

GENERAL CONDITIONS.

1. These documents comprise a portion of a contract between the Owner and the General Contractor. No contract is implied or stated between the Owner and any other party, nor between the Architect and any party.
2. No set of contract documents is able to contain all the information required to construct a project. Interpretation by the General Contractor is required. By use of these documents, both the Owner and the General Contractor assent to this understanding of the nature of contract documents.
3. The General Contractor is responsible for the provision of minor details and appurtenances not shown in the contract documents.
4. The General Contractor and his/her subcontractors are responsible for the final design of the HVAC, plumbing, and electrical systems.
5. The General Contractor may not revise or modify the contract documents, in whole or in part, without the prior approval of the Owner. Consultation with the Architect beforehand is strongly recommended.
6. The General Contractor may not modify the plans, elevations, or site plan shown in the contract documents without obtaining Architect consultation and Owner approval beforehand.
7. Should the Owner request changes to the contract documents, the General Contractor is responsible for ensuring that the changes do not result in a built condition that does not comply with codes and/or regulations. Consultation with the Architect and/or an Inspector is highly recommended.
8. The Architect is not an inspector and is not liable for the General Contractor's failure to execute the Work in accordance with the contract documents and/or in conformance with any and/or all applicable codes, laws, statutes and regulations.
9. The Owner shall not be held liable nor be made to pay for the remediation of work judged substandard and/or rejected by the Architect, the Owner, and/or any Inspector (municipal or third-party). The Owner alone reserves the right to accept work judged substandard by either the Architect or the Owner. Should the Owner elect to accept substandard work, the Owner reserves the right to request monetary credit and/or a reduction in the contract sum.
10. The Owner and/or the Architect shall be permitted to access the project site, in part and as a whole, at any reasonable time without prior notice. If the project site, in part or as a whole, is locked or otherwise secured, the Architect shall coordinate with the General Contractor to gain access. Neither the Owner nor the General Contractor shall be held liable for the consequences of the Architect's presence onsite unless said consequences arise from an unsafe or otherwise substandard project condition.
11. The General Contractor is solely responsible for obtaining and maintaining all such bonding, sureties, and insurances such as may be required to shield the Owner from claims pertaining to the General Contractor's and/or Subcontractors' execution of the Work and their respective conduct onsite.
12. The General Contractor is solely responsible for ensuring that working conditions onsite are safe and comply with all relevant rules, laws, codes, and standards. Likewise, the General Contractor is solely responsible for ensuring that all personnel onsite conduct themselves in a safe and prudent manner at all times, whether or not the General Contractor is present.

NOTES REGARDING CODES, REGULATIONS, STANDARDS, PERMITS and INSPECTIONS.

1. The General Contractor is responsible for ensuring built compliance with all codes, regulations, and standards such as may be in force. These codes include but may not be limited to:

2015 International Energy Conservation Code, 2015 Amended National Electrical Code
2015 International Fire Code, 2015 Uniform Mechanical Code
2015 Uniform Plumbing Code, 2015 International Residential Code

2. Should the General Contractor become aware of a condition shown or depicted in the contract documents that would result in a violation of any code or regulation listed above, the General Contractor shall contact the Architect immediately for resolution.
3. The General Contractor shall be responsible for obtaining any permit not provided beforehand by the Owner.
4. The General Contractor and/or his/her subcontractors shall be responsible for coordinating all required inspections.
5. The Owner and/or the General Contractor shall commission a third-party inspector. Failure on the part of the Owner and/or the General Contractor to retain a third-party inspector shall release the Architect from any and all liability for the project.
6. Neither the Owner nor the Architect shall be considered to act in the role of an Inspector. While the Owner and the Architect shall endeavor to alert the General Contractor to any perceived or observed defect in the construction, failure to do so shall not in any way relieve the General Contractor from his/her obligation to ensure that the built work is safe, of good quality, and compliant with all relevant codes and regulations.
7. The General Contractor is responsible for ensuring that all work, whether performed by subcontractors or by the General Contractor him/herself, is of good workmanship and quality.

NOTES REGARDING VISITABILITY REQUIREMENTS.

(Ref: City of Austin ordinance #20140130-021 and City of Austin amendments to section R320 to the 2015 International Residential Code)

1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
3. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
4. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
5. At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.
6. A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum 36" in clear width and shall have a maximum cross-slope of 1:50.

NOTES REGARDING SPECIFIC PORTIONS OF THE WORK.



