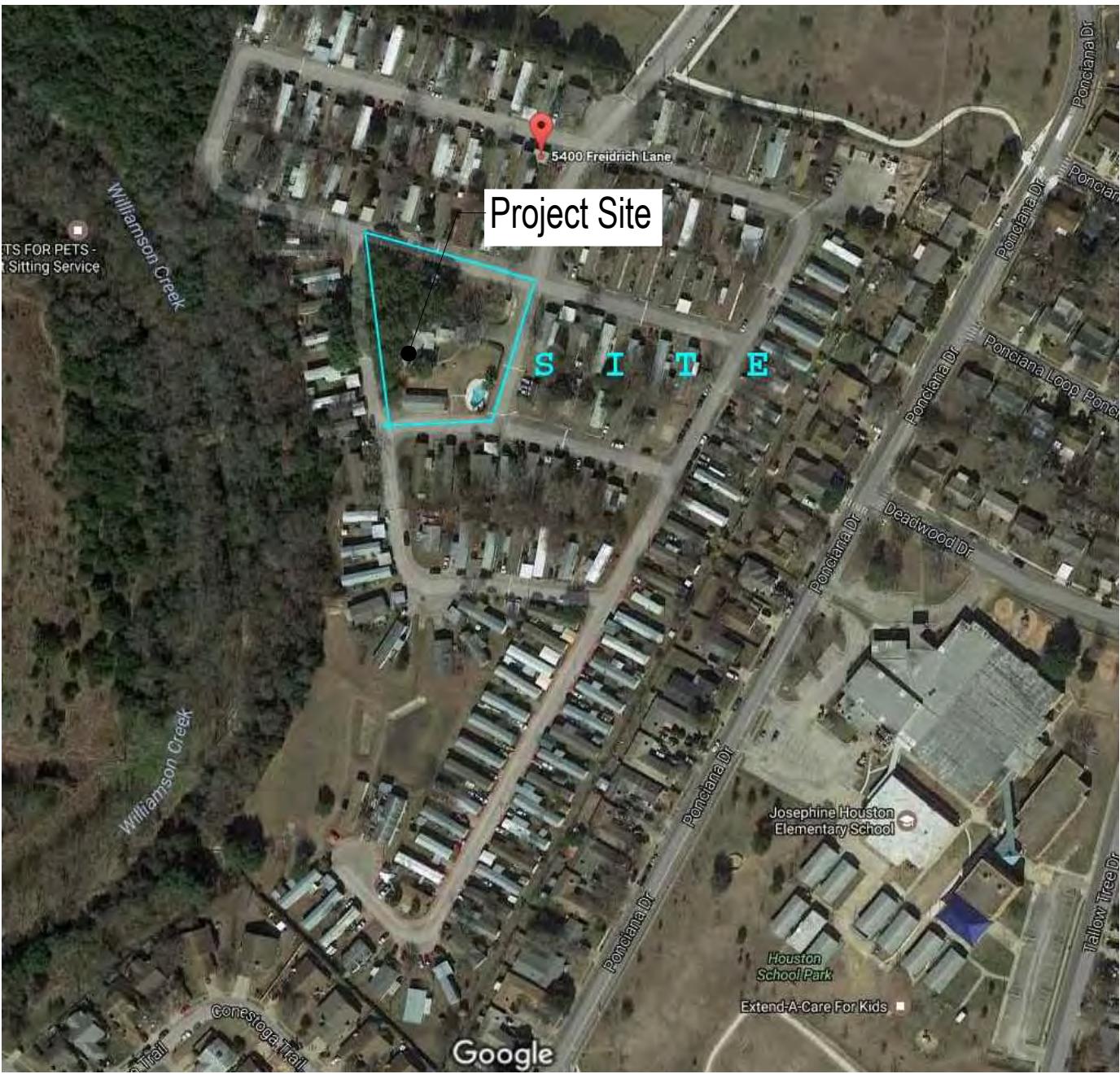
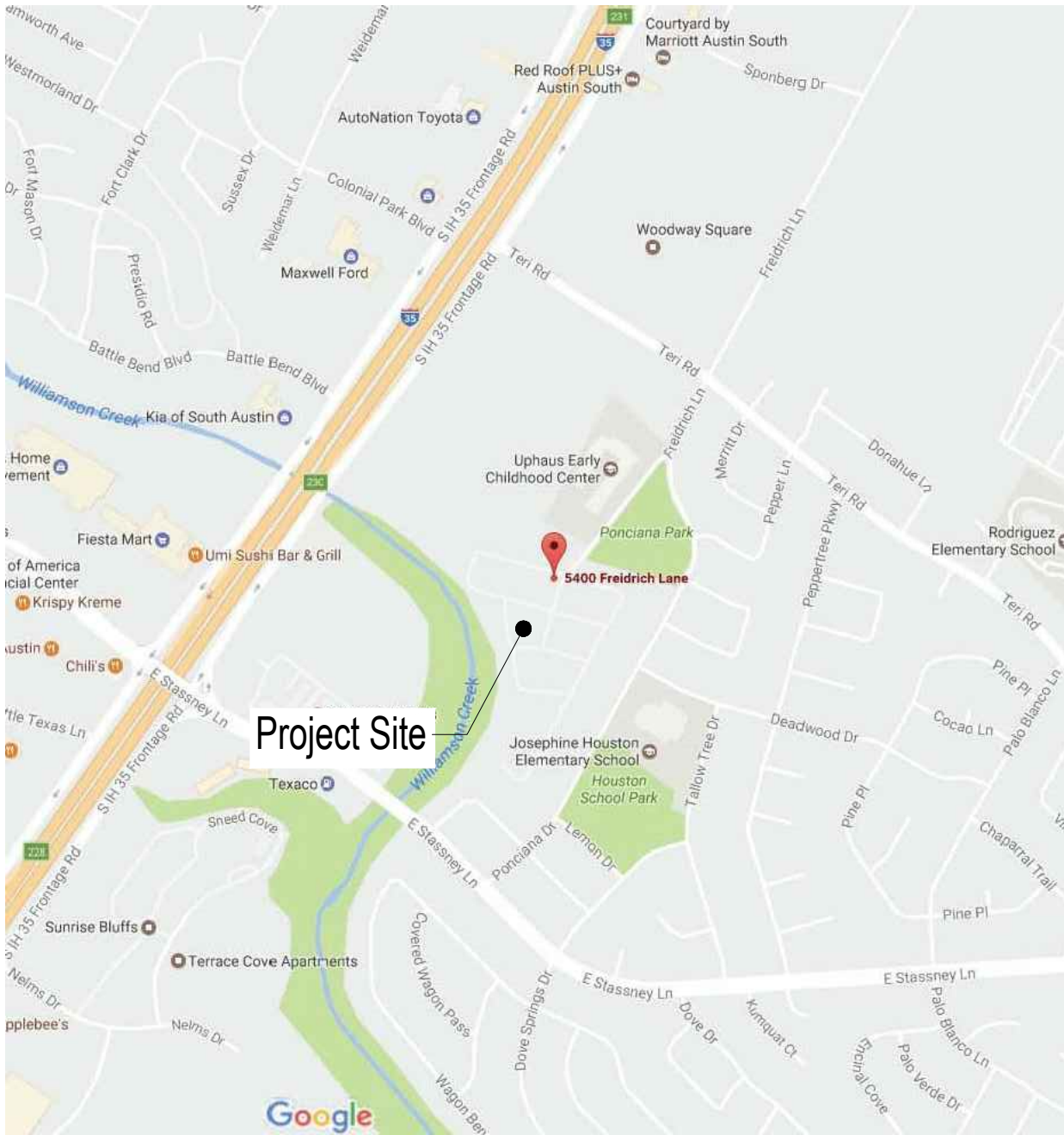


ABBREVIATIONS:

