



<div>GENERAL NOTES</div> <div><div><div><div><div>A.F.F. Above Finish Floor</div><div>A.P. Access Panel</div><div>ACOUS. Acoustical</div><div>A.C.T. Acoustic Ceiling Tile</div><div>A.C.P. Acoustic Ceiling Panel</div><div>ADD'N Addition, Additional</div><div>ADJ. Adjustable</div><div>AGGR. Aggregate</div><div>ALUM. Aluminum</div><div>ALT. Alternate</div><div>ANOD. Anodized</div><div>APPR. Approved</div><div>APPROX. Approximate</div><div>ARCH. Architect, Architectural</div><div>ASPH. Asphalt</div><div>AUTO Automatic</div><div>AUX. Auxiliary</div></div><div><div>BKR. BD Backer Board</div><div>BSP.L. Backsplash</div><div>B.F. Barrier Free</div><div>B. PL. Base Plate</div><div>B.S.M.T Basement</div><div>BM Beam</div><div>BPG. Bending</div><div>B.M. Bench Mark</div><div>BTW. Between</div><div>BEV. Beveled</div><div>BLK. Block</div><div>BLK'G Blocking</div><div>BD. Board</div><div>B.O.S. Bottom of Slab</div><div>BOT. Bottom</div><div>B.U.R. Built-Up Roofing</div><div>BLDG. Building</div></div><div><div>CAB. Cabinet</div><div>CPT. Carpet</div><div>C.I.P. Cast-In-Place</div><div>C.I. Cast Iron</div><div>CDR. Cedar</div><div>CLG. Ceiling</div><div>C.H. Ceiling Height</div><div>CEM. Cement or Cementitious</div><div>C.P. Cement Plaster</div><div>CTR. Center</div><div>C/L Center Line</div><div>C/C Center To Center</div><div>CER. Ceramic</div><div>C.T. Ceramic Tile</div><div>C Channel</div><div>CLO. Closet</div><div>CLOS. Closure</div><div>CLR. Clear</div><div>C.M.U. Concrete Masonry Unit</div><div>C.O. Clean Out</div><div>COL. Column</div><div>CW Cold Water</div><div>COMP. Composite, Compacted</div><div>CONC. Concrete</div><div>CONN. Connect, Connection</div><div>CONF. Conference</div><div>CONTR. Contractor</div><div>C.J. Control Joint</div><div>CONSTR. Construction</div><div>CONT. Continuous</div><div>CORR. Corridor, Corrugated</div><div>CTSK. Countersink</div><div>CNTR. Counter</div></div><div><div>D.P. Dampproofing</div></div></div><div><div><div>D.L. Dead Load</div><div>DEMO. Demolition, Demolish</div><div>DEPT. Department</div><div>DET. Detail</div><div>DIA. Diameter</div><div>DIM. Dimension</div><div>DIR. Directory, Direction</div><div>D.W. Dishwasher</div><div>DISP. Dispenser</div><div>DISPO. Disposal</div><div>DN. Down</div><div>DR. Door</div><div>D.O. Door Opening</div><div>DBL. Double</div><div>DS. Downspout</div><div>DWR. Drawer</div><div>DWG. Drawing</div><div>D.S.P. Dry Standpipe</div><div>D Dryer</div></div><div><div>EA. Each</div><div>E.F. Exhaust Fan</div><div>E. East</div><div>EL. Elevation</div><div>ELEC. Electric, Electrical</div><div>E.O. Electrical Outlet</div><div>ELEV. Elevator</div><div>ELIM. Eliminate</div><div>EMER. Emergency</div><div>ENAM. Enamel</div><div>ENCL. Enclosure</div><div>ENVIR. Environment</div><div>B.O.S. Bottom of Slab</div><div>EQPT. Equipment</div><div>EXC. Excavated</div><div>EXP. Expansion</div><div>EXP.B. Expansion Bolt</div><div>E.J. Expansion Joint</div><div>EXT. Exterior</div><div>E.S. Exist Sign</div><div>EXTG. Existing</div><div>EXPO. Exposed</div></div><div><div>FAB. Fabric</div><div>F.A. Fire Alarm</div><div>FAST. Fastener</div><div>F.D. Floor Drain</div><div>FDN. Foundation</div><div>F.E. Fire Extinguisher</div><div>F.F. Finished Floor</div><div>F.H.C. Fire Hose Cabinet</div><div>F.I. Finish</div><div>FIXT. Fixture</div><div>FLASH. Flashing</div><div>F.L.R. Floor</div><div>F.O. Finished Opening</div><div>F.O.C. Face of Concrete</div><div>F.O.F. Face of Finish</div><div>F.O.I.C. Furnished by Owner, Installed by Contractor</div><div>F.O.M. Face of Masonry</div><div>F.O.S. Face of Studs</div><div>FPRT. Fireproof</div><div>F.P. Floor Plan</div><div>FT. Feet, Foot</div><div>FTG. Footing</div><div>FURN. Furnish, Furnished</div><div>FURR. Furring</div><div>FUT. Future</div></div><div><div>G.A. Gauge</div><div>GALV. Galvanized</div><div>G. Gas</div><div>G.C. General Contractor</div></div></div><div><div><div>G.C. Gypsum Concrete</div><div>GEN. General</div><div>G.F.I. Ground Fault Interrupter</div><div>GL. Glass</div><div>GND. Ground</div><div>G.R. Guard Rail</div><div>GR. Grade</div><div>GSM. Galvanized Sheet Metal</div><div>GWB. Gypsum Wall Board</div><div>GYP. Gypsum</div></div><div><div>H.C. Handicapped</div><div>H.R. Handrail</div><div>HGR. Hanger</div><div>HDWR. Hardware</div><div>HDWD. Hardwood</div><div>HD. Head</div><div>HVAC. Heating, Ventilation & Air Conditioning</div><div>HGT. Height</div><div>H.P. High Point</div><div>H.C. Hollow Core</div><div>HCWD. Hollow Core Wood Door</div><div>H.M. Hollow Metal</div><div>HORIZ. Horizontal</div><div>H.B. Hose Bibb</div><div>H.W. Hot Water</div><div>H.W.H. Hot Water Heater</div><div>HR. Hour</div><div>HYD. Hydrant</div></div><div><div>I.D. Inside Diameter (Dim.)</div><div>INFO. Information</div><div>IN. Inch or Inches</div><div>INSUL. Insulation or Insulated</div><div>INT. Interior</div></div><div><div>JAN. Janitor</div><div>J.S. Joint sealant</div><div>JST. Joist</div><div>JT. Joint</div></div><div><div>K.O.P. Knock-out Panel</div><div>KIT. Kitchen</div></div><div><div>LAM. Laminata</div><div>F.D. Floor Drain</div><div>L.H. Left Hand</div><div>LKR. Locker</div><div>L.P. Low Point</div><div>L.S. Light Switch</div><div>LT. Light</div><div>LT. WT. Lightweight</div><div>L.L. Liveload</div></div><div><div>MACH. Machine</div><div>MH. Manhole</div><div>MFR. Manufacturer</div><div>MARB. Marble</div><div>MAS. Masonry</div><div>M.O. Masonry Opening</div><div>MATL. Material</div><div>MAX. Maximum</div><div>MED. Medium</div><div>MECH. Mechanical</div><div>MICR. Microwave Oven</div><div>MISC. Miscellaneous</div><div>MIN. Minimum</div><div>MIR. Mirror</div><div>MTD. Mounted</div></div></div><div><div><div>MUL. Mullion</div></div><div><div>NOM. Nominal</div><div>N.I.C. Not In Contact</div><div>N.T.S. Not To Scale</div><div>NO. Number</div></div><div><div>OFF. Office</div><div>O.C. On Center</div><div>O.H. Opposite Hand</div><div>OPNG. Opening</div><div>OPP. Opposite</div><div>O.D. Outside Diameter (Dim.)</div><div>O.A. Overall</div><div>O.H. Overhead</div></div><div><div>PTD. Painted</div><div>PR. Pair</div><div>HGT. Height</div><div>H.P. High Point</div><div>H.C. Hollow Core</div><div>HCWD. Hollow Core Wood Door</div><div>H.M. Hollow Metal</div><div>HORIZ. Horizontal</div><div>H.B. Hose Bibb</div><div>H.W. Hot Water</div><div>H.W.H. Hot Water Heater</div><div>HR. Hour</div><div>HYD. Hydrant</div></div><div><div>I.D. Inside Diameter (Dim.)</div><div>INFO. Information</div><div>IN. Inch or Inches</div><div>INSUL. Insulation or Insulated</div><div>INT. Interior</div></div><div><div>JAN. Janitor</div><div>J.S. Joint sealant</div><div>JST. Joist</div><div>JT. Joint</div></div><div><div>K.O.P. Knock-out Panel</div><div>KIT. Kitchen</div></div><div><div>LAM. Laminata</div><div>F.D. Floor Drain</div><div>L.H. Left Hand</div><div>LKR. Locker</div><div>L.P. Low Point</div><div>L.S. Light Switch</div><div>LT. Light</div><div>LT. WT. 