1. FOUNDATIONS.
A. All concrete slab-on-grade and pier+beam foundations shall be engineered by a structural engineer licensed in the state of Texas.
B. All concrete intended for exposure as flooring shall be protected during construction.
2. FRAMING.
A. All wall framing shall be engineered by a structural engineer licensed in the state of Texas.
B. All wall studs shall be sized as indicated otherwise in architectural or engineering drawings.
C. All floor and roof trusses shall be engineered by a structural engineer licensed in the state of Texas.
3. SHEATHING and DECKING.
A. All wall sheathing shall be, at a minimum, 7/16" OSB unless indicated otherwise on engineering drawings.
B. All floor decking shall be, at a minimum, 1-1/4" OSB "screwed and glued" unless indicated otherwise on engineering drawings.
C. All roof decking shall be, at a minimum, 5/8" OSB with a radiant barrier facing downward (unless spray-foam insulation is to be used).
4. AIR AND WATER BARRIERS.
A. All exterior wall sheathing shall receive a vapor-permeable air+water barrier equal to or better than Fortifiber HydroTex.
B. All sheathing shall be sealed at joints and junctions as required by manufacturer.
C. Sheathing at window and door assemblies shall be shingled over head and jamb fins and shall be further sealed with compatible self-adhered membrane flashing.
D. All roof sheathing shall receive an ice+water shield.
5. INSULATION, SEALANTS and VENTILATION.
A. All exterior wall and roof assemblies shall receive insulation consisting of one of the following types (SELECTED PRODUCT IS INDICATED IN SPECIFICATIONS ON SHEET G003):
-----1) Open-cell spray foam insulation;
-----2) Blown-in batt insulation; or,
-----3) Paperless fiberglass batt insulation.
B. All insulation shall comply with the following minimum thermal-performance requirements:
----- Roofs R-38
----- Walls R-19
C. All walls surrounding bathroom areas shall receive paperless fiberglass batt insulation.
D. Where blow-in batt insulation or fiberglass batt insulation is to be used, roof cavities shall be ventilated by means of continuous perforated cement-board soffits and ridge vents.
E. All penetrations through exterior cladding shall be sealed with silicone sealant to prevent water intrusion.
F. All crawlspaces beneath pier+beam foundations shall be ventilated by means of 6" diameter round vents with insect screens.
6. EXTERIOR CLADDING and TRIM.
A. All exterior cladding shall be installed in strict accordance with manufacturers' instructions and placed per architectural elevations.
B. All cement-board cladding shall be smooth with no false wood grain.
C. All cement-board plank siding shall be 6" or 12" exposure, as noted on architectural elevations. Where no exposure size is given, 6" horizontal exposure shall be assumed.
D. All joints in cement-board plank siding shall be staggered and puttied before painting.
E. All vertical cement-board paneling shall be made from 4' x 8' sheets of smooth cement board with no false wood grain, with battens at 24" o.c. unless otherwise noted.
F. All wood siding shall be clear-sealed cedar or redwood shiplap siding, 6" exposure unless noted otherwise. Where no exposure size is given, 6" horizontal exposure shall be assumed.
G. All stucco cladding shall be 3-coat portland-cement stucco (NO EIFS OR SYNTHETIC STUCCO) on paper-backed metal lath with the 3rd coat consisting of an elastomeric color coating.
H. Unless noted otherwise, all stucco cladding shall receive control joints as per the following:
-----1) VERTICAL JOINTS: at a spacing of 32' maximum in plan and at all window+door corners.
-----2) HORIZONTAL JOINTS: at the top of deck of every floor level.
J. All stone cladding shall be Austin-chalk or Lueders limestone masonry, random-ashlar bond, nominal 4-1/2" thickness.
K. All exterior trim shall be RealTrim, nominal 1x4 size, smooth all sides (S4S) with no false wood grain.
L. All exterior fasciae shall be cement board or RealTrim, nominal 1x6 size, smooth all sides (S4S) with no false wood grain.
7. ROOFING.
A. All roofing shall consist of 30-year composition-shingle roofing unless noted otherwise on roof plans. Other acceptable roofing assemblies:
-----1) Standing-seam metal roofing, 1-1/2" minimum seam, dark-bronze finish; and/or,
-----2) Walkable PVC roofing.
B. All roof decks above conditioned space shall receive walkable PVC roofing. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.