| A       |                                   | M        |                                      |
|---------|-----------------------------------|----------|--------------------------------------|
| ABV     | ABOVE                             | MAS      | MASONRY                              |
| ACCOUST | ACOUSTICAL                        | MATL     | MATERIAL                             |
| ACCU    | AIR COOLED CONDENSING UNIT        | MAX      | MAXIMUM                              |
| ACT     | ACOUSTICAL CEILING TILE           | MECH     | MECHANICAL                           |
| AD      | ACCESS DOOR                       | MEZZ     | MEZZANINE                            |
| ADA     | AMERICAN WITH DISABILITIES ACT    | MFR      | MANUFACTURER                         |
| ADJ     | ADJUSTABLE OR ADJACENT            | MID      | MIDDLE                               |
| AFC     | ABOVE FINISHED CEILING            | MIN      | MINIMUM                              |
| AFF     | ABOVE FINISHED FLOOR              | MISC     | MISCELLANEOUS                        |
| AHU     | AIR HANDLING UNIT                 | MK       | MARK                                 |
| ALUM    | ALUMINUM                          | MO       | MASONRY OPENING                      |
| AP      | ACCESS PANEL                      | MTL      | METAL                                |
| ARCH    | ARCHITECT, ARCHITECTURAL          | MTD      | MOUNTED                              |
| B       |                                   | N        |                                      |
| BFF     | BELOW FINISHED FLOOR              | N        | NORTH                                |
| BFE     | BRACKET MOUNTED FIRE EXTINGUISHER | N/A      | NOT APPLICABLE                       |
| BLOG    | BUILDING                          | NF       | NEAR FACE                            |
| BOC     | BACK OF CURB                      | NC       | NOT IN CONTRACT                      |
| BP      | BASE PLATE                        | NOM      | NOMINAL                              |
| BRG     | BEARING                           | NTS      | NOT TO SCALE                         |
| BRKT    | BRACKET                           | O        |                                      |
| BS      | BOTH SIDES                        | OC       | ON CENTER                            |
| BW      | BOTH WAYS                         | OD       | OVERFLOW DRAIN                       |
| BO      | BOTTOM OF                         | OF       | OUTSIDE FACE                         |
| C       |                                   | OFOI     | OWNER FURNISHED CONTRACTOR INSTALLED |
| CAB     | CABINET                           | OFOI     | OWNER FURNISHED OWNER INSTALLED      |
| CIP     | CAST IN PLACE                     | OH       | OPPOSITE HAND                        |
| CJ      | CONTROL OR CONSTRUCTION JOINT     | OPG      | OPENING                              |
| CL      | CENTERLINE                        | OPP      | OPPOSITE                             |
| CLG     | CEILING                           | OS       | OVERFLOW THROUGH WALL SCUPPER        |
| CLR     | CLEAR                             | P        |                                      |
| CMU     | CONCRETE MASONRY UNIT             | PC       | PRE-CAST CONCRETE                    |
| CO      | CLEAN OUT                         | PERIM    | PERIMETER                            |
| COL     | COLUMN                            | PERP     | PERPENDICULAR                        |
| CONC    | CONCRETE                          | PI       | POINT OF INTERSECTION                |
| CONST   | CONSTRUCTION                      | P        | PLATE                                |
| CONT    | CONTINUOUS                        | PL       | PROPERTY LINE                        |
| CORR    | CORRIDOR                          | PLAM     | PLASTIC LAMINATE                     |
| CT      | CERAMIC TILE                      | PLBG     | PLYWOOD                              |
| CTR     | CENTER                            | PLYWD    | PLYWOOD                              |
| D       |                                   | PNL      | PANEL                                |
| D       | DEPTH                             | PR       | PAIR                                 |
| DEG     | DEGREES                           | PREFAB   | PREFABRICATED                        |
| DET     | DETAIL                            | PRELIM   | PRELIMINARY                          |
| DIA     | DIAMETER                          | PTD      | PAINTED                              |
| DIAG    | DIAGONAL                          | Q        |                                      |
| DIM     | DIMENSION                         | QT       | QUARRY TILE                          |
| DN      | DOWN                              | QTY      | QUANTITY                             |
| DP      | DAMP PROOFING                     | R        |                                      |
| DS      | DOWN SPOUT                        | R        | RADIUS                               |
| DWG     | DRAWING                           | RCP      | REFLECTED CEILING PLAN               |
| DWL     | DOWEL                             | RD       | ROOF DRAIN                           |
| E       |                                   | REF      | REFERENCE, REFER                     |
| E       | EAST                              | REINF    | REINFORCING                          |
| EA      | EACH                              | REQD     | REQUIRED                             |
| EF      | EACH FACE                         | REV      | REVISION, REVISE                     |
| EIFS    | EXTERIOR INSULATION FINISH SYSTEM | RM       | ROOM                                 |
| EFS     | EXTERIOR FINISH SYSTEM            | RND      | ROUND                                |
| EJ      | EXPANSION JOINT                   | RO       | ROUGH OPENING                        |
| EL      | ELEVATION                         | RP       | RADIUS POINT                         |
| ELEC    | ELECTRICAL                        | RTU      | ROOF TOP UNIT                        |
| EQ      | EQUAL                             | S        |                                      |
| EQUIP   | EQUIPMENT                         | S        | SOUTH                                |
| EW      | EACH WAY                          | SCHED    | SCHEDULED                            |
| EWIC    | ELECTRIC WATER COOLER             | SECT     | SECTION                              |
| EXIST   | EXISTING                          | SP       | SQUARE FEET                          |
| EXP     | EXPANSION                         | SHT      | SHEET                                |
| EXT     | EXTERIOR                          | SIM      | SIMILAR                              |
| F       |                                   | SHT MTL  | SHEET METAL                          |
| FA      | FIRE ALARM                        | SJ       | SAW JOINT                            |
| FACP    | FIRE ALARM CONTROL PANEL          | SL       | SLOPE                                |
| FOO     | FLOOR CLEAN OUT                   | SPEC     | SPECIFICATION                        |
| FD      | FLOOR DRAIN                       | SS       | STAINLESS STEEL                      |
| FDC     | FIRE DEPARTMENT CONNECTION        | STC      | SOUND TRANSMISSION CLASS             |
| FDV     | FIRE DEPARTMENT VALVE             | STD      | STANDARD                             |
| FE      | FIRE EXTINGUISHER                 | STL      | STEEL                                |
| FEC     | FIRE EXTINGUISHER CABINET         | STRUCT   | STRUCTURAL                           |
| FF      | FINISHED FLOOR                    | SURF     | SURFACE                              |
| FG      | FINISHED GRADE                    | T        |                                      |
| FH      | FIRE HYDRANT                      | T        | TREAD OR TOP                         |
| FHC     | FIRE HOSE CABINET                 | TO       | TOP OF                               |
| FP      | FIRE PROTECTION                   | TAS      | TEXAS ACCESSIBILITY STANDARDS        |
| FR      | FIRE RATED                        | TC       | TOP OF CURB                          |
| FRP     | FIBERGLASS REINFORCED PLASTIC     | TEL      | TELEPHONE                            |
| FRT     | FIRE TREATED                      | TEMP     | TEMPORARY                            |
| G       |                                   | THK      | THICKNESS                            |
| GALV    | GALVANIZED                        | THRD     | THREADED                             |
| GB      | GRADE BEAM                        | THRU     | THROUGH                              |
| GC      | GENERAL CONTRACTOR                | TYP      | TYPICAL                              |
| GFRC    | GLASS FIBER REINFORCED CONCRETE   | U        |                                      |
| GND     | GROUND                            | UON      | UNLESS OTHERWISE NOTED               |
| GRS     | GALVANIZED RIGID STEEL            | UR       | URINAL                               |
| GTR     | GUTTER                            | V        |                                      |
| GWB     | GYPSUM WALL BOARD                 | VB       | VAPOR BARRIER                        |
| H       |                                   | VCT      | VINYL COMPOSITION TILE               |
| HT      | HEIGHT                            | VERT     | VERTICAL                             |
| HB      | HOSE BIB                          | VEST     | VESTIBULE                            |
| HC      | HANDICAP                          | VR       | VAPOR RETARDER                       |
| HDW     | HARDWARE                          | VT       | VINYL TILE                           |
| HDWD    | HARD WOOD                         | VTR      | VENT THROUGH ROOF                    |
| HM      | HOLLOW METAL                      | W        |                                      |
| HORIZ   | HORIZONTAL                        | W        | WITH                                 |
| HYD     | HYDRANT                           | WC       | WATER CLOSET                         |
| I       |                                   | WH       | WATER HEATER                         |
| IBC     | INTERNATIONAL BUILDING CODE       | WP       | WORK POINT                           |
| ID      | INSIDE DIAMETER                   | X,Y, & Z |                                      |
| IF      | INSIDE FACE                       |          |                                      |
| IN      | INCH OR INCHES                    |          |                                      |
| INCAND  | INCANDESCENT                      |          |                                      |
| INSUL   | INSULATION                        |          |                                      |
| INT     | INTERIOR                          |          |                                      |
| J       |                                   |          |                                      |
| JAN     | JANITOR                           |          |                                      |
| JST     | JOIST                             |          |                                      |
| JT      | JOINT                             |          |                                      |
| K       |                                   |          |                                      |
| KO      | KNOCKOUT                          |          |                                      |
| L       |                                   |          |                                      |
| L       | LENGTH                            |          |                                      |
| LAV     | LAVATORY                          |          |                                      |
| LB#     | POUNDS                            |          |                                      |
| LDS     | LANDING                           |          |                                      |
| LF      | LINEAR FEET                       |          |                                      |
| LG      | LONG                              |          |                                      |
| LH      | LEFT HAND                         |          |                                      |
| LL      | LIVE LOAD                         |          |                                      |
| LLH     | LONG LEG HORIZONTAL               |          |                                      |
| LVV     | LONG LEG VERTICAL                 |          |                                      |
| LONG    | LONGITUDINAL                      |          |                                      |
| LT      | LIGHT                             |          |                                      |
| LTG     | LIGHTING                          |          |                                      |



Site Map



Vicinity Map

# Miller-Searight House

## 5400 Freidrich Ln. Austin, TX 78744



VINCENT P. HAUSER  
ARCHITECT  
2301 E Riverside Dr., Suite 80  
Austin, Texas 78741  
Ph# 512-452-3041

In Association with

| SHEET NO.    | TITLE                                | Permit and Pricing Set | Issued for Construction | Ammdments |
|--------------|--------------------------------------|------------------------|-------------------------|-----------|
| G0.0         | COVER SHEET AND SHEET LIST           | 01/28/2020             |                         |           |
| ARCHITECTURE |                                      |                        |                         |           |
| A1.0         | DEMO SITE PLAN                       | 01/28/2020             |                         |           |
| A1.1         | SITE PLAN                            | 01/28/2020             |                         |           |
| A2.0         | DEMO FLOOR PLAN                      | 01/28/2020             |                         |           |
| A2.1         | FLOOR PLAN                           | 01/28/2020             |                         |           |
| A2.2         | ROOF PLAN                            | 01/28/2020             |                         |           |
| A2.3         | FRAMING PLANS                        | 01/28/2020             |                         |           |
| A3.1         | REFLECTED CEILING PLAN               | 01/28/2020             |                         |           |
| A4.1         | BUILDING ELEVATIONS                  | 01/28/2020             |                         |           |
| A5.1         | DOOR AND WINDOW SCHEDULE AND DETAILS | 01/28/2020             |                         |           |
| A6.1         | INTERIOR ELEVATIONS AND DETAILS      | 01/28/2020             |                         |           |
| A6.2         | INTERIOR ELEVATIONS                  | 01/28/2020             |                         |           |
| A7.1         | FINISH PLAN AND SCHEDULE             | 01/28/2020             |                         |           |
| A8.0         | RESTORATION DETAILS                  | 01/28/2020             |                         |           |
| A8.1         | RESTORATION DETAILS                  | 01/28/2020             |                         |           |
| A8.2         | RESTORATION DETAILS                  | 01/28/2020             |                         |           |

ARCHITECTURAL SYMBOLS:

|   |                 |  |                |
|---|-----------------|--|----------------|
|   | DOOR NUMBER     |  | ELEVATION TAGS |
|   | INACTIVE LEAF   |  | ELEVATION TAGS |
| <b>XX</b>   <b>DETAIL NAME</b><br>SCALE: 1/4" = 1'-0" | DRAWING TITLE   |  | SECTION TAGS   |
|   | ROOM NAME       |  | PLAN TAGS      |
|   | WINDOW TAG      |  | SPOT ELEVATION |
|   | PARTITION TAG   |  | COLUMN TAG     |
|   | KEYED NOTE TAG  |  | FINISH CHANGE  |
|   | FINISH NOTE TAG |  |                |
|   | DELTA SYMBOL    |  |                |



2301 E. Riverside, Suite 80 Austin, TX 78741  
512-452-3041

512-452-3041

5400 Freidrich Ln.  
Austin, Texas 78744

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

## REVISIONS

## SHEET INFORMATION

T I T L E

scale: 1/16"=1'-0'

# A1.0

1. Provide tree protection as required by the City of Austin for all oak trees in the construction area.
2. Prepare a staging plan for the project showing materials staging and spoils locations for review with the Owner prior to beginning work.
3. Notify and schedule potential utility shutdowns prior to any excavation or demolition work.
4. Trace and mark on Record Drawing all existing utility lines and locations.
5. Mark all new utility work on Record Drawings.
6. Route all work below grade so as not to damage tree root systems.
7. Provide all temporary utilities, monitor, repair and keep in good working order during construction.
8. Provide temporary security fence to secure the property during construction.
9. Provide erosion controls as reasonably required and as directed by the City of Austin.
10. Maintain access for the Owner and emergency vehicles during construction.

- A. Major rooms and areas to be leveled
- B. Not used.
- C. Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- D. Level and repair porch.
- E. Repair porch framing, replace existing columns and deck.
- F. Remove interior partition
- G. Remove existing door and frame
- H. Remove plumbing fixture and associated piping
- I. Remove millwork and existing appliances. Cap any unused utility lines for future re-use.
- K. Excavate soil to provide 12" clear from the underside of the wood floor joists in the crawl space under the entire house.
- M. Remove existing exterior wall. Patch and repair areas for new waterproofing and siding.
- N. Remove existing window.

----- Existing contour line

----- Existing to be demolished

===== Existing to remain

○ 24" Existing tree to remain

----- Property line



SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

0'-0" 5'-0" 10'-0" 20'-0" 40'-0"

**SHEET**

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | OK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Site Plan

scale: 1/16"=1'-0"

SHEET

A1.1

GENERAL NOTES

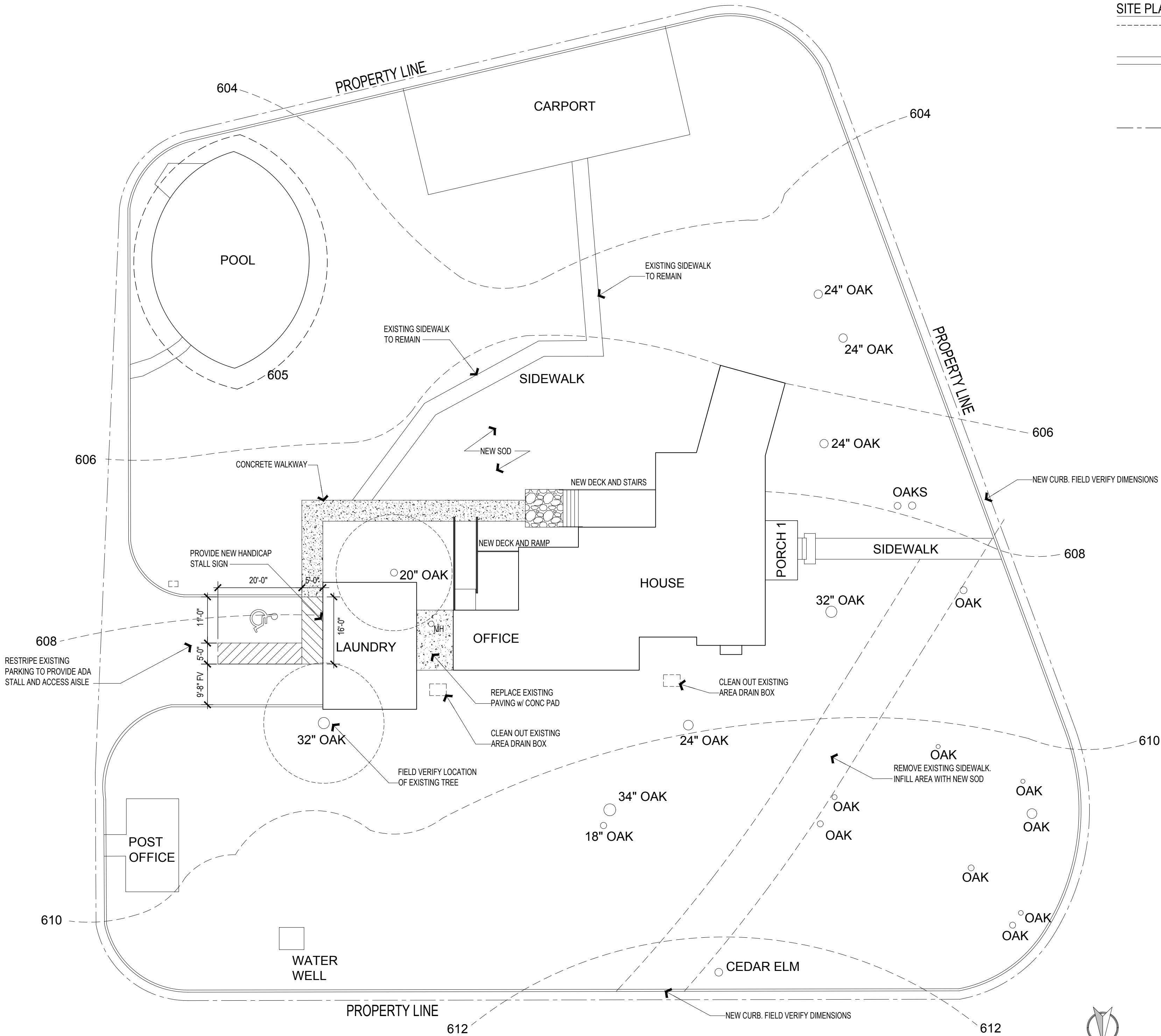
1. Provide tree protection as required by the City of Austin for all oak trees in the construction area.
2. Prepare a staging plan for the project showing materials staging and spoils locations for review with the Owner prior to beginning work.
3. Notify and schedule potential utility shutdowns prior to any excavation or demolition work.
4. Trace and mark on Record Drawing all existing utility lines and locations.
5. Mark all new utility work on Record Drawings.
6. Route all work below grade so as not to damage tree root systems.
7. Provide all temporary utilities, monitor, repair and keep in good working order during construction.
8. Provide temporary security fence to secure the property during construction.
9. Provide erosion controls as reasonably required and as directed by the City of Austin.
10. Maintain access for the Owner and emergency vehicles during construction.