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Television</div><div>TEMP. Temperature</div><div>TEMP. GL. Tempered Glass</div><div>THK. Thick</div><div>THLD. Threshold</div><div>T.B. Toilet Bar</div><div>T.O.P. Top of Plate</div><div>T.O.S. Top of Steel</div><div>T.P. Top of Pavement</div><div>T.O.W. Top of Wall</div><div>T.P.H. Toilet Paper Holder</div><div>T&G. Tongue & Groove</div><div>T.B. Toilet</div><div>T.C. Trash Compactor</div><div>T. Tread</div><div>TRTD. Treated</div><div>TYP. Typical</div></div><div><div>UNF. Unfinished</div><div>U.O.N. Unless Otherwise Noted</div><div>UR. Urinal</div></div><div><div>VAR. Varies</div><div>VERT. Vertical</div><div>VEST. Vestibule</div><div>V.I.F. Verify In Field</div><div>V.P. Veneer Plaster</div><div>V.C.T. Vinyl Composition Tile</div><div>V. Volt</div></div><div><div>WSCT. Wainscot</div><div>W.C. Water Closet</div><div>W.H. Water Heater</div><div>WP. Waterproof(ing)</div><div>W.R. Water Resistant</div><div>WT. Weight</div><div>W.W.M. Welded Wire Mesh</div><div>W.West, Washer</div><div>W/. With</div><div>WDW. Window</div><div>R.O. Rough Opening</div><div>W/O. Without</div><div>WD. Wood</div></div><div><div>YD. Yard</div></div><div><div>& And</div><div>L. Angle</div><div>@ At</div><div># Pound or Number</div></div></div></div></div>	<div>GENERAL NOTES</div> <div><ol style="list-style-type: none">The Contractor shall thoroughly review all Construction Documents including, but not limited to, drawings, notes, dimensions, schedules and specifications. The Contractor shall make a site visit and perform a detailed analysis and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Architect for resolution prior to the delivery of any bid or initiation of work. Failure to do so shall cause the contractor to be ineligible for extras relating to such matters.These drawings are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction, where such conditions exist. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, obtain clarification from Architect before continuing work.DO NOT SCALE THESE DRAWINGS. Immediately notify the Architect of any discrepancies or any other request for clarification.Verify all dimensions before ordering material and proceeding with the work.Minimum clearance dimensions indicated shall be maintained particularly at stairs, corridors and restrooms.Contractor to acquire all necessary permits prior to work.Contractor is responsible for the safety, actions, and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity. Upon completion of work Contractor shall remove all debris from the site.Contractor shall submit reproducible shop drawings to Architect for Owner's, Architect's, and Engineer's Approval.All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more restrictive. Notify the Architect of any variation in dimensions required for installation of equipment from those given in the Construction Documents before continuing the work.Every effort has been made on the part of the Architect to ensure local code compliance. It is the Contractor's responsibility to verify that the work conforms with all applicable codes and if discrepancies are noted to notify the Architect prior to work.Minor details not usually shown or specified but necessary for proper construction of any part of the work shall be included as if they were indicated on the drawings.Provide blocking as required for proper support of wall and ceiling mounted equipment or architectural elements.For all "match existing" notes Architect's intent is for Contractor to match existing profile and finish as closely as possible using available materials. If unable to match existing provide samples for alternate materials or methods for Architect's approval.Dissimilar metals to remain separated to avoid galvanic corrosion.All ceilings to be sheathed with 5/8" gypsum board unless otherwise noted.All interior paints, stains, and sealants to be low or no VOC rated.Contractor to notify architect and engineer(s) of any contradictory dimensions, specifications or other instructions that exist between the architectural, mechanical, electrical, plumbing, or other drawings that are included in the construction documents before continuing work</div>	<div>EXTERIOR PERSPECTIVE</div> <div></div> <div>VICINITY MAP (NTS)</div> <div></div>	<div>PROJECT DIRECTORY</div> <div><div><div>Architect:</div><div>Sanders Architecture 3706 Kerbey Lane Austin, TX 78731 (512) 482-9258</div></div><div><div>Owner:</div><div>John and Liz Wright 1610 West Ave. Austin, TX 78701</div></div><div><div>Contractor:</div><div>Mars Construction 2001 La Casa Austin, TX 78704</div></div><div><div>Structural Engineer:</div><div>Structures, Inc. 6926 N. Lamar Blvd. Austin, TX 78752 (512) 499-0919</div></div><div><div>Landscape Architect:</div></div><div><div>Civil Engineer:</div></div><div><div>Geotechnical Engineer:</div></div><div><div>Surveyor:</div><div>SNS Engineering 12885 US Highway 183 North Suite 101-B Austin, TX 78750 (512) 335-3944</div></div></div> <div>DRAWING INDEX</div> <div><div>Architectural</div><div><div>G0.00</div><div>Cover</div></div><div><div>G1.00</div><div>Site Survey</div></div><div><div>G1.01</div><div>Proposed Site Plan</div></div><div><div>G1.02</div><div>Subchapter F Setback Compliance</div></div><div><div>G1.03</div><div>Subchapter F Setback Compliance</div></div><div><div>G1.04</div><div>Visitability Plan</div></div><div><div>G2.01</div><div>Door and Window Schedules</div></div><div><div>A1.00</div><div>Basement Floor Plan</div></div><div><div>A1.01</div><div>Ground Floor Plan</div></div><div><div>A1.02</div><div>Second Floor Plan</div></div><div><div>A1.03</div><div>Roof Plan</div></div><div><div>A1.04</div><div>Carport / Garage and Accessory Unit Plans</div></div><div><div>A3.01</div><div>Exterior Elevations</div></div><div><div>A3.02</div><div>Exterior Elevations</div></div><div><div>A3.03</div><div>Carport / Garage and Accessory Unit Elevations</div></div></div> <div><div>Structural</div><div><div>S0.0</div><div>Structural Notes</div></div><div><div>S0.1</div><div>Structural Notes</div></div><div><div>S1.0</div><div>Basement Foundation Plan</div></div><div><div>S1.1</div><div>Garage and Carport Foundation Plan</div></div><div><div>S2.0</div><div>Ground Floor Foundation / Framing Plan</div></div><div><div>S2.1</div><div>Second Floor and Low Roof Framing Plan</div></div><div><div>S2.2</div><div>Roof Framing Plan</div></div><div><div>S2.3</div><div>Garage and Carport Framing Plan</div></div><div><div>S2.4</div><div>Efficiency Roof Framing Plan</div></div><div><div>SL2.0</div><div>Ground Floor Lateral Bracing Plan</div></div><div><div>SL2.1</div><div>Second Floor and Low Roof Lateral Bracing Plan</div></div><div><div>SL2.2</div><div>Roof Lateral Bracing Plan</div></div><div><div>SL2.3</div><div>Garage and Carport Lateral Bracing Plan</div></div><div><div>SL2.4</div><div>Efficiency Lateral Bracing Plan</div></div><div><div>S3.0</div><div>Typical Foundation Details</div></div><div><div>S3.1</div><div>Foundation Details</div></div><div><div>S3.2</div><div>Foundation Details</div></div><div><div>S3.3</div><div>Foundation Details</div></div><div><div>S4.0</div><div>Typical Steel Framing Details</div></div><div><div>S4.1</div><div>Typical Steel Framing Details</div></div><div><div>S5.0</div><div>Typical Wood Framing Details</div></div><div><div>S5.1</div><div>Typical Wood Framing Details</div></div><div><div>S5.2</div><div>Typical Shear Wall Details</div></div><div><div>S5.3</div><div>Wood Details</div></div></div>
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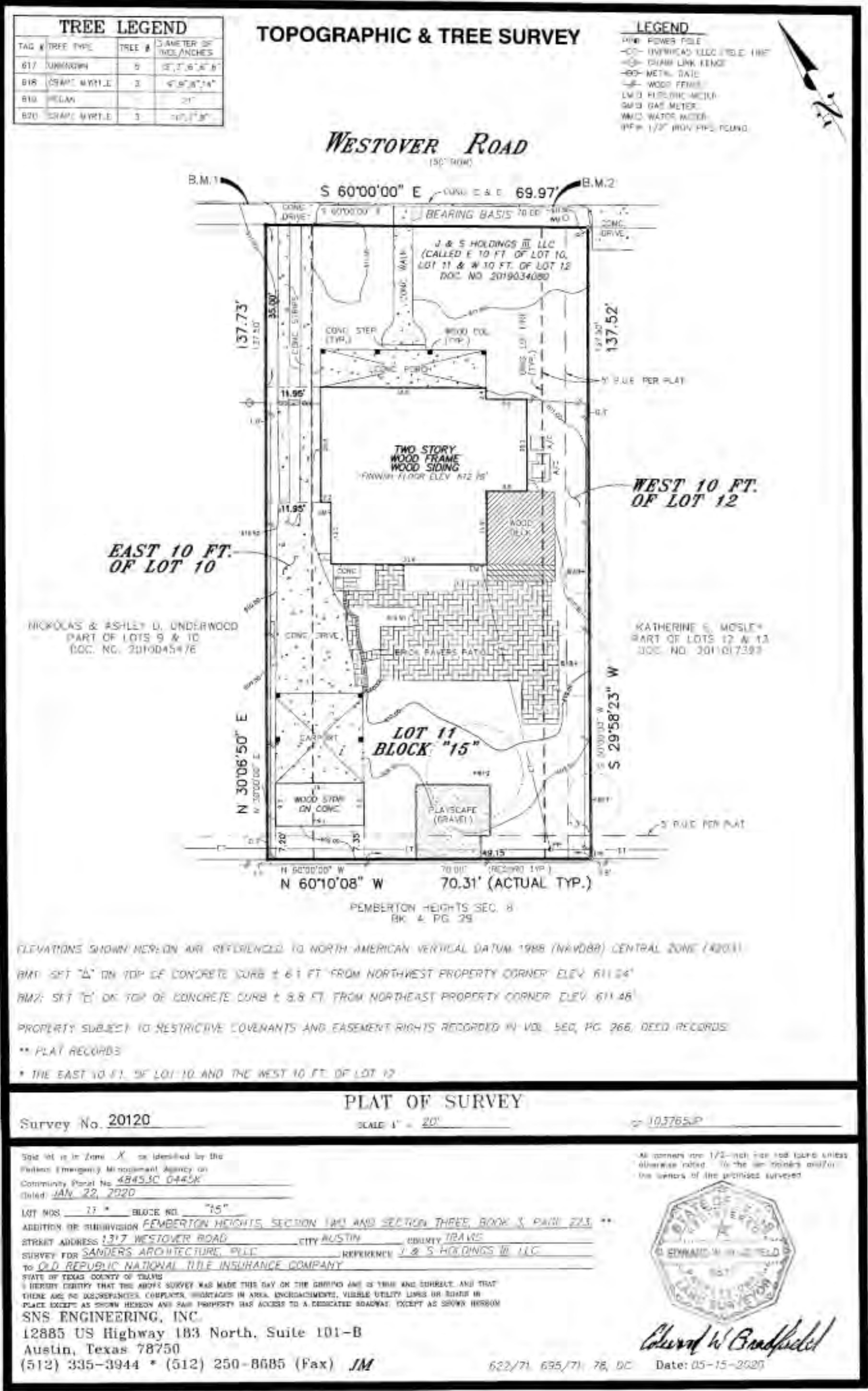
Westover Road Residence