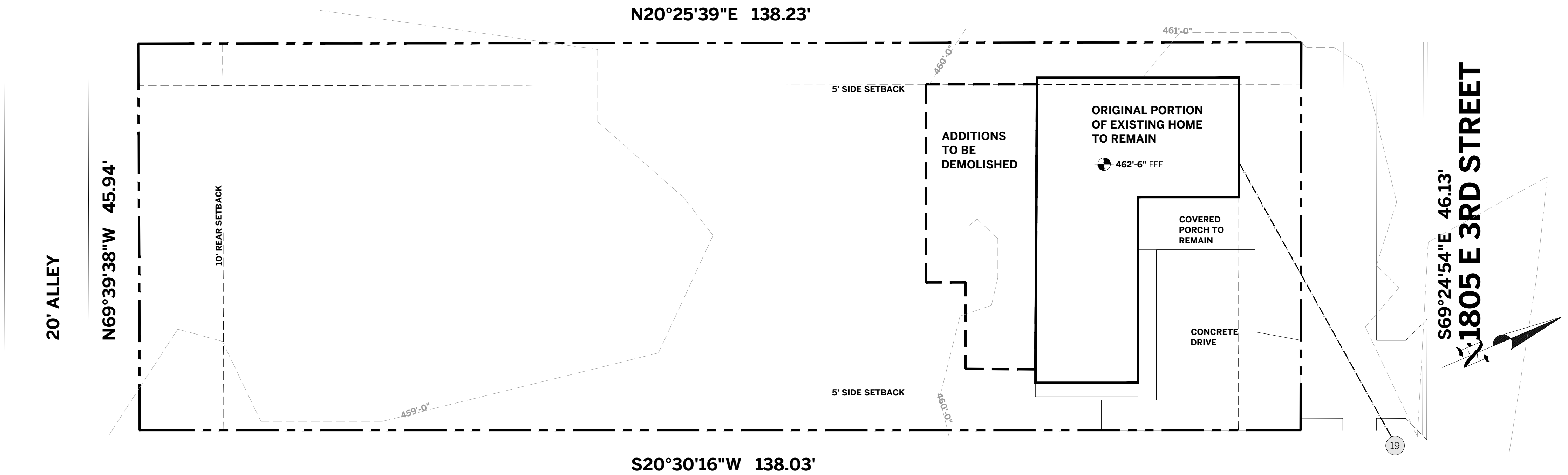
NOTES REGARDING SPECIFIC PORTIONS OF THE WORK (continued).

8. DECKS and BALCONIES.
G. All roof decks above conditioned space shall receive one of the following deck surfaces (SELECTED PRODUCT IS INDICATED ON G003):
-----1) Synthetic-wood decking on treated-wood sleepers; or,
-----2) Walkable PVC roofing.
H. All balconies and uncovered wood decks above covered porches shall receive one of the following deck surfaces (SELECTED PRODUCT IS INDICATED ON G003):
-----1) Synthetic wood decking on treated wood deck structure per structural engineer; or,
-----2) Walkable PVC roofing.
I. All sleepers and structure used under synthetic wood decking shall be pressure-treated without exception.
J. All thinset ceramic or porcelain tile used on decks and balconies shall be installed upon a suitable crack-isolation membrane.
K. All roof decks, balconies, and uncovered roof decks above covered porches shall receive steel railings as per the following (SELECTED PRODUCT IS INDICATED ON G003):
-----1) 36" minimum height balustrade comprised of 1.5"-square steel tubing attached to front of exterior fascia or balcony, with stainless-steel cable railing at 3.5" vertical separation o.c.; or,
-----2) 36" minimum height parapet with continuous metal coping on top.
9. FLASHINGS, COPINGS, GUTTERS, and SCUPPERS.
A. All flashings and counterflashings shall be galvanized steel unless noted otherwise.
B. All joints between flashings shall be lapped and sealed unless acceptable per industry standard based on specific conditions.
C. All copings on parapets and deck railings shall be galvanized steel, dark-bronze finish, unless noted otherwise.
D. All copings on parapets shall be continuous with sealed lap joints (NO BUTT JOINTS, EVEN IF SEALED).
E. All low eaves on shed, gable, and hip roofs shall receive 6" gutters unless noted otherwise. Where roof plan does not show gutters, 6" gutter shall be assumed.
F. All gutters shall be either dark-bronze finish to match metal roof or painted to match fascia.
G. All downspouts shall be either dark-bronze finish to match gutter or painted to match cement-board siding.
H. Downspouts shall be provided as per the following:
-----1) WALLS LESS THAN 20' IN LENGTH: One downspout
-----2) WALLS GREATER THAN 20' IN LENGTH: One downspout per 20' of length, minimum two per wall
J. Downspouts shall be located near corners at ends of walls and centered in middle of walls unless specifically noted otherwise on architectural elevations. Where downspouts are not shown, downspouts shall be located as per this note.
K. Through-wall scuppers shall be provided at all parapets.
L. Through-wall scuppers shall be 6" wide by 6" tall and shall be galvanized-metal or TPO-coated metal.
M. Scuppers shall be located as indicated in architectural elevations and roof plans. Where no scuppers are indicated in architectural elevations or roof plans, scuppers shall be located as follows:
-----1) PARAPET LESS THAN 10' IN LENGTH: One scupper, in center
-----2) PARAPETS GREATER THAN 10' IN LENGTH: One scupper per 10' of wall length, minimum two
N. All scuppers shall be installed such that roof and/or deck material behind parapet shingles on top of back of scupper.
P. All undersides of copings and gutter attachments to cladding shall be sealed with silicone sealant.
Q. All through-wall scuppers shall be sealed at all junctions with exterior wall.
10. WINDOWS.
A. All windows shall be one of the following specifications (SELECTED PRODUCT IS INDICATED ON G003):
-----1) VINYL fin-mounted windows, Andersen 100 series or better; or,
-----2) ALUMINUM-CLAD WOOD fin-mounted windows, Andersen 200 series or better.
B. All sleeping rooms shall have at least one window rated for egress by the manufacturer.
C. All windows shall be tempered as indicated in the architectural plans. Where no tempering requirements are indicated in architectural plans, windows meeting ANY of the following conditions shall be tempered:
-----1) All windows in showers or baths with head height at or below 96" AFF;
-----2) All windows within 24" of the arc of any swinging door;
-----3) All windows within 24" of the jamb of any sliding door;
-----4) All windows with sill heights below 12" AFF;
-----5) All windows with any single pane of glazing larger than 9 square feet in area.
D. All awning and casement windows whose sill height is lower than 24" above finish floor shall be fitted with window-opening control devices (WOCDS).
E. All windows shall be listed as compliant with current energy codes and shall have a maximum U-factor of 0.40 without exception.
F. The General Contractor is responsible for ensuring that thermal performance is compliant with all relevant energy codes and the requirements of these contract documents.