Site Plan Keyed Notes

- (A.) Demolish existing deck, provide new sod  
(B.) No work in this area  
(C.) No work to street paving  
(D.) Remove shrubs as directed by the Architect  
(E.) Provide allowance for trench structures in existing sidewalk and new accessible paving.

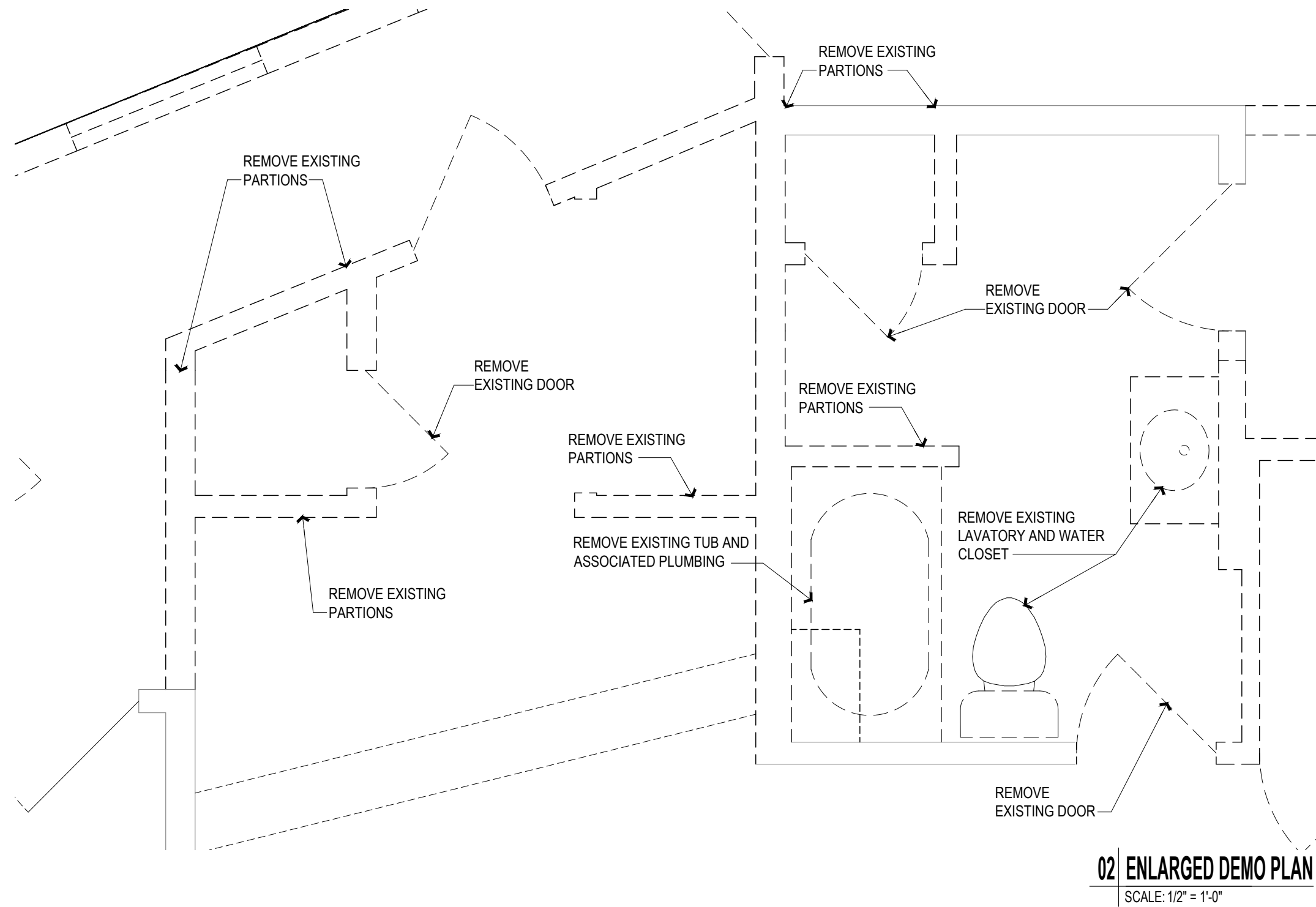
SITE PLAN LEGEND

- Existing contour line  
Existing to remain  
Existing tree to remain  
Property line



01 SITE PLAN

SCALE: 1/16" = 1'-0"



GENERAL NOTES:

Scope of Work  
-Confirm completion of foundation work, repair augment as required during soil removal.

-Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be ¼", to be modified in the field as conditions warrant.

-The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

-All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

- FRAMING GENERAL NOTES AND MATERIAL:
- Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
  - Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
  - Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
  - Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:  
Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x or 6 x to match existing sizes  
Blocking: 2 x 4  
Bridging: 1 x 4  
Studs: 2 x 4  
Grounds: 1 1/2" wide  
Sleepers: 2 x 4
  - Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
  - Moisture content of framing lumber not to exceed 15% at the time of installation.
  - Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
  - Provided treated lumber as required by the Codes.
  - Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
  - Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
  - Do not compromise any framing by improper cutting or drilling.
  - All carpentry modifications by mechanical trades shall be corrected by the GC.
  - For wall framing generally:  
Nail studs to plates at a maximum spacing of 16" oc.  
Plywood sheathings generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.  
Corner posts to be formed with no less than three studs to receive interior finishes.  
Provide adequate corner and other bracing to resist wall racking and other movement.
  - Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outrigger shall be connected to plate with steel straps or appropriate Simpson anchor.
  - Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
  - Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
  - Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

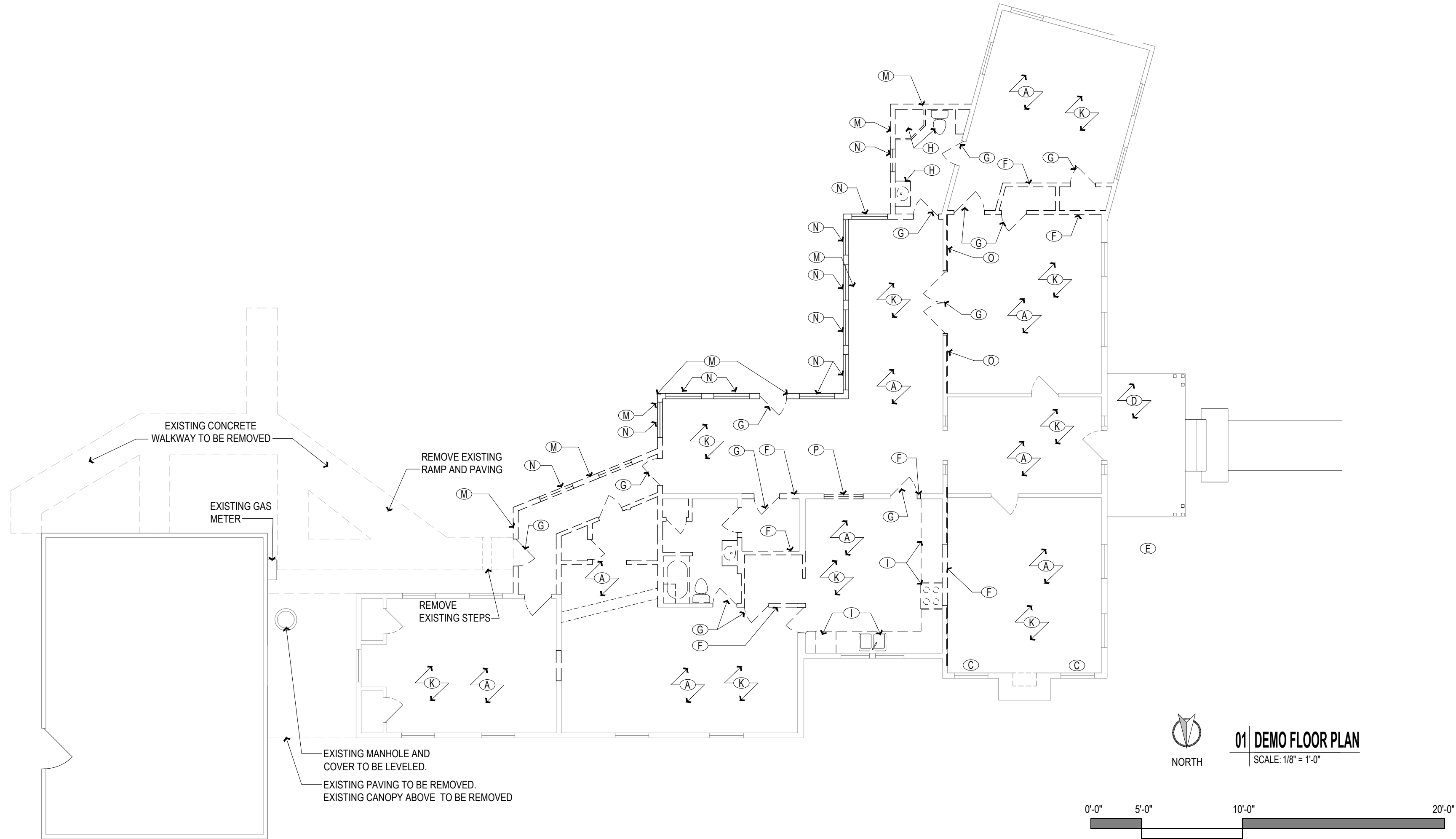
- SIDING AND TRIM GENERAL NOTES:
- Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
  - All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.

- PAINTING GENERAL NOTES:
- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
  - Do not power wash anything prior to painting.
  - Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
  - Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

- FLOOR PLAN KEYED NOTES:
- (A) Major rooms and areas to be leveled  
(B) Not used.  
(C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.  
(D) Level and repair porch.  
(E) Repair porch framing, replace existing columns and deck.  
(F) Remove interior partition  
(G) Remove existing door and frame  
(H) Remove plumbing fixture and associated piping  
(I) Remove millwork and existing appliances. Cap any unused utility lines for future re-use.  
(K) Excavate soil to provide 12" clear from the underside of the wood floor joists in the crawl space under the entire house.  
(N) Remove existing exterior wall. Patch and repair areas for new waterproofing and siding.  
(O) Remove existing window.  
(P) Remove existing gypsum board to existing frame. Protect existing door opening and trim.  
(Q) Remove existing gypsum/plywood to expose existing window. Protect existing window trim.