1317 Westover Road
Austin, TX 78703

Drawn by: WP, EK
Checked by: CS
Revisions:

Site Survey

G1.00



Door and Frame Schedule											
Number	Location	Width	Height	Thickness	Door			Type	Frame		Comments
					Type	Material	Finish		Material	Finish	
001	Media Room	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
002	Media Room	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
100	Entry	3' - 0 3/4"	8' - 3 3/4"	2"	D1	Steel/glass	Painted, color TBD	F1	Steel	Painted, color TBD	
101	Dining Room	2' - 8"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	F7	Wood	Painted, color TBD	
102	Pantry	3' - 0"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	F7	Wood	Painted, color TBD	
103	Kitchen	3' - 0"	8' - 0"	2"	D8	Aluminum/glass	Powder-coated, color TBD	F3	Aluminum/Wood	Powder-coated color TBD	Basis of design: Kolbe VistaLuxe Exterior Door
104	Laundry	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
105	Living Room	6' - 7 3/4"	9' - 0"	1 3/4"	D2	Steel/glass	Painted, color TBD	F2	Steel	Painted, color TBD	
106	Master Bedroom	3' - 0"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
107	Master Bedroom	2' - 4"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	D7	Wood	Painted, color TBD	
108	Master Bath	2' - 6"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
109	Master Closet	3' - 0"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	F7	Wood	Painted, color TBD	
110	Powder	2' - 8"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	F7	Wood	Painted, color TBD	
111	Closet	2' - 4"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
112	Stairs	3' - 0"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F9	Wood	Painted, color TBD	Trimless door
113	Garage	3' - 0"	7' - 0"	2"	D6	Wood	Powder-coated, color TBD	F6	Wood	Powder-coated color TBD	
114	Garage	9' - 8"	8' - 0"	1 3/4"	D9	Wood-clad	Powder-coated, color TBD	F5	Metal	Powder-coated color TBD	
201	Bedroom 2	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
202a	Bathroom 2	2' - 4"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	D7	Wood	Painted, color TBD	
202b	Bathroom 2	2' - 4"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	D7	Wood	Painted, color TBD	
204	Bedroom 4	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
205	Bathroom 4	2' - 4"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	D7	Wood	Painted, color TBD	
206	Bedroom 3	2' - 4"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	D7	Wood	Painted, color TBD	
207	Hall landing	2' - 8"	7' - 0"	1 3/4"	D4	Wood	Painted, color TBD	F4	Wood	Painted, color TBD	
208	Bedroom 3	6' - 0"	7' - 0 3/4"	2"	D8	Aluminum/glass	Powder-coated, color TBD	F8	Aluminum/Wood	Powder-coated color TBD	Basis of design: Kolbe VistaLuxe Exterior Door
209	Accessory Unit	3' - 0"	7' - 0"	2"	D3	Aluminum/glass	Powder-coated, color TBD	F3	Aluminum/Wood	Powder-coated color TBD	Basis of design: Kolbe VistaLuxe Exterior Door
210	Bathroom	2' - 8"	7' - 0"	1 3/4"	D7	Wood	Painted, color TBD	F7	Wood	Painted, color TBD	
211	Terrace	3' - 0"	7' - 0"	2"	D3	Aluminum/glass	Powder-coated, color TBD	F3	Aluminum/Wood	Powder-coated color TBD	Basis of design: Kolbe VistaLuxe Exterior Door