NOTES REGARDING SPECIFIC PORTIONS OF THE WORK (continued).

11. EXTERIOR DOORS.
A. All exterior doors shall be one of the following:
-----1) SOLID-CORE WOOD SWINGING DOORS with tempered glazing;
-----2) STEEL SWINGING DOORS with tempered glazing; or,
-----3) ALUMINUM SLIDING DOORS with tempered glazing.
B. All exterior swinging doors shall receive lever hardware (NO KNOBS).
12. INTERIOR DOORS.
A. All interior doors shall be one of the following:
-----1) SOLID-CORE WOOD DOORS with flat paneling; or,
-----2) SOLID-CORE WOOD DOORS with 5-panel (5x1) paneling.
B. Doors shall be paint-grade unless noted otherwise.
C. Swinging doors shall receive lever hardware (NO KNOBS).
13. TRIM AND CASINGS.
A. All interior baseboards shall be one of the following assemblies:
-----1) 1x4 flat MDF or paint-grade wood with no quarter-round; or,
-----2) 1x4 stain-grade wood with no quarter-round.
B. All interior door trim shall be one of the following assemblies:
-----1) 1x4 flat MDF or paint-grade wood; or,
-----2) 1x4 stain-grade wood.
14. FLOORING.
A. All flooring shall be one of the following assemblies:
-----1) Clear-sealed polished concrete, Level 4 finish;
-----2) Engineered-wood plank flooring, finish as per OWNER;
-----3) Carpet, color as per OWNER;
-----4) Ceramic tile, 12x12 or as selected by OWNER; or,
-----5) Ceramic tile, 1" diameter white "penny tile" with black grout.
B. All interior tile shall be installed upon a crack-isolation membrane.
15. DRYWALL and BACKING.
A. All interior drywall at walls shall be 1/2" gypsum board except at common walls between duplex units.
B. All interior drywall at common walls between duplex units shall be 5/8" TYPE X gypsum board.
C. All interior drywall at ceilings shall be 5/8" gypsum board.
D. All drywall at WET AREAS (baths, utility rooms) shall consist of one of the following:
-----1) Exterior-grade fiberglass-backed gypsum board, installed at full height of wall; or,
-----2) Cementitious backer board, installed at full height of wall.
16. PAINTING and TEXTURING.
A. All exterior cladding suitable for painting (stucco, cement board, fasciae and trim) shall receive exterior-grade latex paint. Color shall be WHITE unless otherwise selected by OWNER.
B. All exterior metal suitable for painting (railings, columns, beams, balustrades) shall receive exterior-grade latex paint intended for use on metal. Color shall match roof unless otherwise selected by OWNER.
C. All interior walls, trim, casings, and ceilings shall be receive no-VOC latex paint. Color shall be WHITE unless otherwise selected by OWNER.
D. All interior walls and ceilings shall receive orange-peel texture.
17. CABINETS and COUNTERTOPS.
A. All interior cabinets and shelving shall consist of one of the following assemblies:
-----1) Paint-grade wood or MDF cabinetry; or,
-----2) Stain-grade wood cabinetry.
B. All cabinets shall be full-flush-overlay cabinets with concealed (European) hinges and drawer extensions.
C. All drawer fronts shall receive brushed-nickel linear pulls installed as follows:
-----VERTICAL DIMENSION: CL of pull 1" below top of drawer front.
-----HORIZONTAL DIMENSION: Centered on width of drawer front.
D. All door fronts shall receive brushed-nickel linear pulls installed as follows:
-----VERTICAL DIMENSION: CL of pull 1" below top of door front (at BASE) or 1" above top of door front (at UPPERS).
-----HORIZONTAL DIMENSION: Centered on width of door front.
E. All countertops shall be either GRANITE or SOLID-SURFACE as selected by OWNER. Where OWNER has made no selection, countertops shall be white Silestone.
18. ELECTRICAL SYSTEMS.
A. Electrical systems shall be designed by master electrician.
B. A whole-house surge protector shall be installed unless deleted by OWNER.
C. Location of meters and load center shall be determined by master electrician.
19. PLUMBING SYSTEMS.
A. Plumbing systems shall be designed by master plumber.
B. Interior supply shall be via flexible (PEX) system with manifold.
C. A master cutoff valve shall be installed at manifold unless deleted by OWNER.
D. All piping in exterior walls shall be insulated.
20. HVAC SYSTEMS.
A. HVAC systems shall be designed by master HVAC technician.
B. HVAC systems shall consist of one of the following:
-----1) Heat pump compliant with current energy code;
-----2) Gas furnace with 10% makeup air compliant with current energy code;
-----3) Ductless split system compliant with current energy code.
C. All HVAC systems shall incorporate makeup air as required by energy code.