HOUSE SF: 2757 SF  
PORCH 1 SF: 109 SF  
PORCH 2 SF: 18 SF  
TOTAL SF: 2884 SF

- DEMO PLAN LEGEND
- Existing construction to be removed
- Existing construction to remain



VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, OR PERMIT PURPOSES. THEY ARE PREPARED BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

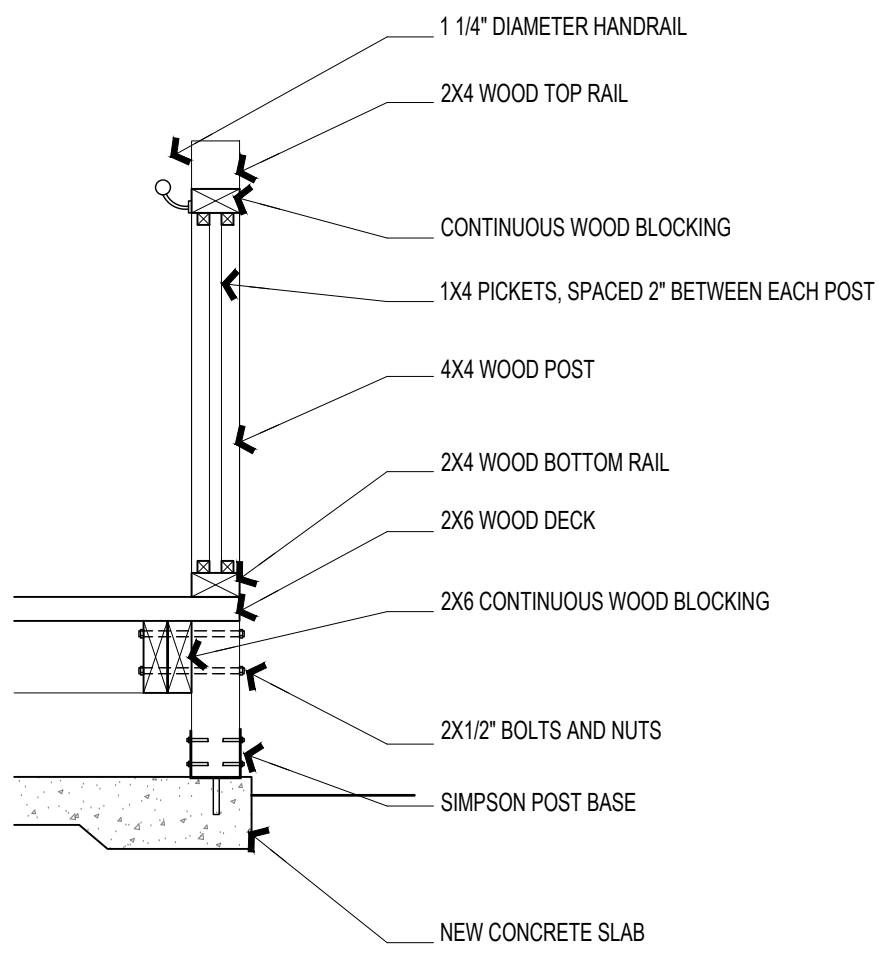
TITLE

Demo Floor Plan

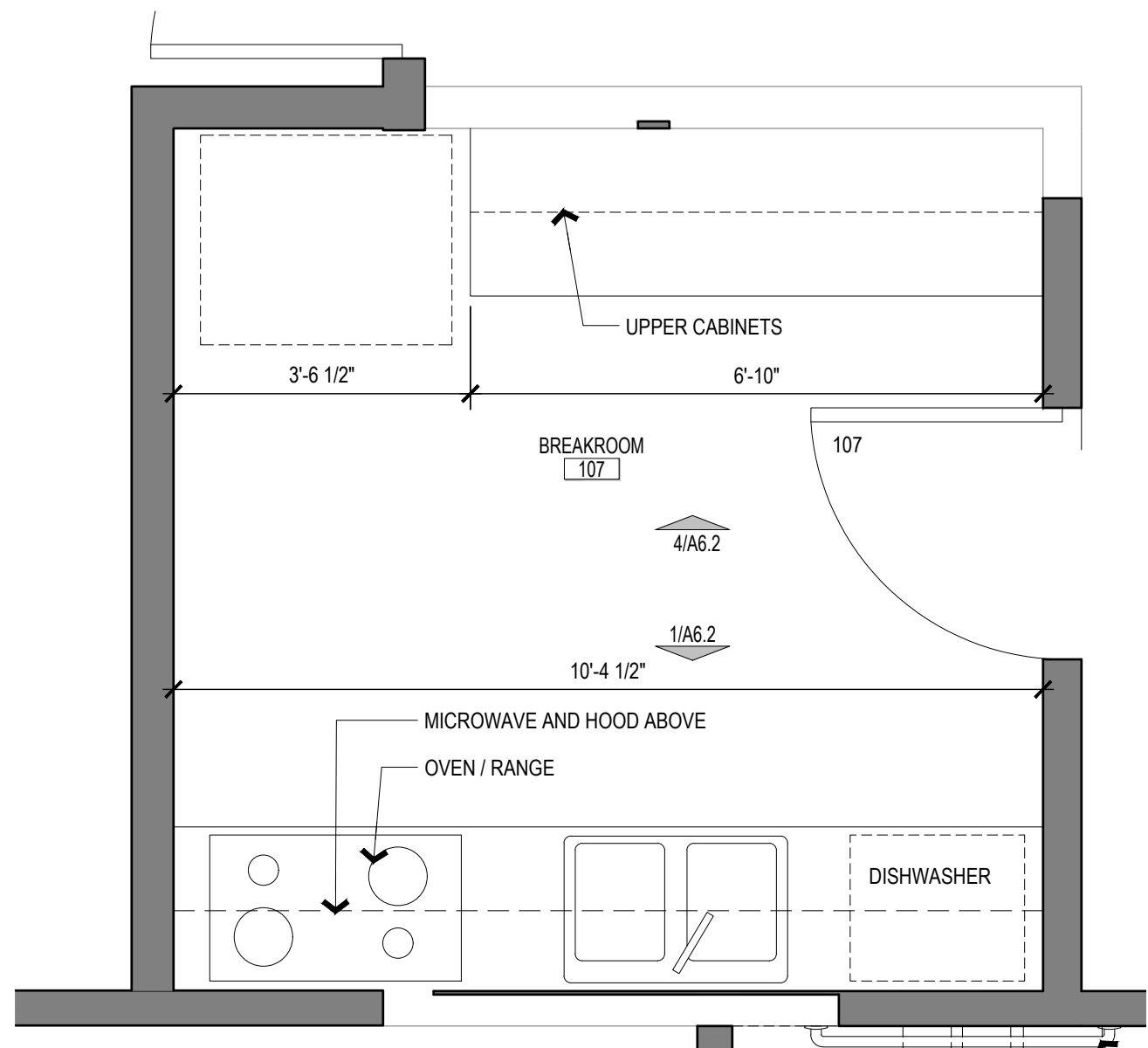
scale: varies

SHEET

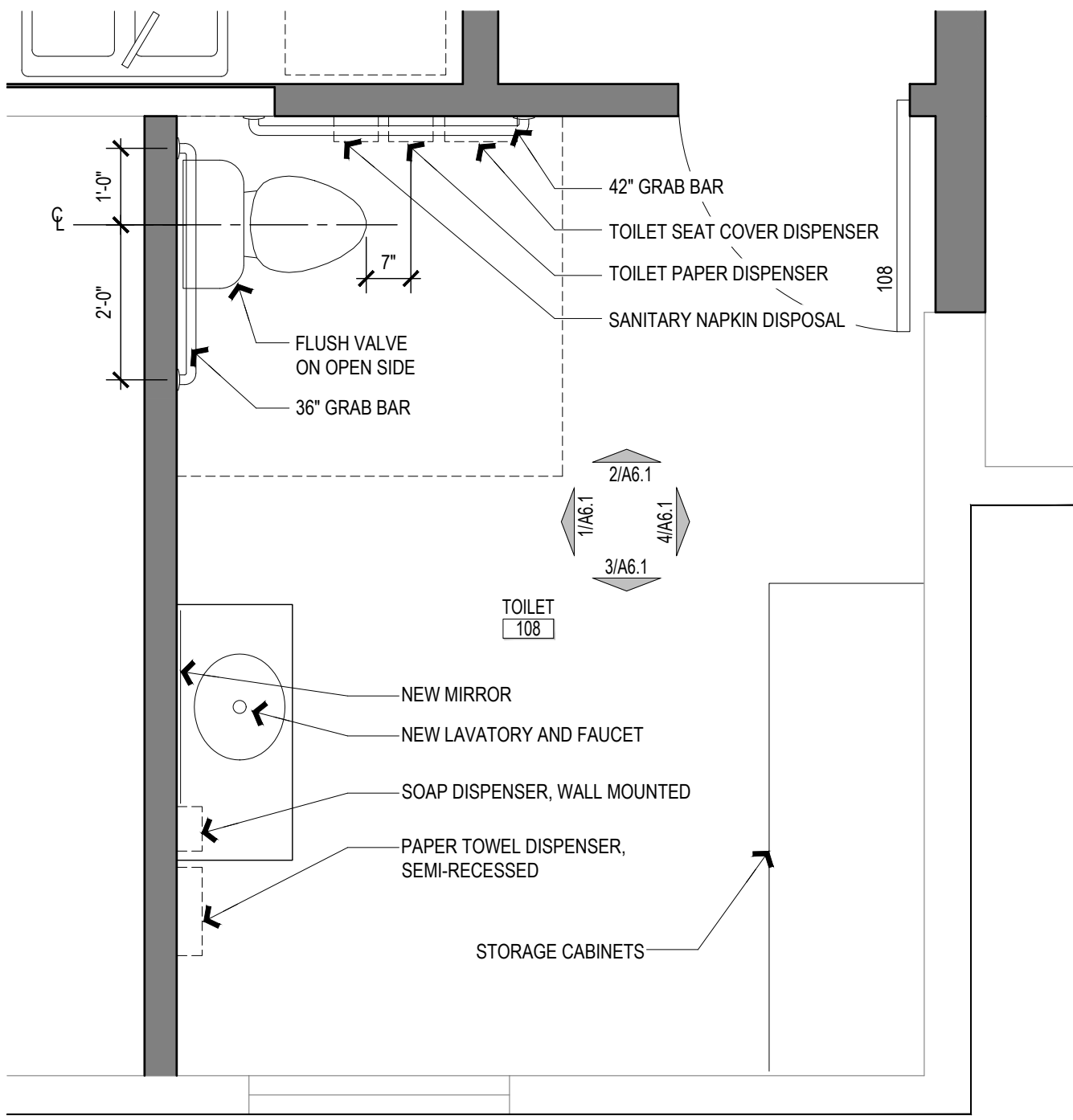
A2.0



04 | RAILING DETAIL  
SCALE: 3/4" = 1'-0"



03 | BREAK ROOM PLAN  
SCALE: 1/2" = 1'-0"



02 | TOILET ROOM PLAN  
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

Scope of Work  
Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL:

- Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
- Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
- Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
- Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:  
Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x 6 or 6 x 6 to match existing sizes  
Blocking: 2 x 4  
Bridging: 1 x 4  
Studs: 2 x 4  
Grounds: 1 1/2" wide  
Sleepers: 2 x 4
- Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
- Moisture content of framing lumber not to exceed 15% at the time of installation.
- Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
- Provided treated lumber as required by the Codes.
- Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
- Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
- Do not compromise any framing by improper cutting or drilling.
- All carpentry modifications by mechanical trades shall be corrected by the GC.
- For wall framing generally:  
Nail studs to plates at a maximum spacing of 16" oc.  
Plywood sheathing generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.  
Corner posts to be formed with no less than three studs to receive interior finishes.  
Provide adequate corner and other bracing to resist wall racking and other movement.
- Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outrigger shall be connected to plate with steel straps or appropriate Simpson anchor.
- Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
- Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
- Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

SIDING AND TRIM GENERAL NOTES:

- Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
- All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing material.