Window Schedule											
Mark	Location	Manufacturer	Operation	Width	Height	Rough Width	Rough Height	Head Height	Ext Finish	Int Finish	Comments
W-001	Media Room	Kolbe & Kolbe Millwork Co., Inc.	Casement	4' - 0"	4' - 0"	4' - 0 3/4"	4' - 0 3/4"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-101	Master Bedroom	Kolbe & Kolbe Millwork Co., Inc.	Fixed	10' - 0"	7' - 0"	10' - 0 1/2"	7' - 0 1/2"	8' - 9"	Clad Wood, color TBD	Painted, color TBD	
W-102	Master Bedroom	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-103	Master Bedroom	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-104	Master Bath	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-105	Master Bath	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-106	Master Bath	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-107	Master Closet	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-108	Master Closet	Kolbe & Kolbe Millwork Co., Inc.	Fixed	7' - 0"	8' - 0"	7' - 0 1/2"	8' - 0 1/2"	9' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-109	Dining Room	Kolbe & Kolbe Millwork Co., Inc.	Fixed	7' - 0"	8' - 0"	7' - 0 1/2"	8' - 0 1/2"	9' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-110	Dining Room	Kolbe & Kolbe Millwork Co., Inc.	Casement	3' - 6"	8' - 0"	3' - 6 1/2"	8' - 0 1/2"	9' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-114	Laundry	Kolbe & Kolbe Millwork Co., Inc.	Fixed	4' - 0"	4' - 6"	4' - 0 3/4"	4' - 6 1/2"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	Butt glazed corner window
W-115	Kitchen	Kolbe & Kolbe Millwork Co., Inc.	Casement	7' - 0"	4' - 6"	7' - 0 1/2"	4' - 6 1/2"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-116	Kitchen	Kolbe & Kolbe Millwork Co., Inc.	Fixed	4' - 0"	4' - 6"	4' - 0 1/2"	4' - 6 1/2"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-117	Pantry	Kolbe & Kolbe Millwork Co., Inc.	Fixed	4' - 0"	4' - 6"	4' - 0 1/2"	4' - 6 1/2"	8' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-118	Screen Porch	Rehme Steel Windows & Doors	Fixed	17' - 0 1/4"	9' - 0"	17' - 1"	9' - 0 3/4"	9' - 0"	Painted Steel, color TBD	Painted Steel, color TBD	Steel and glass window wall with sliding door
W-119	Entry	Rehme Steel Windows & Doors	Fixed	12' - 9"	11' - 3"	12' - 9 3/4"	11' - 3 3/4"	11' - 3"	Painted Steel, color TBD	Painted Steel, color TBD	Steel and glass window wall with swing door
W-201	Bedroom 3	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-202	Bedroom 3	Kolbe & Kolbe Millwork Co., Inc.		2' - 6"	7' - 0 3/4"	2' - 6 1/2"	7' - 1 1/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-203	Bedroom 3	Kolbe & Kolbe Millwork Co., Inc.		2' - 6"	7' - 0 3/4"	2' - 6 1/2"	7' - 1 1/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-204	Bedroom 3	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-205	Bedroom 3	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-206	Bathroom 3	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-207	Bathroom 4	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-208	Bedroom 4	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-209	Bedroom 4	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0 3/4"	Clad Wood, color TBD	Painted, color TBD	
W-210	Bedroom 4	Kolbe & Kolbe Millwork Co., Inc.	Fixed	7' - 0"	7' - 0"	7' - 0 1/2"	7' - 0 1/2"	9' - 11 1/4"	Clad Wood, color TBD	Painted, color TBD	
W-211	Bedroom 4	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	6' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-213	Bedroom 2	Kolbe & Kolbe Millwork Co., Inc.	Fixed	7' - 0"	6' - 0"	7' - 0 1/2"	6' - 0 1/2"	6' - 11 1/4"	Clad Wood, color TBD	Painted, color TBD	
W-213	Bedroom 2	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	5' - 4"	Clad Wood, color TBD	Painted, color TBD	
W-215	WC	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-216	Bathroom 2	Kolbe & Kolbe Millwork Co., Inc.	Casement	2' - 0"	3' - 0"	2' - 0 1/2"	3' - 0 1/2"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-217	Hall landing	Kolbe & Kolbe Millwork Co., Inc.	Dormer	4' - 0"	6' - 3"	6' - 3 1/2"	4' - 0 1/2"	10' - 6"	Painted Steel, color TBD	Painted, color TBD	Custom dormer window, butt glazed corners
W-218	Accessory Unit	Kolbe & Kolbe Millwork Co., Inc.	Fixed	7' - 0"	4' - 0"	7' - 0 1/2"	4' - 0 1/2"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-219	Accessory Unit	Kolbe & Kolbe Millwork Co., Inc.	Fixed	10' - 0"	7' - 0"	10' - 0 1/2"	7' - 0 1/2"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-220	Bathroom	Kolbe & Kolbe Millwork Co., Inc.	Fixed	2' - 0"	3' - 0"	2' - 0 3/4"	3' - 0 3/4"	7' - 0"	Clad Wood, color TBD	Painted, color TBD	
W-301		TBD	Fixed	2' - 0"	4' - 0"	2' - 0 1/2"	4' - 0 1/2"		TBD		Skylight at Bedroom 2
W-302		TBD	Fixed	2' - 0"	4' - 0"	2' - 0 1/2"	4' - 0 1/2"		TBD		Skylight at Accessory Unit



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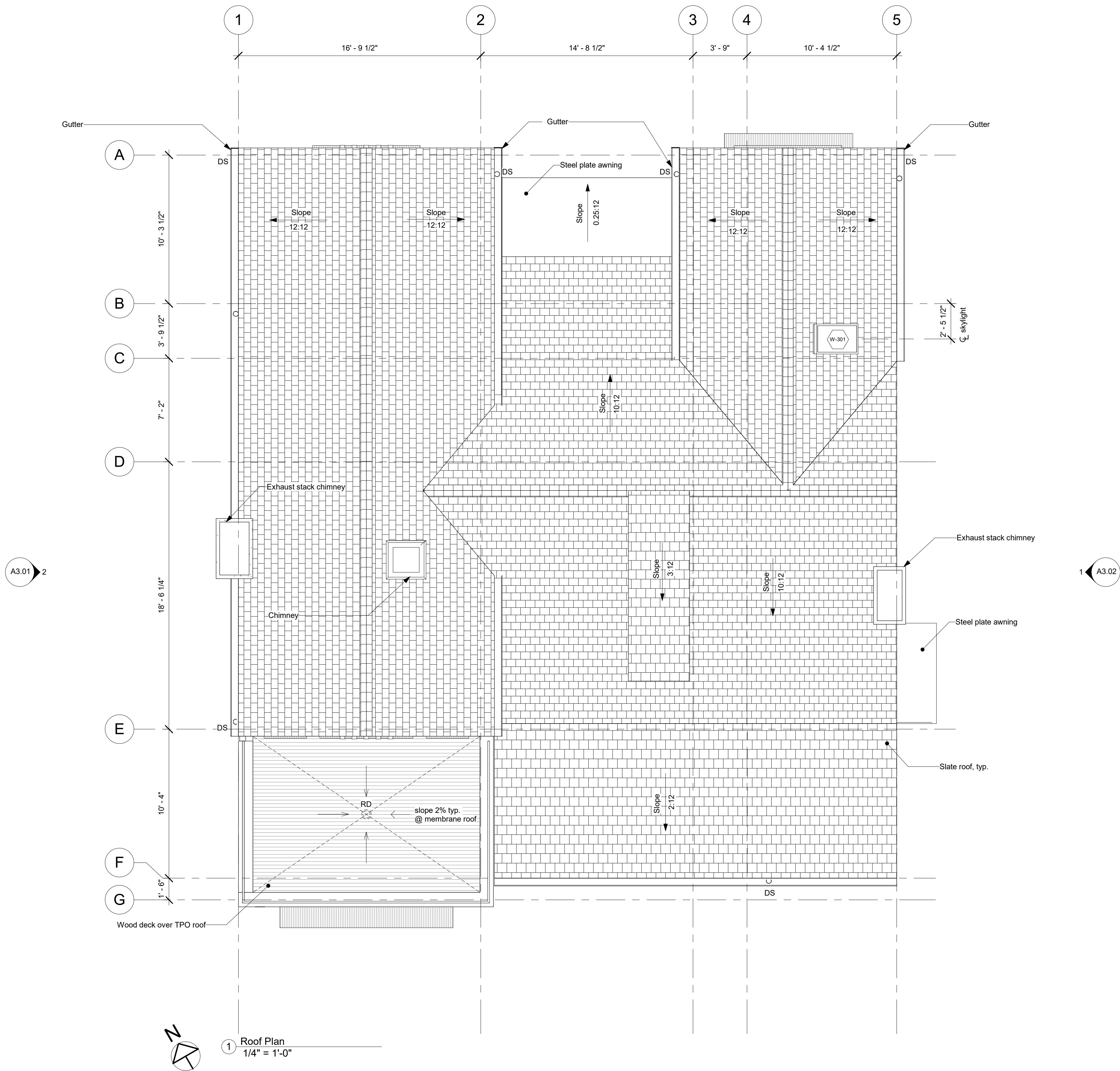
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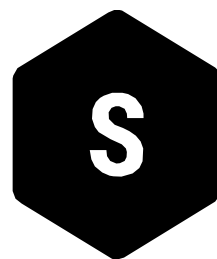
Door and Window Schedules

G2.01



GENERAL PLAN NOTES:

1. Elevation 100'-0" as noted equals 613'-6" natural elevation above sea level.
2. Refer to G2.01 for wall types.
3. All dimensions to face of framing unless otherwise specified.
4. Maintain R13 minimum insulation for exterior walls. All insulation to be either labeled or the installed R-values provided. All insulation to be installed per manufacturer's instructions. All air barriers and thermal barriers to be installed per manufacturer's instructions.
5. Maintain R38 minimum insulation for attics and roofs, typ. All insulation to be either labeled or the installed R-values provided. All insulation to be installed per manufacturer's instructions. All air barriers and thermal barriers to be installed per manufacturer's instructions. Attic spaces to be unvented with air-impermeable insulation at underside of roof sheathing.
6. Provide carbon monoxide detectors in vicinity of sleeping rooms in accordance with IRC R315.
7. Provide smoke detector system (hardwired, interconnected, battery back-up) at each sleeping room and vicinity in accordance with IRC R314.
8. Residential fire sprinkler system to be designed and installed in accordance with the latest version of the National Fire Protection Association (NFPA) 13D. SUBMIT SPRINKLER PLANS TO ARCHITECT, ALLOWING REASONABLE TIME FOR REVIEW BEFORE INSTALLATION OR ANY REQUIRED AGENCY APPROVAL.