	<div>DISCLAIMERS.</div> <div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div>	<div>SEAL OF ARCHITECT.</div> <div></div> <div>ISSUE DATE11 SEPT 2020</div>	<div>SEAL OF MUNICIPAL APPROVAL.</div> <div></div>	<div><div>1805 E 3RD STREET AUSTIN, TX 78702</div><div>ISSUE DATE11 SEPT 2020</div><div>SHEET TYPEGeneral Notes.</div><div>G002</div></div>
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1 Site Plan
Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

THIS SET CONTAINS THE FOLLOWING SHEETS:		CRITICAL ROOT ZONES AT PROTECTED TREES.		TREE PROTECTION LEGEND.		LIST OF PROTECTED TREES.		DISCLAIMERS.		SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.	
G002 General Notes A000 Site Plan A201 Elevations				 Mulch (3" layer of mulch inside tree protection fence, 8" layer outside).		# TRUNK Ø SPECIES		<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				<p>ISSUE DATE 11 SEPT 2020</p>	
		 Tree protection fencing (ref: G007 and notes on this sheet).											

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ISSUE DATE 11 SEPT 2020

SHEET TYPE Site Plan.

A000

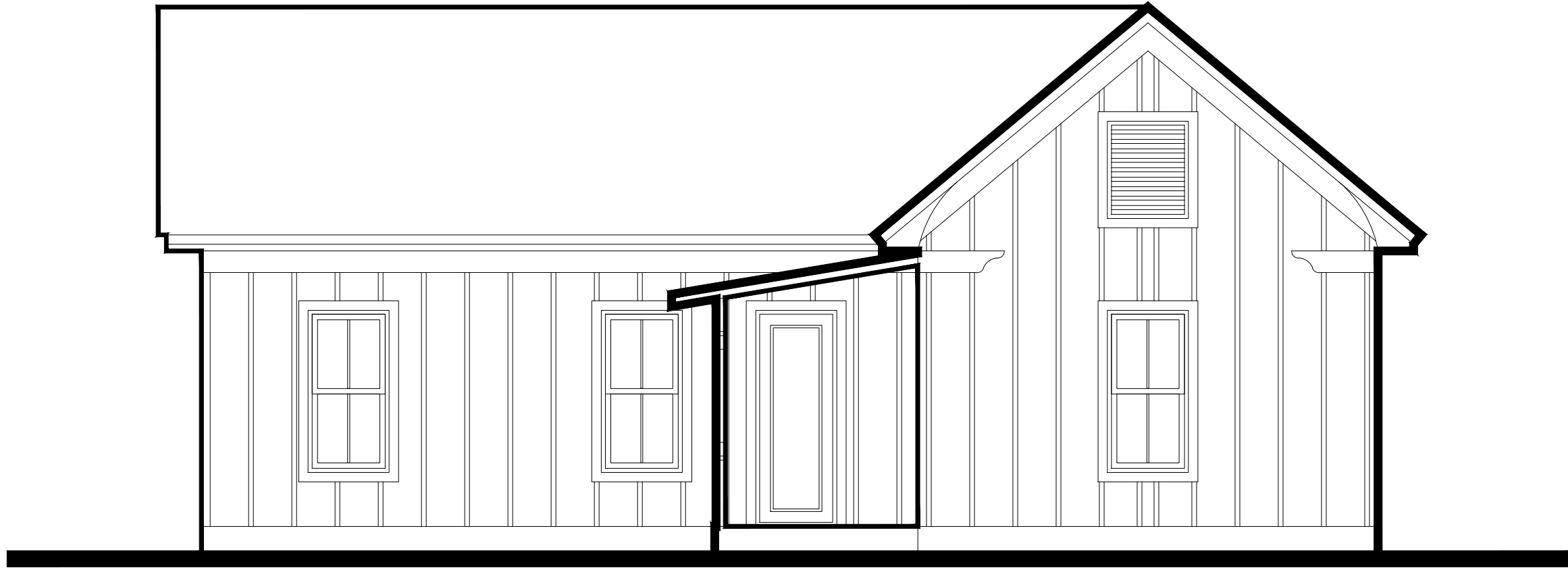
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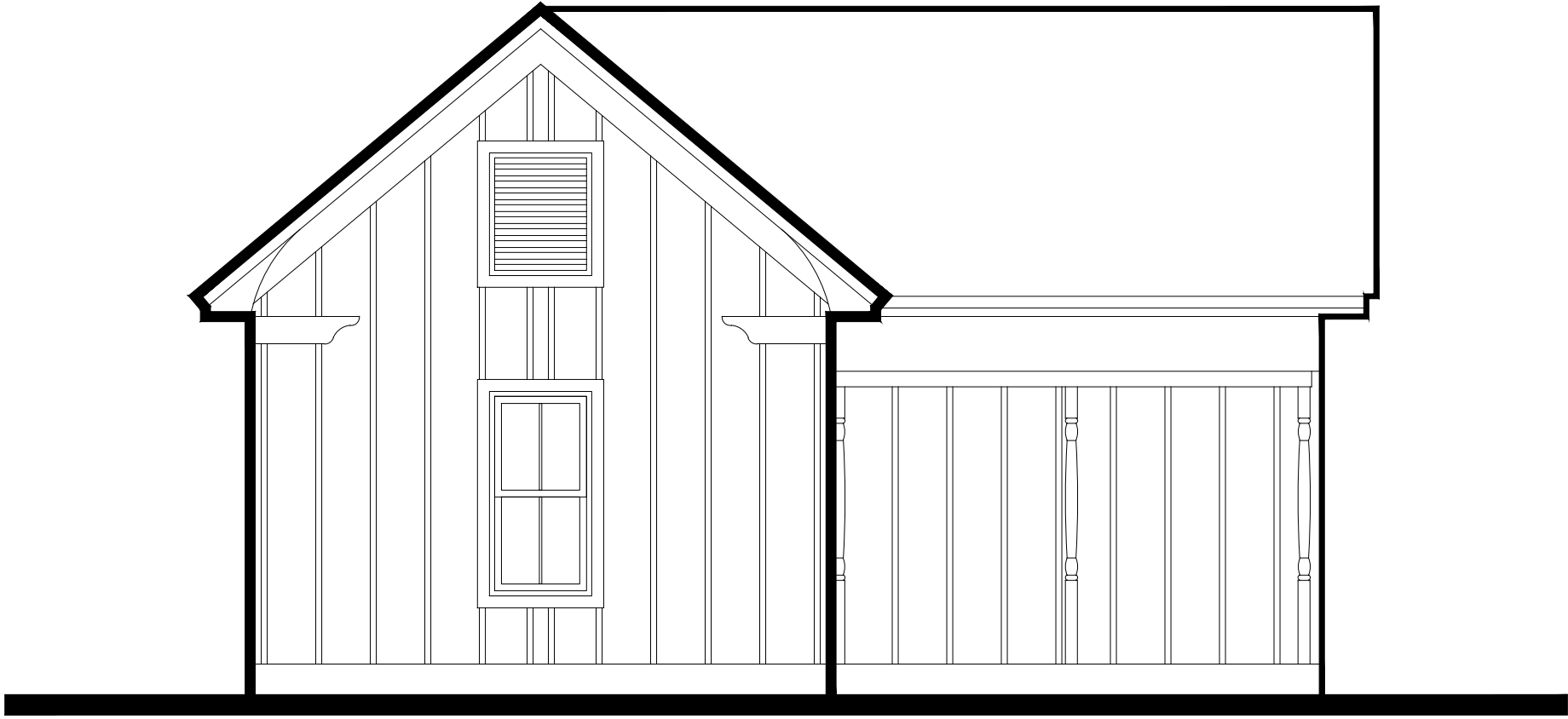
SHEET TYPE **Site Plan.**