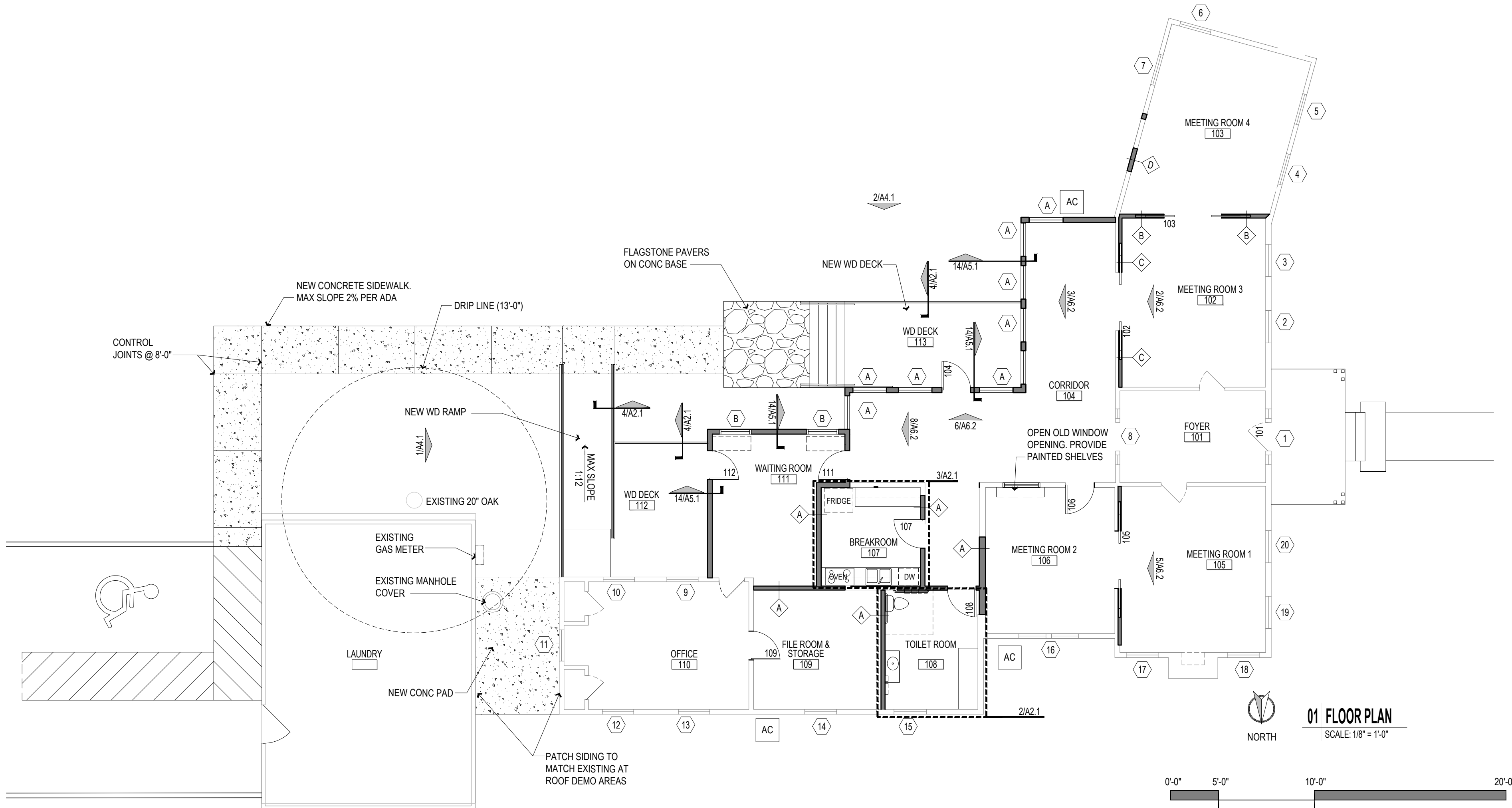
PAINTING GENERAL NOTES:

- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
- Do not power wash anything prior to painting.
- Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
- Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

HOUSE SF: 2757 SF  
PORCH 1 SF: 109 SF  
PORCH 2 SF: 18 SF  
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

- Existing construction to remain
- New construction
- New concrete walkway



01 | FLOOR PLAN  
SCALE: 1/8" = 1'-0"

VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, OR PERMIT PURPOSES. THEY ARE PREPARED BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

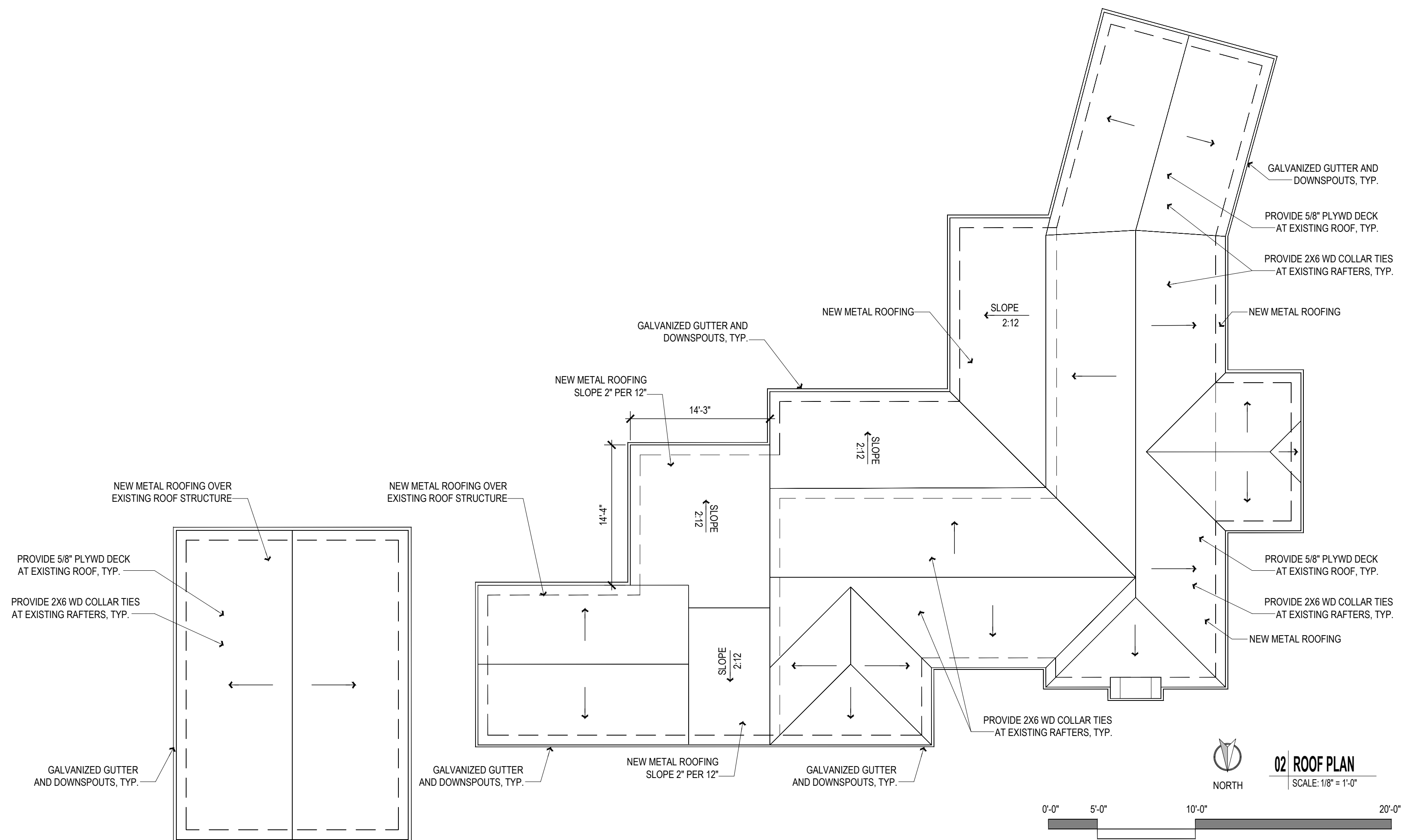
TITLE

Floor Plan

scale: varies

SHEET

A2.1



- GENERAL NOTES:
1. Provide allowance for repair of existing shingle roof to assure weathertight performance.
  2. Provide allowance for 26 ga. Galvalume metal roofing. Provide samples for review and approval by the Owner prior to ordering material.
  3. Provide allowance for 6" half-round galvalume gutter and downspout system.
  4. Provide allowance for repair to all modified bitumen roofing to assure weathertight performance.

FOR NEW ROOFING ALLOWANCE, PROVIDE FOR THE FOLLOWING:

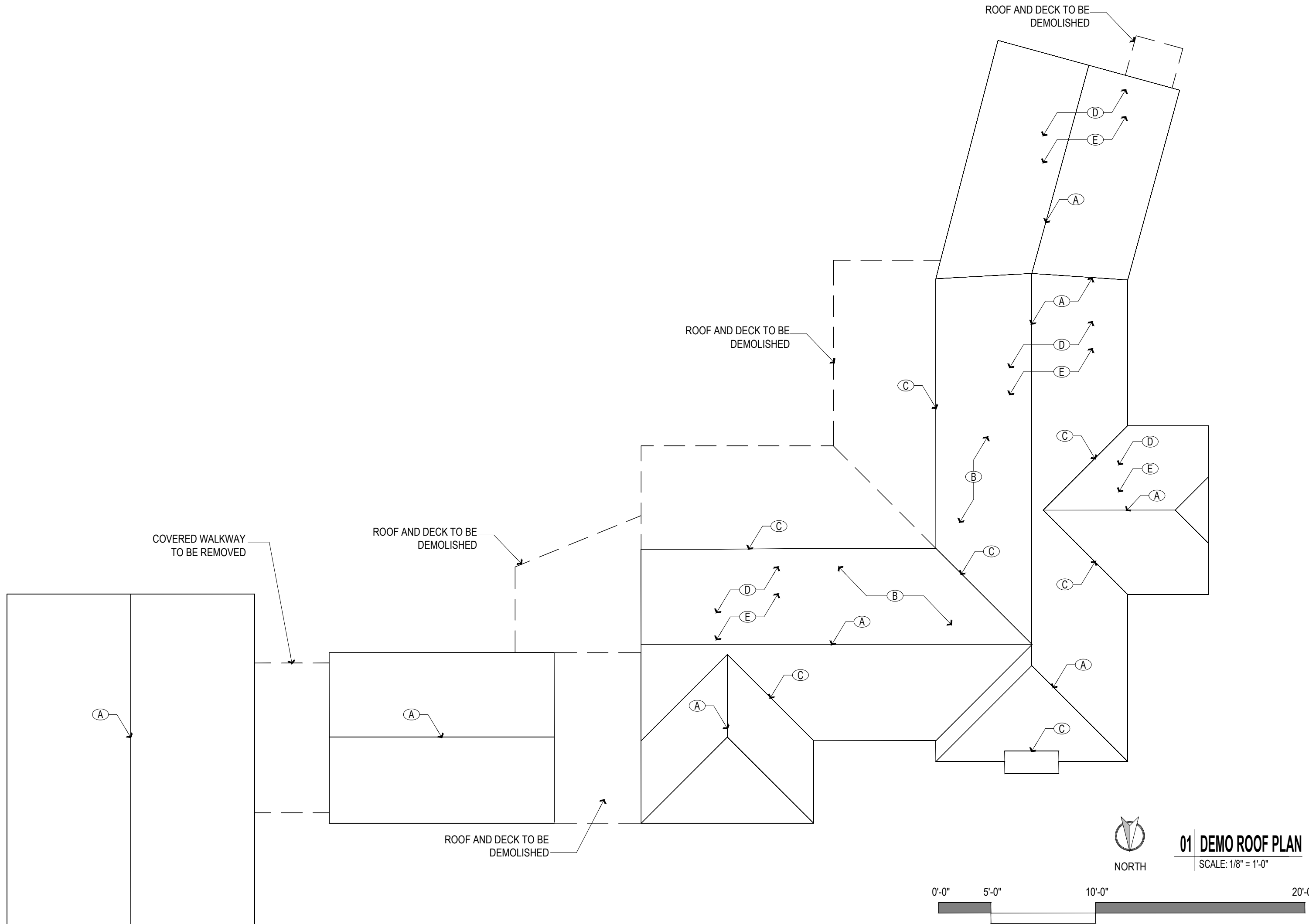
1. Prepare substrate prior to beginning roofing installation including decking, framing and blocking and all assemblies including vents, flues skylight curbs and similar work.
2. All flashings shall be standard, or shall be custom fabricated if required for the application.
3. Prior to beginning roofing work, convene a pre-construction conference with the Owner. Review sequencing of work, installation methods and coordination with other trades. Review edge, ridge, vent, flashing and other details with the Owner. Coordinate with gutter installation.
4. Provide manufacturer's standard written materials. Warranty. Provide a five (5) year written installation warranty for roof, flashing and counterflashing, against defects in workmanship. The 5-year term shall commence upon acceptance of the roof by the Owner. During the 5-year term, the roof is to be maintained and kept in good repair by the Owner. Defects due to poor workmanship and materials shall be corrected by the Contractor at no cost to the Owner.
5. Provide minimum 30# roofing felt under roofing, 36" wide roll with galv nails and plates. Do not use staples on felt underlayment.
6. Examine all areas and conditions where work is to be performed. Correct all conditions detrimental to the proper execution of the work. Decking shall be securely attached to rafters with no gaps. Do not proceed until improper conditions are corrected.
7. When metal roofing work is begun it constitutes acceptance of the existing conditions and the installer will be responsible for corrections as well as correction of his own work if it does not comply with the requirements or specifications.
8. Lap roofing felt 4" at horizontal joints and 12" at vertical joints. Provide a minimum double thickness at valleys.
9. Allow the metal roofing sheet to extend 2"- 3" beyond the eave trim unless otherwise required to coordinate with gutter installation. Do not bend the lower end of the panels at the eaves, as this will close the v-drain. Fasten with lead - headed screws or other fasteners specifically recommended by roofing manufacturer. Install space all fasteners as required by the manufacturer.
10. Walk through and inspect the installation of the roof after completion and make al corrections before the roofer leaves the job.