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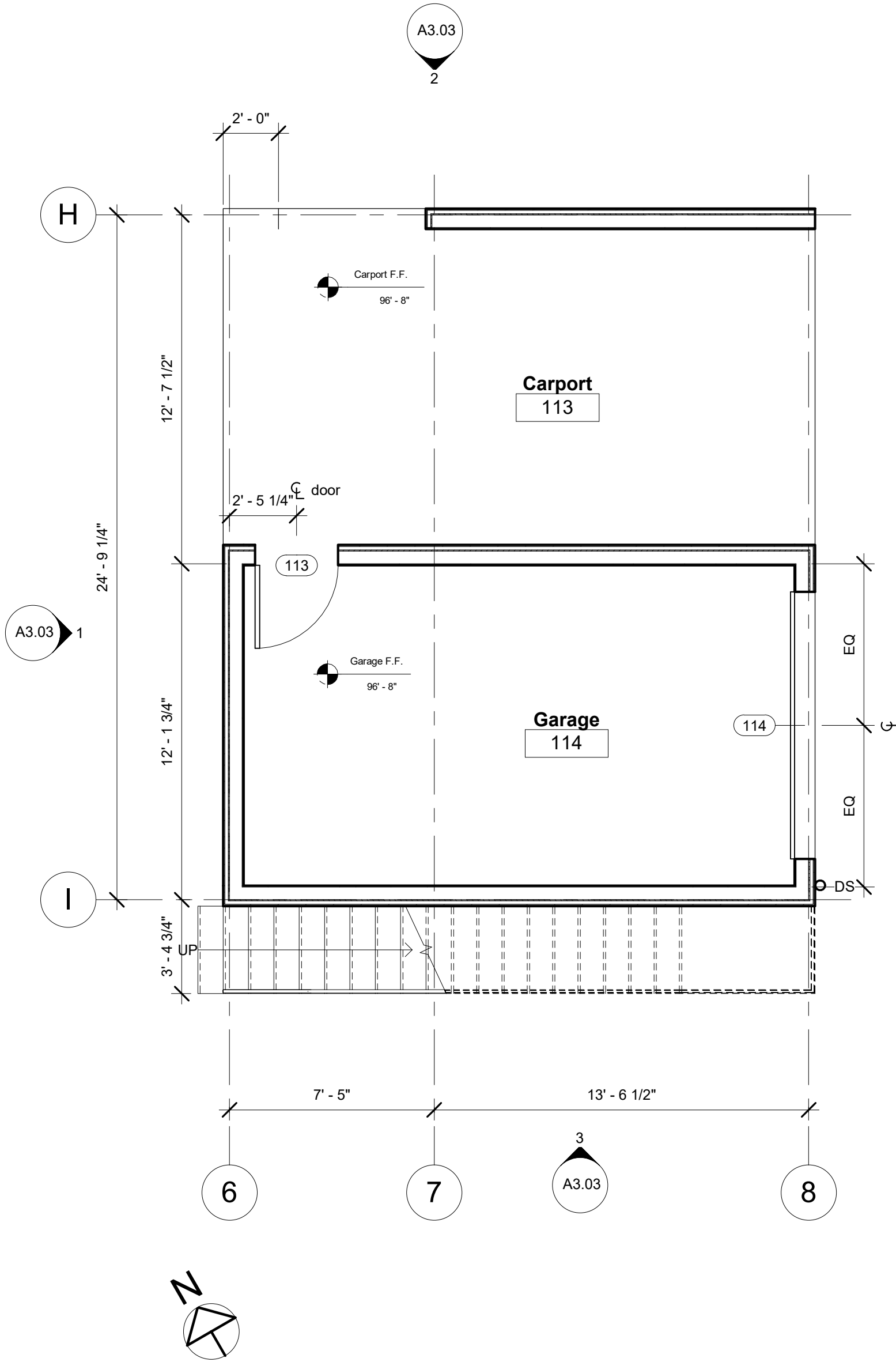
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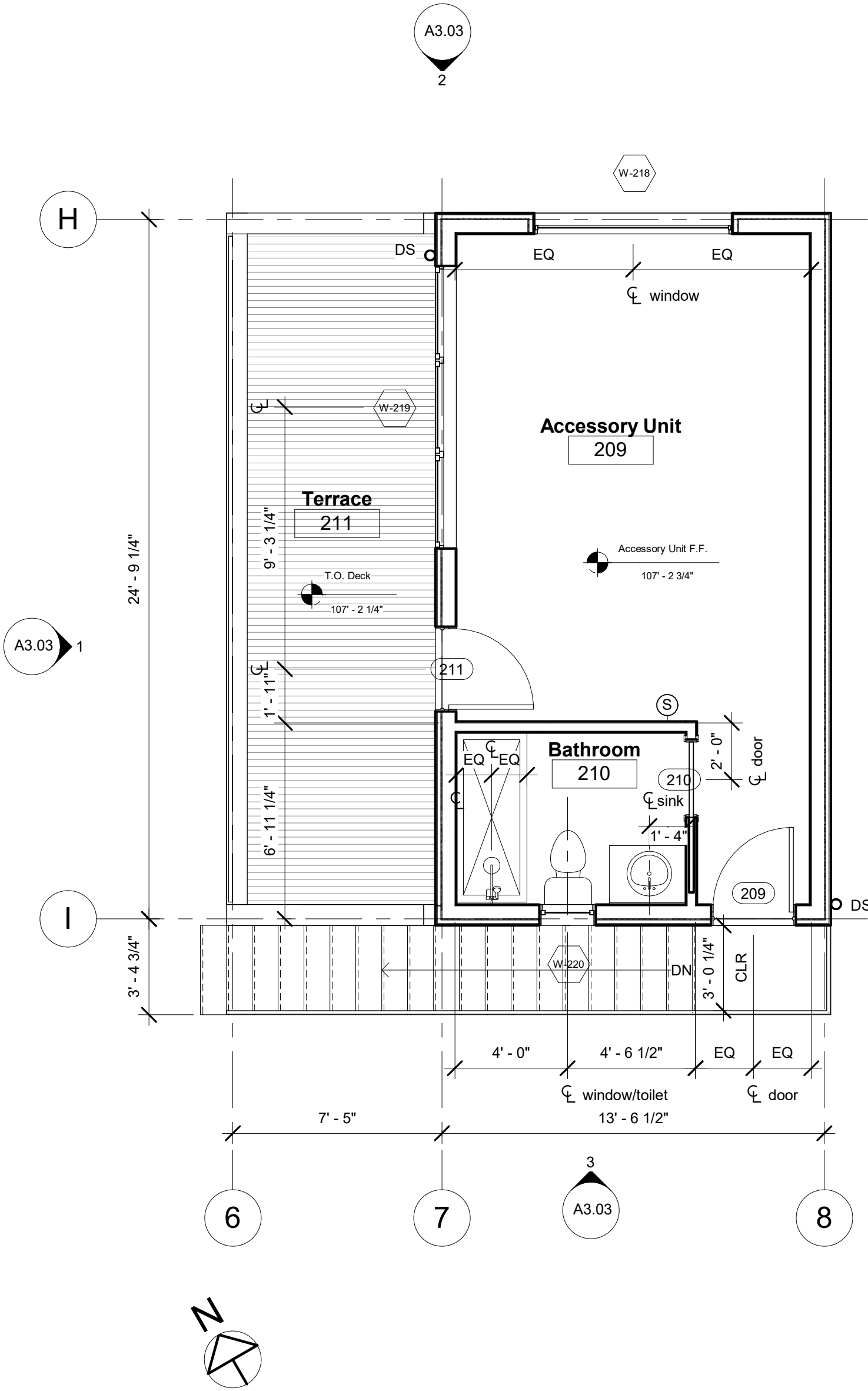
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Roof Plan