A000



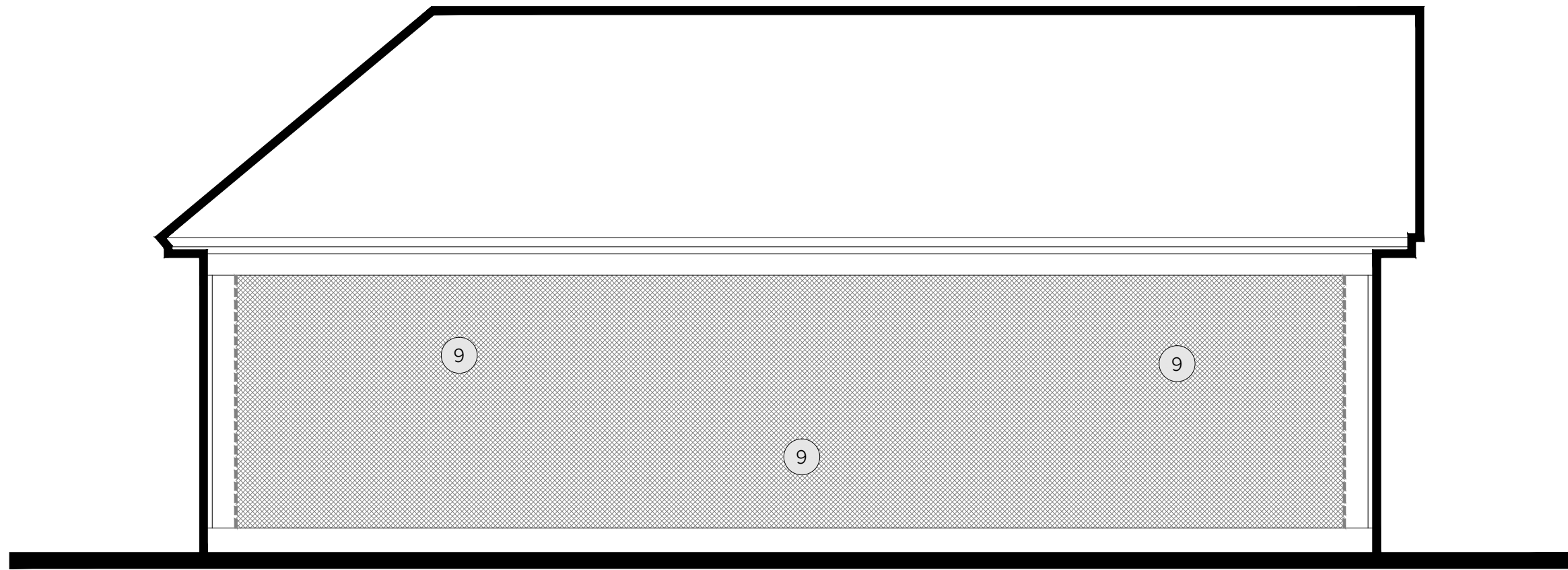
1 Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36