ROOF PLAN KEYED NOTES:

- (A) Remove existing shingles. Replace with new metal roofing. Montopolis Supply Co. Rain Gaurd Roofing panels.  
(B) Inspect and re-seal all roof penetrations  
(C) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection.  
(D) Provide new 5/8" plywood deck over existing roof structure.  
(E) Provide 2x6 wood collar ties on existing roof rafters.

ROOF PLAN LEGEND

- Existing Roof to be Removed  
New metal roof  
Location of Exterior walls



VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser September 2015

REVISIONS

| No. | Issue            | Date       |
|-----|------------------|------------|
|     | Issue for Permit | 12/17/2019 |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/06/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Roof Plans

scale: 1/8"=1'-0"

SHEET

A2.2



Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Framing Plan

scale: varies

SHEET

A2.3

GENERAL NOTES:

Scope of Work

-Confirm completion of foundation work. Repair and augment as required during soil removal.

-Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings.

-Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

-The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

-All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL:

- Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
- Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
- Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
- Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:

Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x 6 or 6 x to match existing sizes  
Blocking: 2 x 4  
Bridging: 1 x 4  
Studs: 2 x 4  
Grounds: 1 1/2" wide  
Sleepers: 2 x 4

- Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
- Moisture content of framing lumber not to exceed 15% at the time of installation.
- Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
- Provided treated lumber as required by the Codes.
- Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
- Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
- Do not compromise any framing by improper cutting or drilling.
- All carpentry modifications by mechanical trades shall be corrected by the GC.
- For wall framing generally:  
Nail studs to plates at a maximum spacing of 16" oc.  
Plywood sheathing generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.  
Corner posts to be formed with no less than three studs to receive interior finishes.  
Provide adequate corner and other bracing to resist wall racking and other movement.
- Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outigger shall be connected to plate with steel straps or appropriate Simpson anchor.
- Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
- Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
- Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

SIDING AND TRIM GENERAL NOTES:

- Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
- All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.

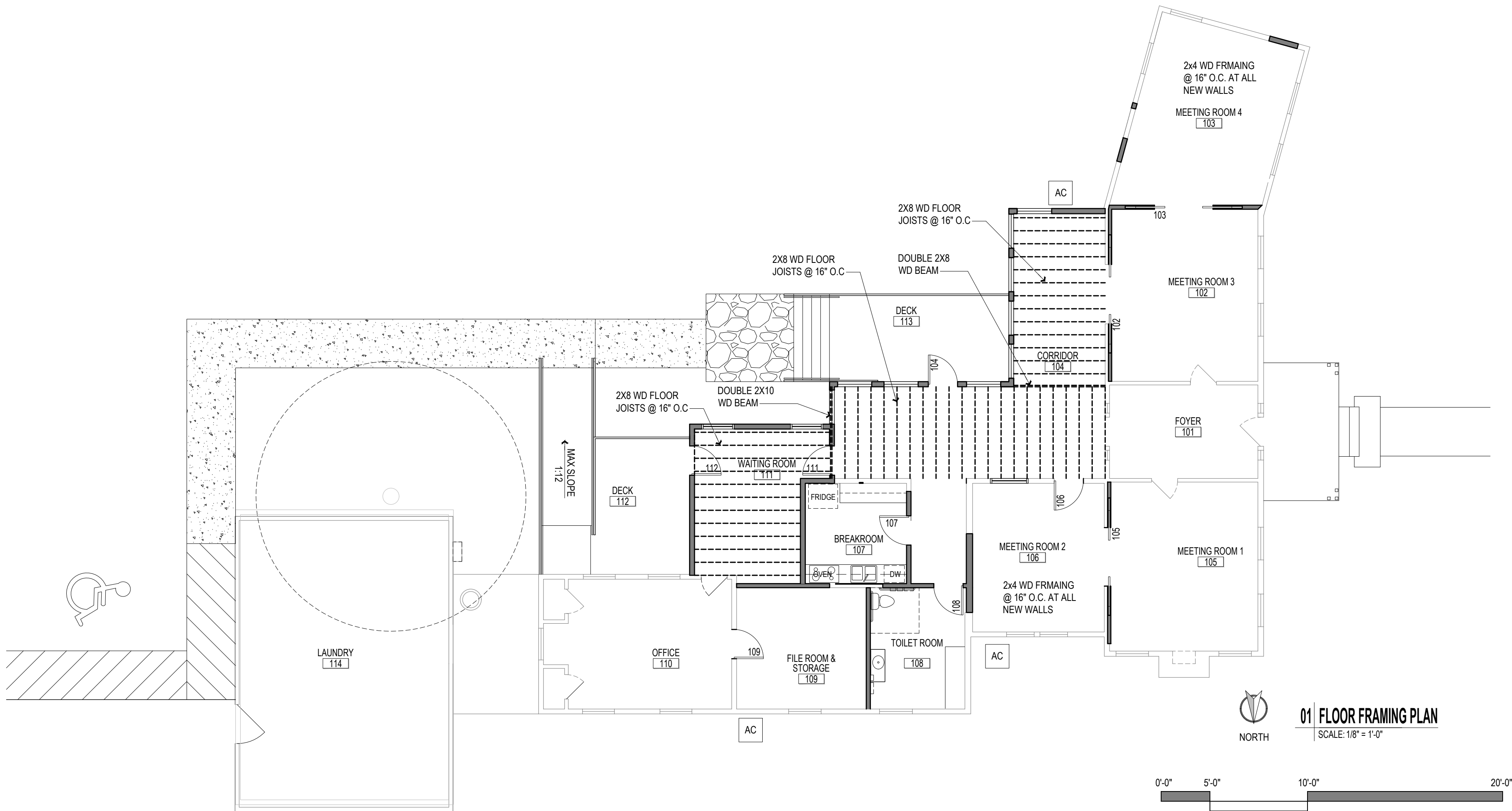
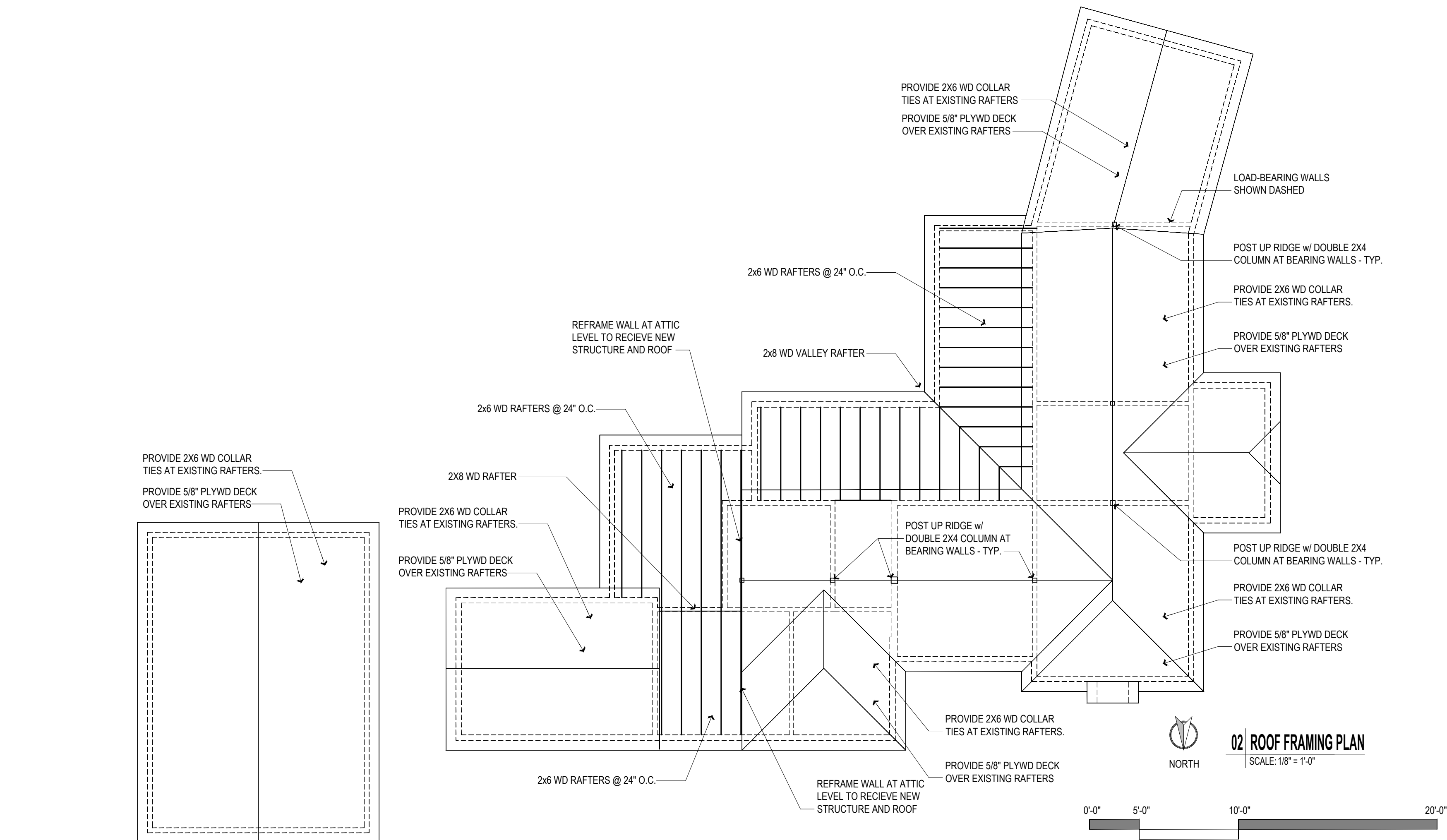
PAINTING GENERAL NOTES:

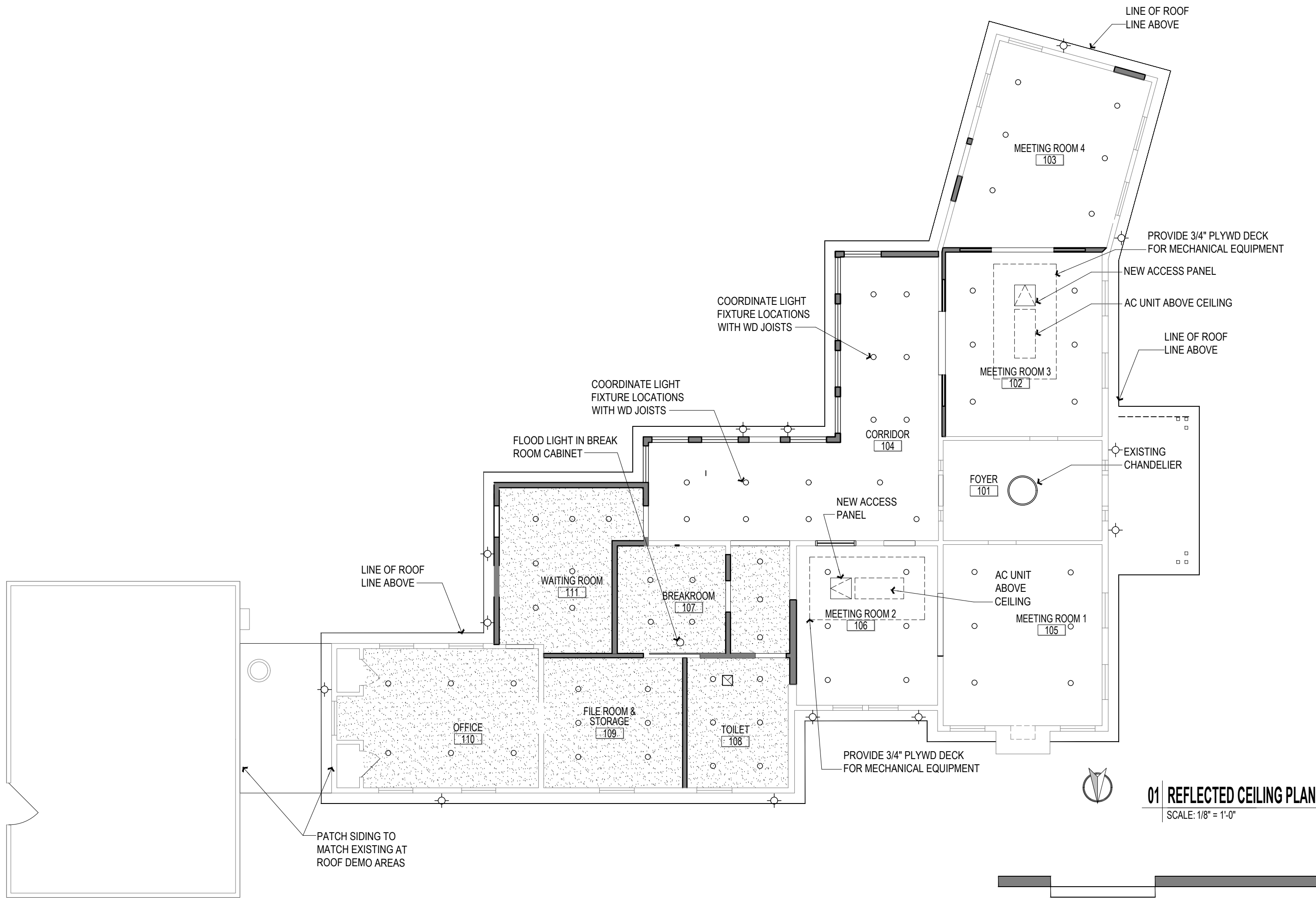
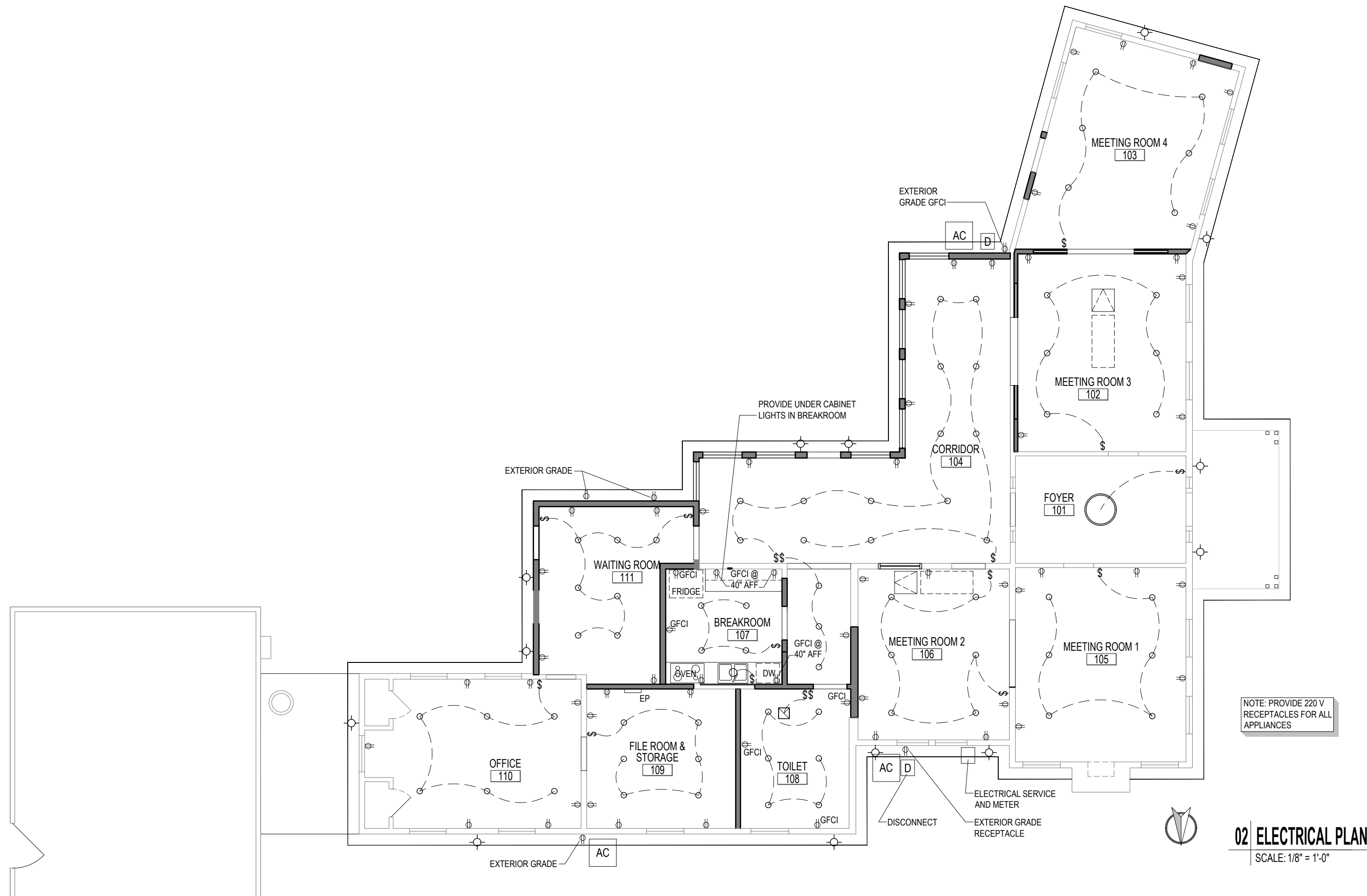
- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
- Do not power wash anything prior to painting.
- Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
- Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

HOUSE SF: 2757 SF  
PORCH 1 SF: 109 SF  
PORCH 2 SF: 18 SF  
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

- Existing construction to remain
- New construction
- New concrete walkway
- Load-bearing walls





GENERAL NOTES:

Scope of Work  
Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

- FRAMING GENERAL NOTES AND MATERIAL:
- Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
  - Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
  - Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
  - Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:  
Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x 6 or 6 x 6 to match existing sizes  
Blocking: 2 x 4  
Bridging: 1 x 4  
Studs: 2 x 4  
Grounds: 1 1/2" wide  
Sleepers: 2 x 4
  - Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
  - Moisture content of framing lumber not to exceed 15% at the time of installation.
  - Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
  - Provided treated lumber as required by the Codes.
  - Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
  - Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
  - Do not compromise any framing by improper cutting or drilling.
  - All carpentry modifications by mechanical trades shall be corrected by the GC.
  - For wall framing generally:  
Nail studs to plates at a maximum spacing of 16" oc.  
Plywood sheathing generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.  
Corner posts to be formed with no less than three studs to receive interior finishes.  
Provide adequate corner and other bracing to resist wall racking and other movement.
  - Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outrigger shall be connected to plate with steel straps or appropriate Simpson anchor.
  - Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
  - Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
  - Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

- SIDING AND TRIM GENERAL NOTES:
- Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
  - All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing material.

- PAINTING GENERAL NOTES:
- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
  - Do not power wash anything prior to painting.
  - Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
  - Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

HOUSE SF: 2757 SF  
PORCH 1 SF: 109 SF  
PORCH 2 SF: 18 SF  
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

- Existing construction to remain
- New construction
- New hard ceiling (gypsum board)
- New 6" light fixture
- Wall Sconces light fixture
- New Exhaust Fan
- New Air Supply Diffuser
- Electrical Disconnect

VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, OR PERMIT PURPOSES. THEY ARE PREPARED BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | OK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Reflected  
Ceiling Plan

scale: varies

SHEET

A3.1



Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | OK         |
| Checked    | VPH        |
| Approved   | VPH        |

