Plant at least 800 trees
 - Protect existing wetlands and critical environmental features
 - Buildings shall meet AEGB 2-star rating or LEED Silver

Environmental Board recommendations:

Comply with commercial landscape standards	
Comply with parking lot shading requirements	
Investigate the restoration of riparian of Dry Creek	
Demonstrate a black land prairie land restoration	
Perform restoration of Dry Creek Riparian Corridor and Blackland Prairie Corridor, by working with partners such as Texas A & M.	
Establish a monitoring program of any pervious pavement used on site	N/A

Comparison:

37 of 41

	Existing Code/Agreement/Site plan	Proposed PUD	
Water Quality	100% capture volume or payment in lieu	100% capture volume 100% Green Stormwater Infrastructure	✓
Drainage	No adverse impact	No adverse impact	
Impervious Cover	80%	68%	✓
Open Space	20% of non-residential tracts (Tier 1) Additional 20% (Tier 2)	273 acres Total: 23.6%	✓
Integrated Pest Management	Required as part of agreement.	Will provide	
Green Building	2-Star Certified	2-Star Certified	
Parkland Dedication	7.81 acres	11.38 acres and constructing soccer fields	✓
Cut and Fill	4'-8' Administrative variance 8+ Land Use variance	Certain capped amounts in PA 4	✗
Critical Environmental Features	Protect wetlands with buffer or provide mitigation.	Protect existing features and provide additional 14.36 acres of mitigation	✓

Comparison:

	Existing Code/Agreement/Site plan	Proposed PUD
Landscape	Current code	Current code
Trees	Current code including Heritage Tree ordinance	Current code including Heritage Tree ordinance
CWQZ	50'-300' buffer depending on drainage and 100-year floodplain	Current code
CWQZ crossing	Allowed 30' decomposed granite trail with approved site plan	Permit asphalt trail





Code Modifications:

25-8-262: Critical Water Quality Zone Street Crossings- To allow an existing asphalt trail to remain within the critical water quality zone.

25-8-341: To allow a specified amount of cut above 4' within PA4.

Cut	4-8'	75,600 square feet
	8-14'	86,100 square feet

25-8-342: To allow a specified amount of fill above 4' within PA4.

Fill	4-8'	121,800 square feet
	8-20'	52,500 square feet

Recommended with Conditions:

1. Water quality for all new development shall consist of 100% green storm water infrastructure
2. Impervious cover limited to 68%
3. Dedicate 11.38 gross acres of parkland
4. Provide 298 acres of Open Space
5. Restore 14.36 acres of wetlands
6. Re-permit and construct US Army Corps of Engineers creek restoration
7. Install 400 native trees minimum size 2" caliper and water trees for establishment. Trees shall not count towards any other landscape requirement
8. Provide .88 acres of water quality treatment to mitigate asphalt trail
9. Restore vegetation along asphalt trail per Sheet 9
10. Requirements outlined in conditions #5, #6, #7, #8, and #9 shall be constructed with the first site plan requiring a building permit and only a site plan for the recreation fields associated with PA 4 shall proceed these requirements.