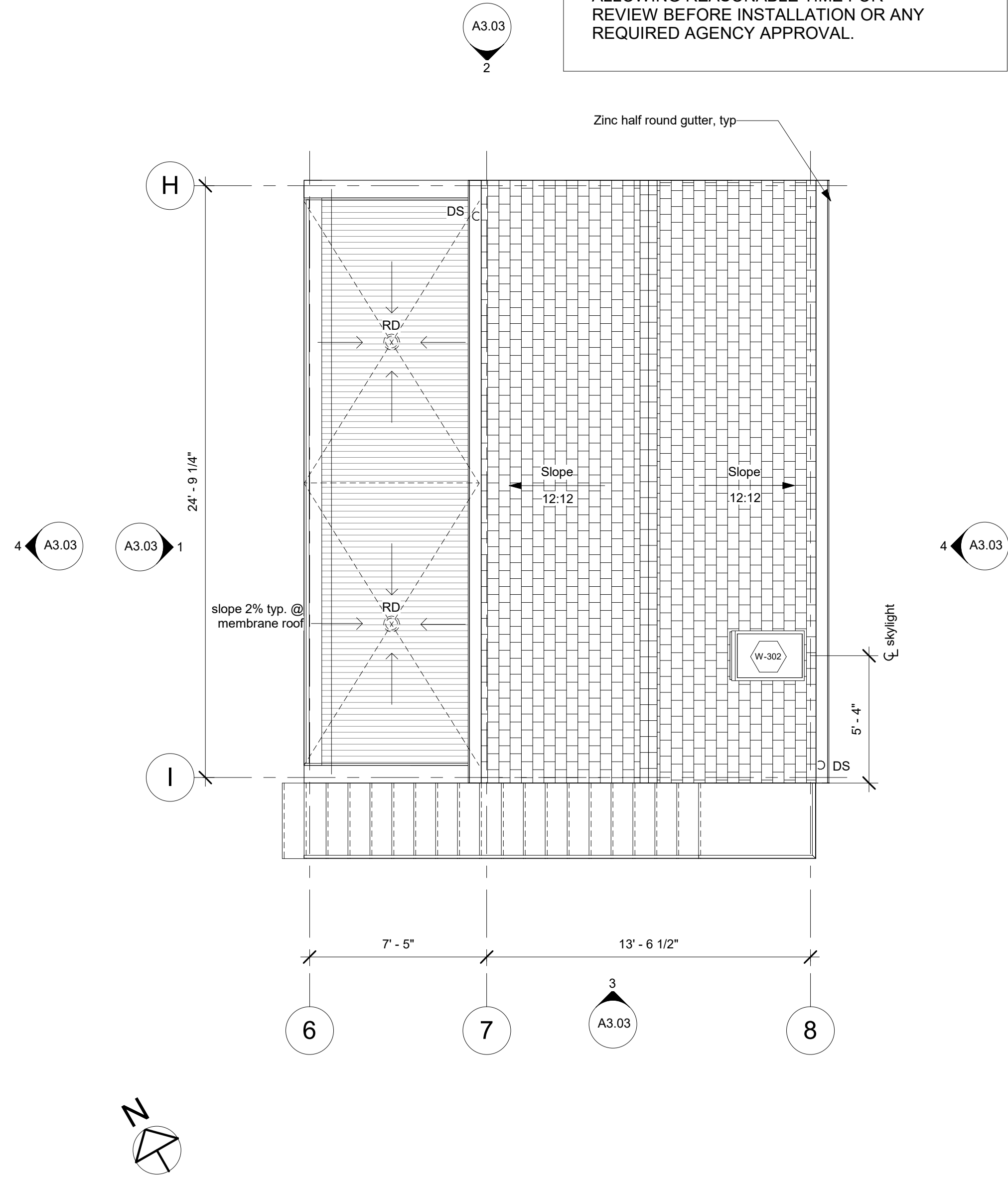
A1.03



3 Garage and Carport Floor Plan
1/4" = 1'-0"



2 Guest House Floor Plan
1/4" = 1'-0"



1 Guest House Roof Plan
1/4" = 1'-0"

Legend:

Ⓢ Wall Mounted Smoke Alarm/
Carbon Monoxide Detector

GENERAL PLAN NOTES:

1. Elevation 100'-0" as noted equals 613'-6" natural elevation above sea level.
2. Refer to G2.01 for wall types.
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4. Maintain R13 minimum insulation for exterior walls. All insulation to be either labeled or the installed R-values provided. All insulation to be installed per manufacturer's instructions. All air barriers and thermal barriers to be installed per manufacturer's instructions.
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S

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REGISTERED ARCHITECT
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STATE OF TEXAS
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07.28.2020

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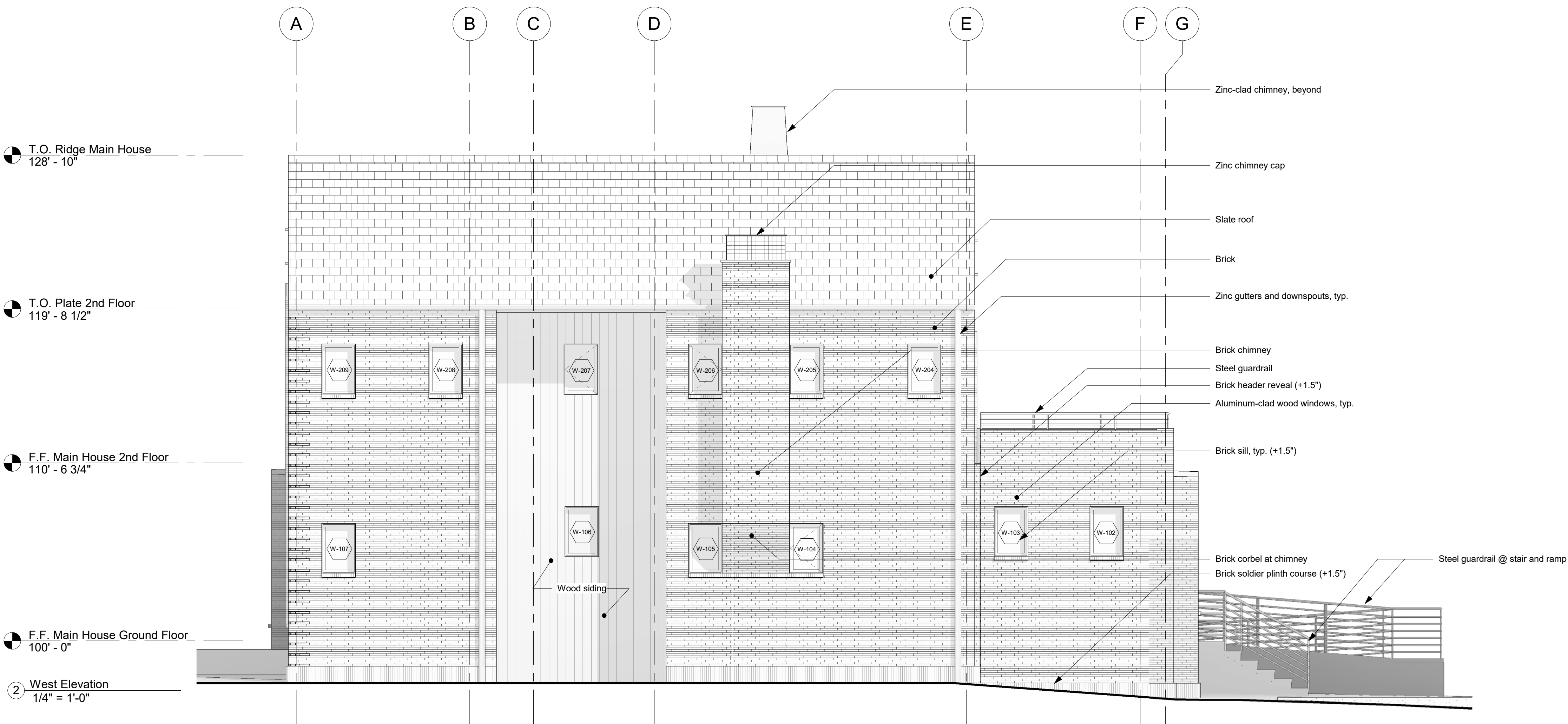
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Revisions:

Carport / Garage
and Accessory
Unit Plans

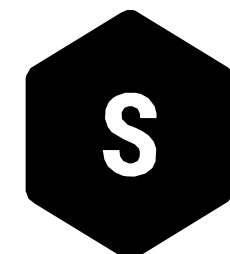
A1.04



① North Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



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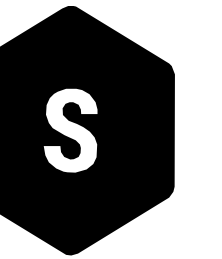
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Revisions:

Exterior
Elevations

A3.01



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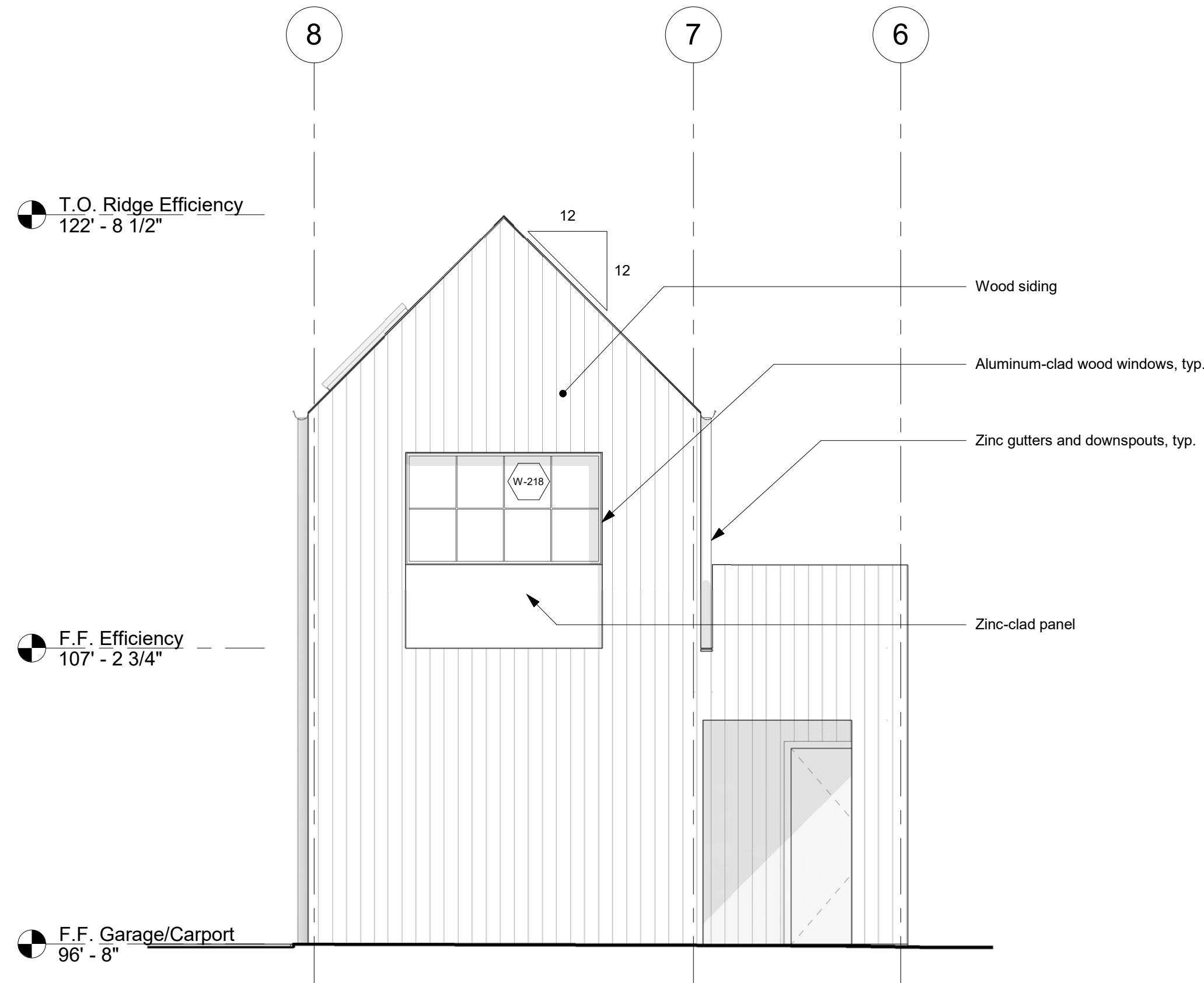
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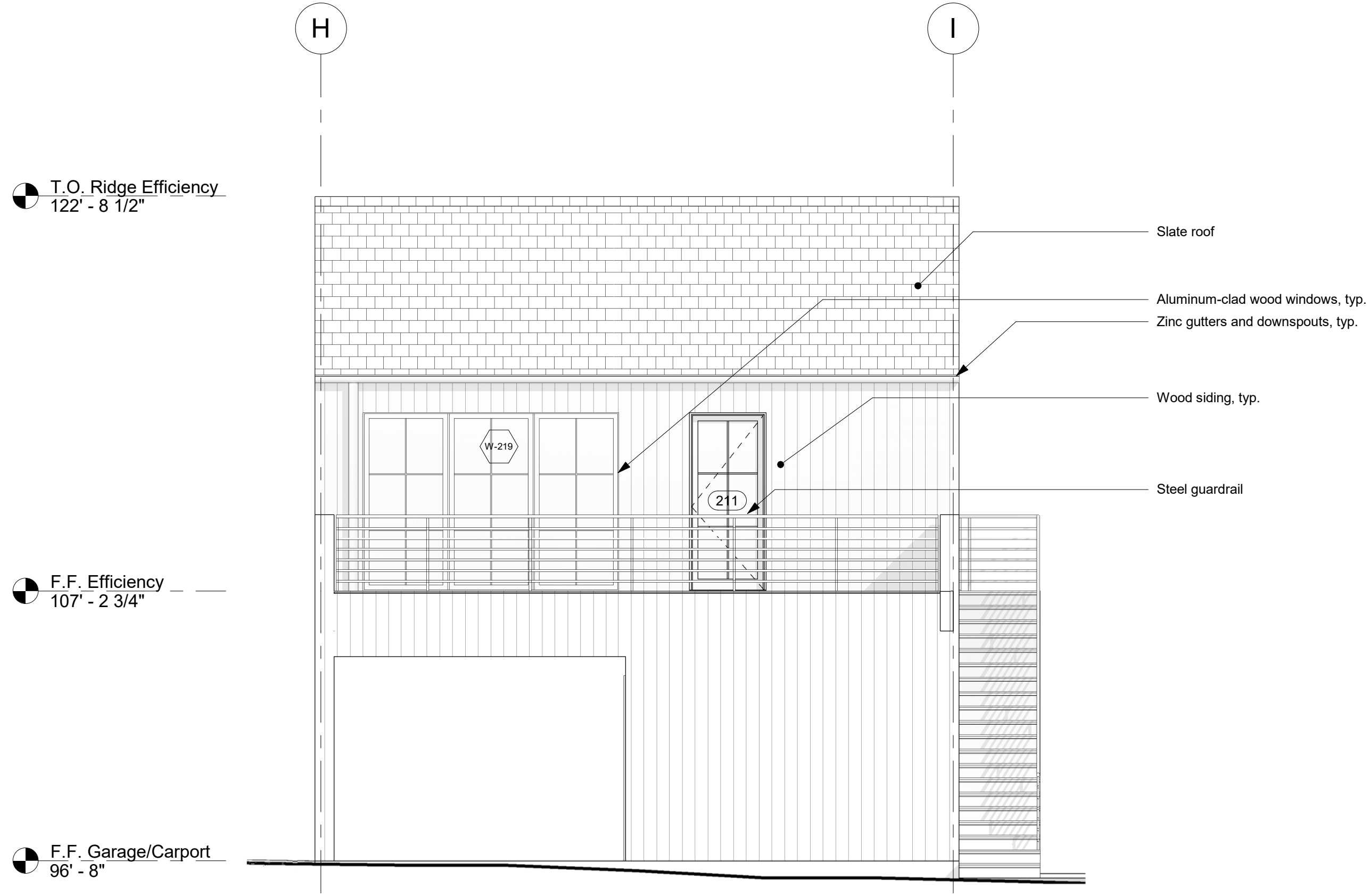
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Revisions:

Exterior
Elevations

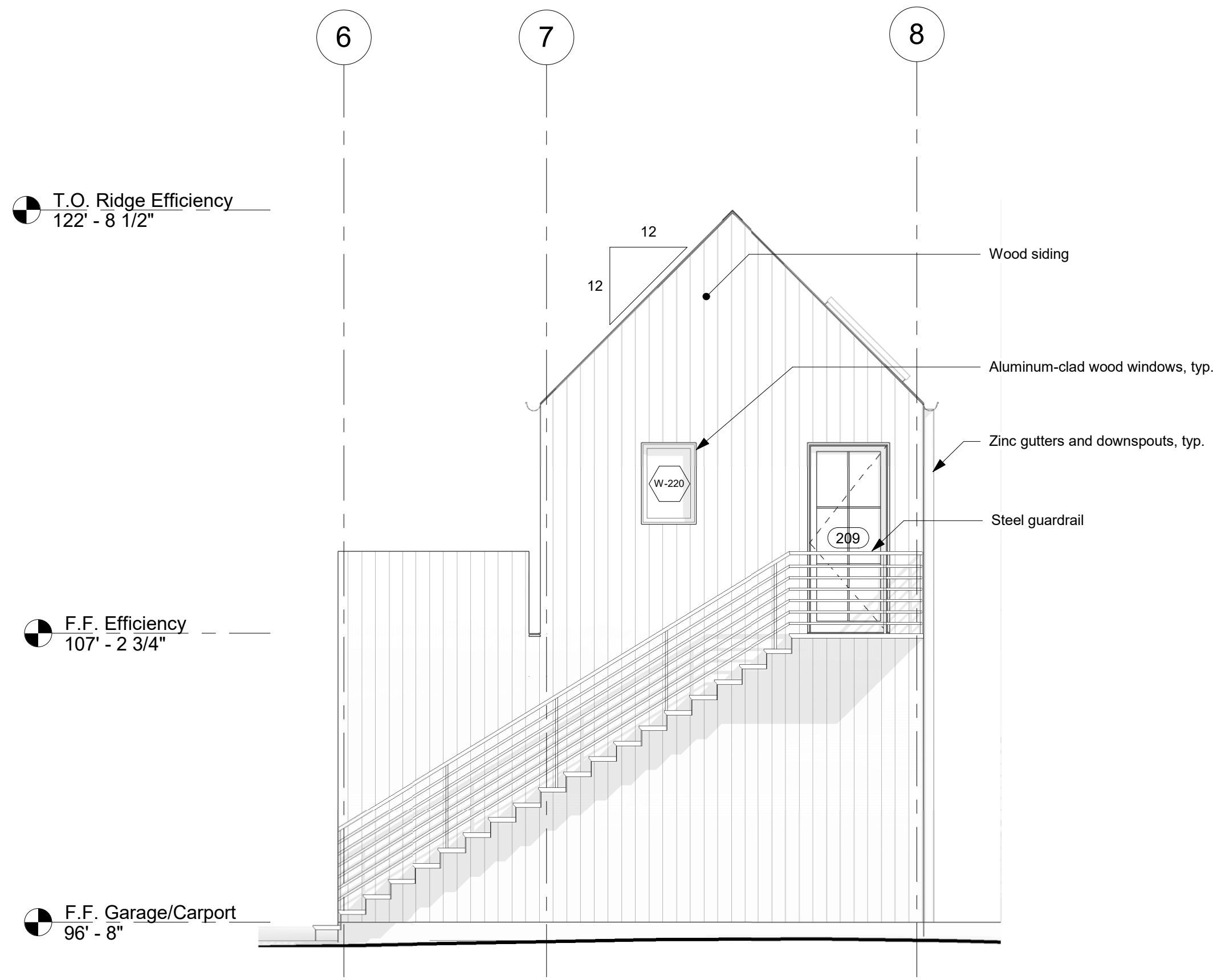
A3.02



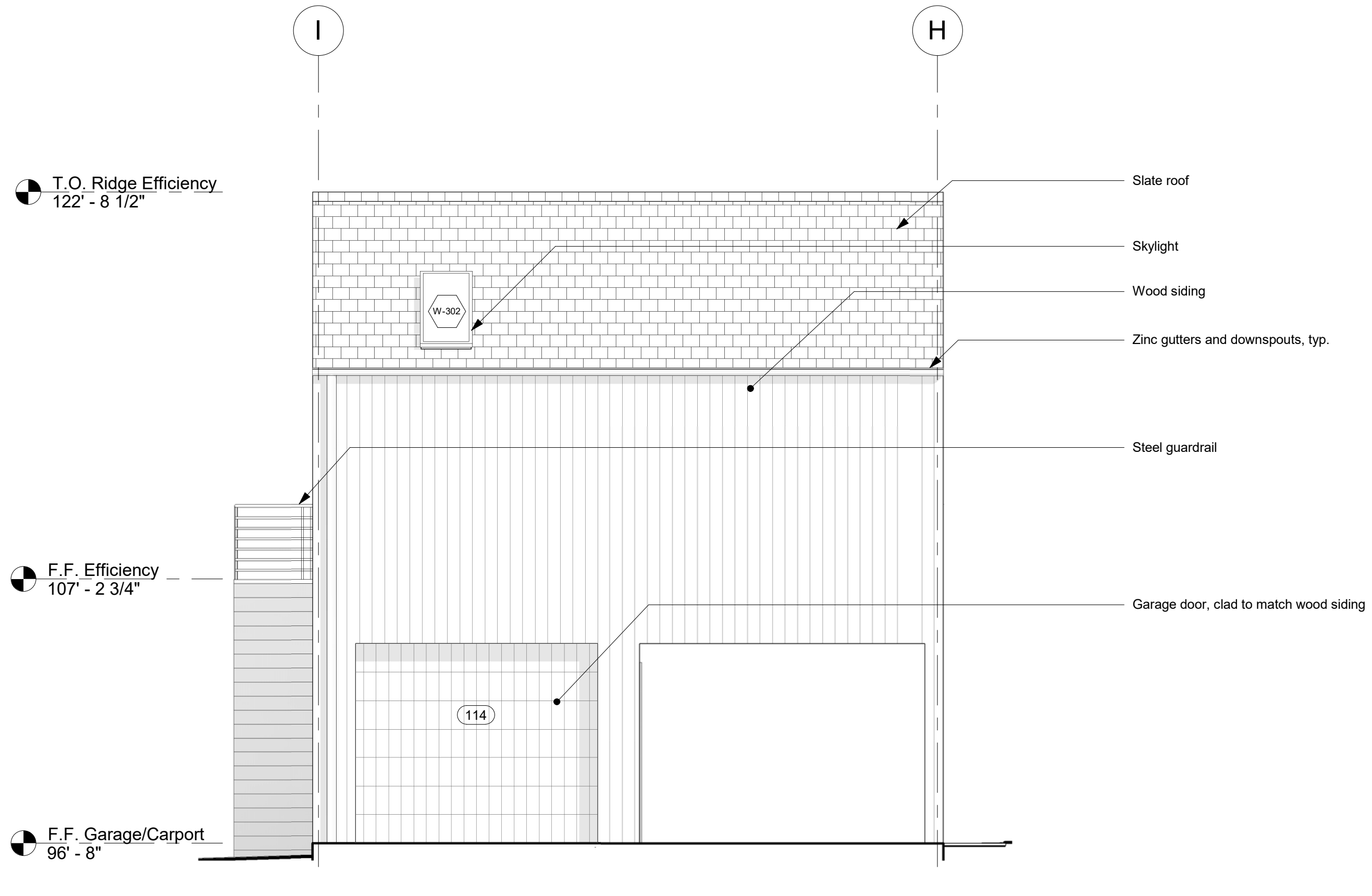
② Garage/Carport and Efficiency Room South Elevation
1/4" = 1'-0"



① Garage/Carport and Efficiency Room West Elevation
1/4" = 1'-0"



③ Garage/Carport and Efficiency Room North Elevation
1/4" = 1'-0"



④ Garage/Carport and Efficiency Room East Elevation
1/4" = 1'-0"



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Revisions:

Carport / Garage
and Accessory
Unit Elevations

A3.03