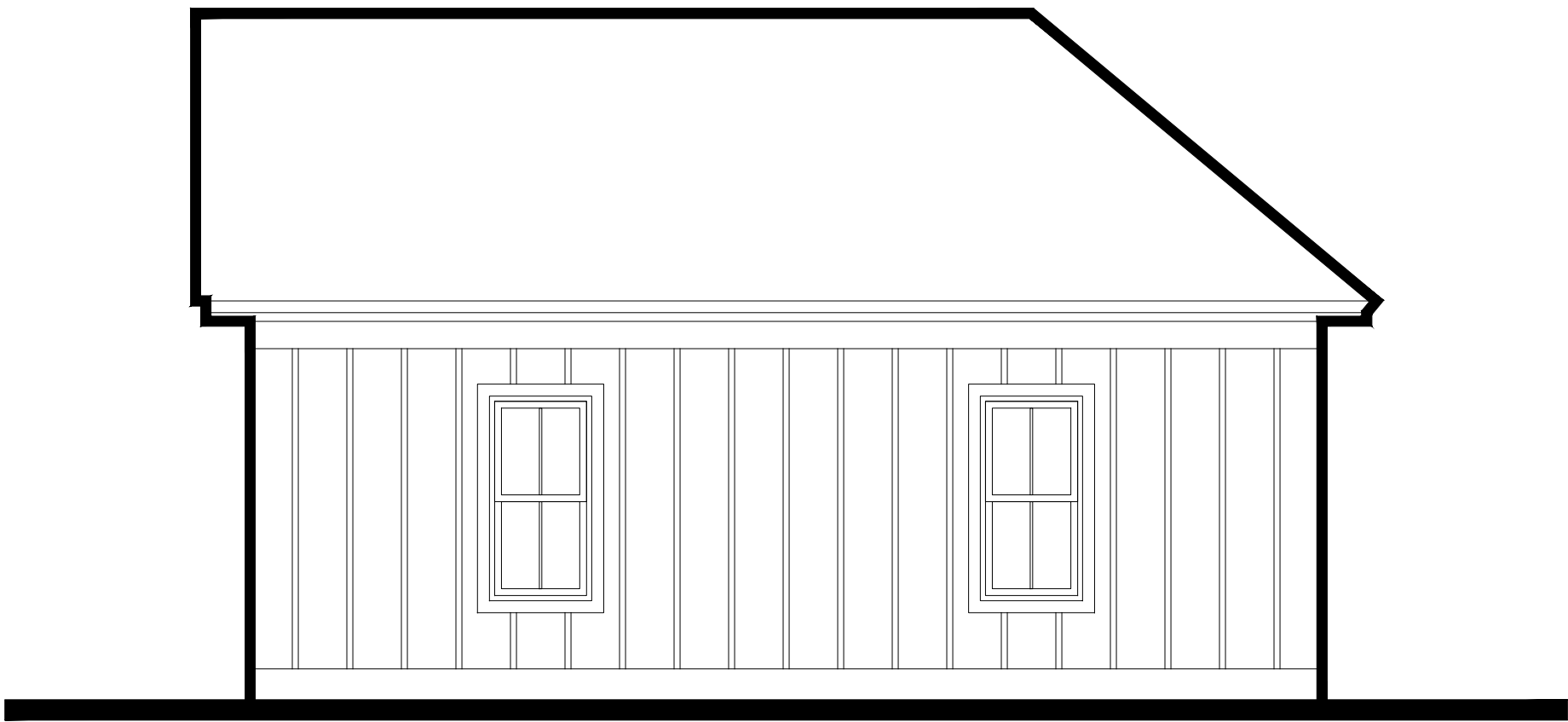
3 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36




2 Elevation, Bldg 1, Rear

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36



4 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

GENERAL NOTES.		SPECIFIC NOTES.						DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01	The contractor shall verify the sizes / dimensions of all existing conditions in the field prior to commencement of work. Sizes, dimensions, and profiles of existing conditions are to be replicated to the greatest extent possible.	01	Repair and repaint existing wood siding (TYP @ FRONT, LEFT, AND REAR).	05	Replace existing substandard front porch covering with new structure of like material, size, and slope.	08	Repair and repaint existing wood window units. If one or more panes of existing glazing in any window are broken, replace all panes of glazing on all windows on that side of house with new 1/4" single-pane glass. UNDER NO CIRCUMSTANCES ARE EXISTING WINDOW UNITS TO BE REMOVED. (TYP @ ALL WINDOWS)	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		
02	Unless an element or material has deteriorated beyond the point of repair—or unless specifically noted—existing elements and materials are to be repaired, not replaced.	02	Repair and repaint existing wood battens (TYP @ FRONT, LEFT, AND REAR).	06	Replace existing front porch columns with new columns of like material, size, and profile to existing shaped column at front-right corner of front porch.	09	AT REAR OF HOUSE, remove remnants of non-historic portions of house and replace with 4'-0"—wide panels of cement-board siding ONLY TO THE EXTENTS SHOWN. THIS NOTE ONLY APPLIES TO THE REAR OF THE HOUSE AND ONLY TO THE EXTENTS SHOWN.			
		03	Repair and repaint existing wood window and door trim (TYP @ FRONT, LEFT, AND REAR).			10	Remove existing roof and roof decking and replace with galvalume standing-seam roof on ice+water shield on 5/8" roof decking.		ISSUE DATE	11 SEPT 2020
		04	Repair and repaint existing wood soffits, ornamental trim, and fasciae (TYP @ ALL SIDES).	07	Replace existing non-historic front door with new door of like material, size, and configuration.					



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ISSUE DATE11 SEPT 2020

SHEET TYPEElevations.

A201