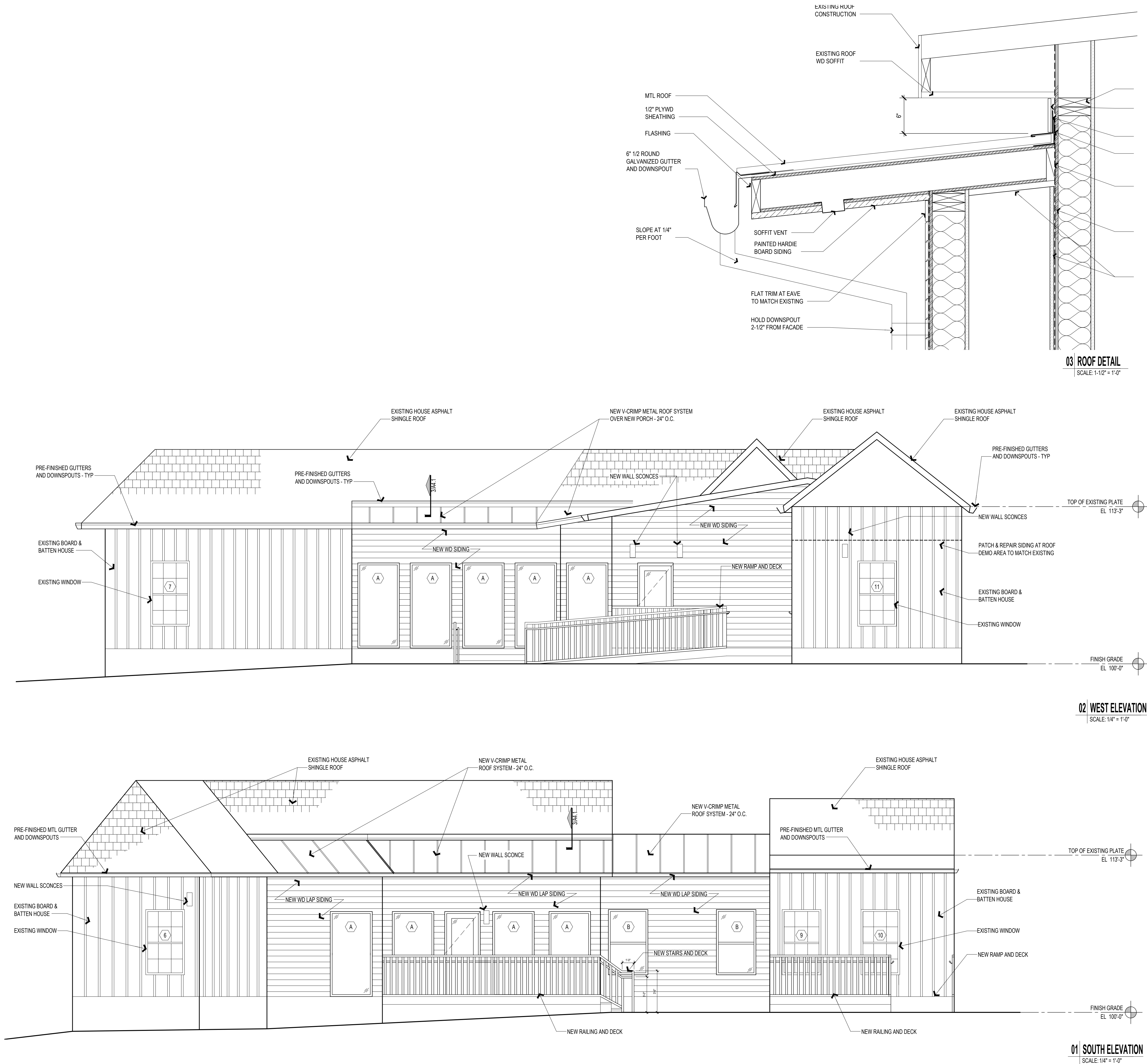
TITLE

Building  
Elevations

scale: varies

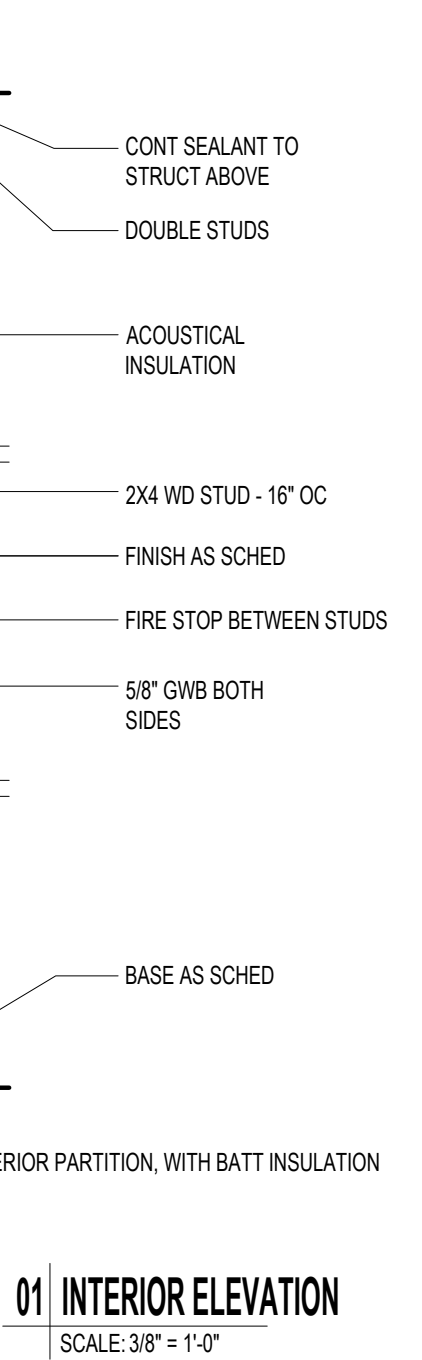
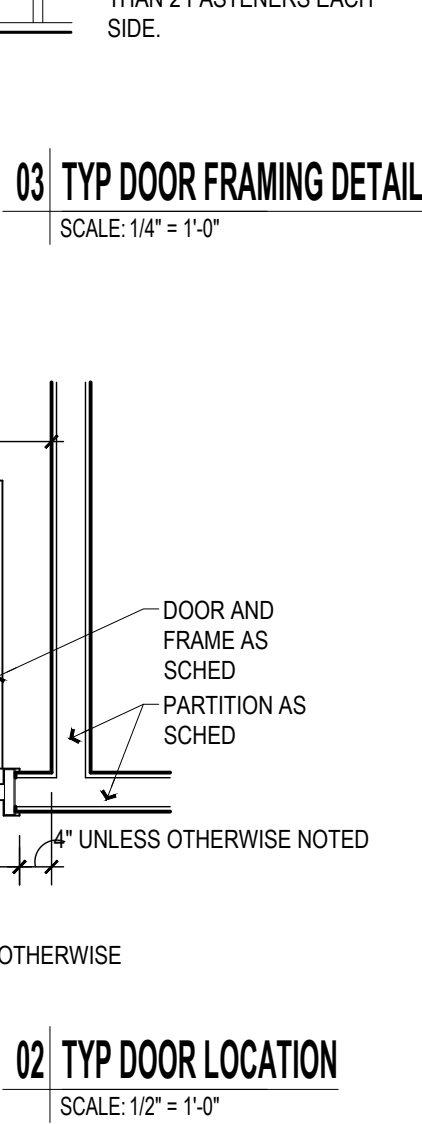
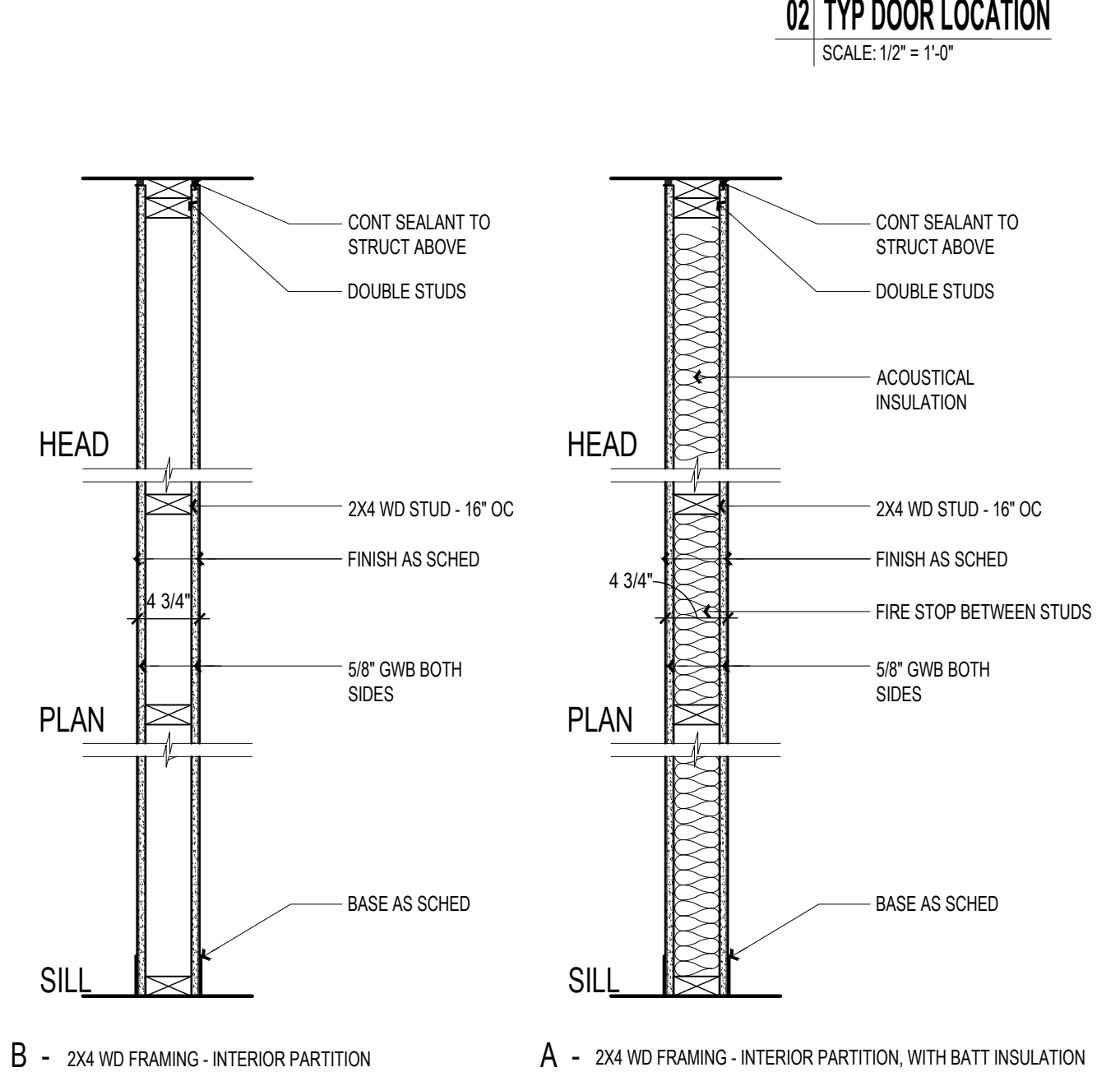
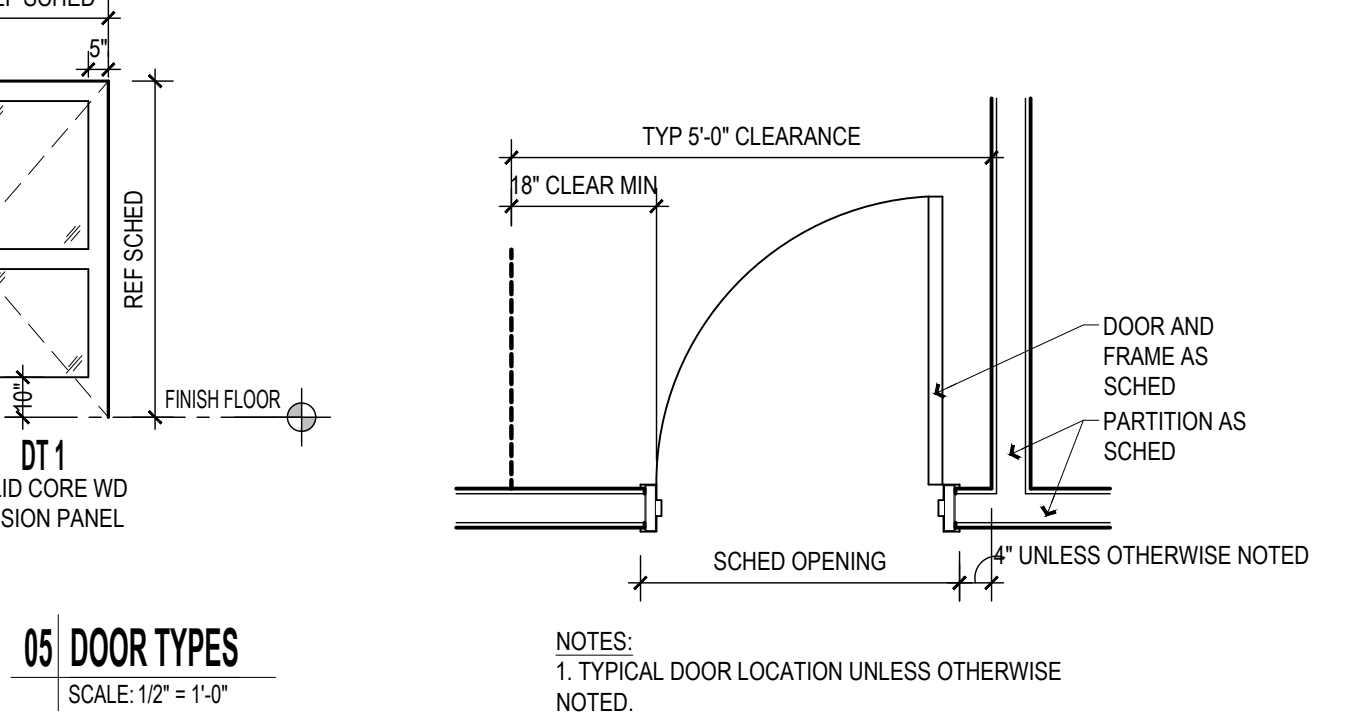
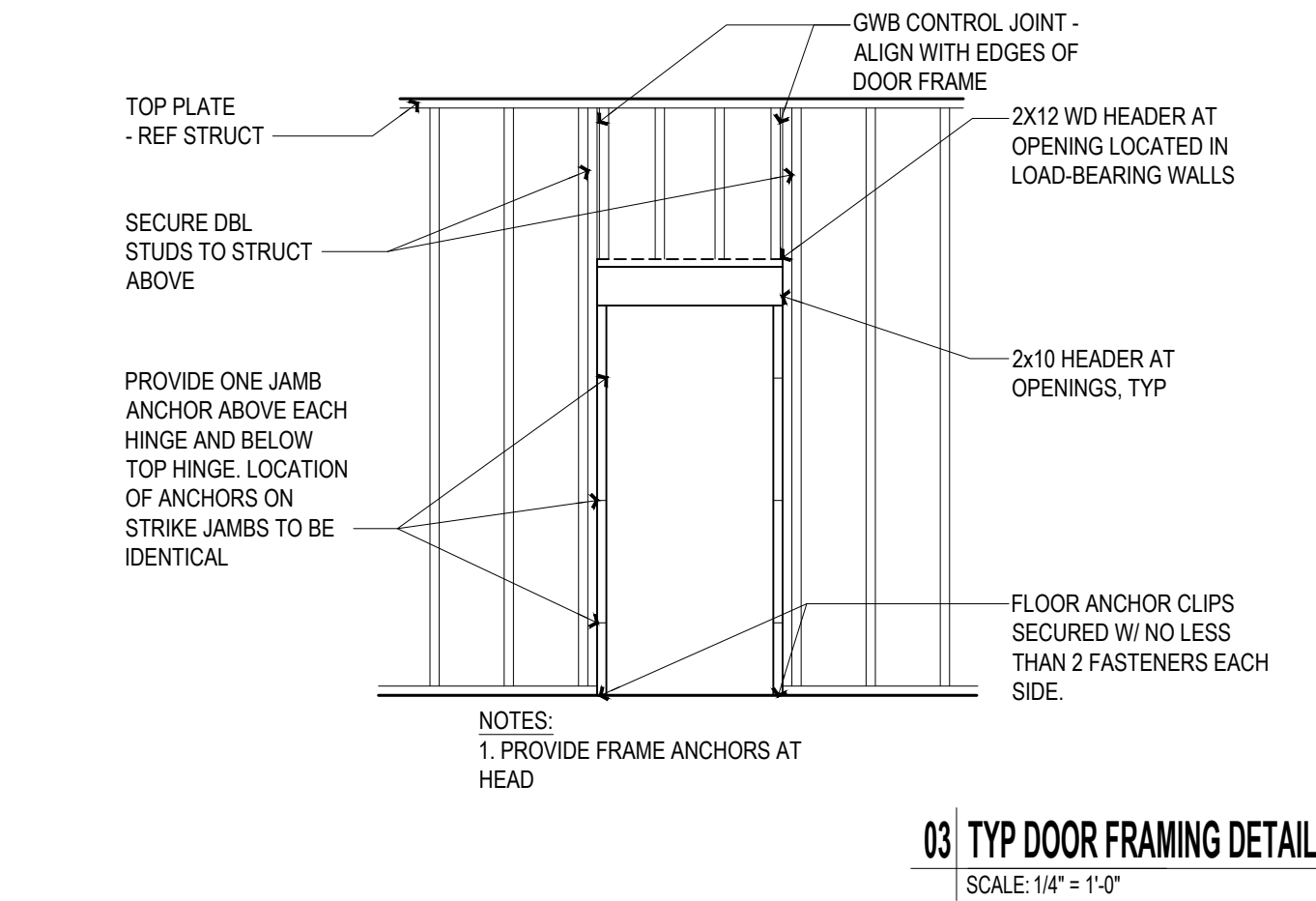
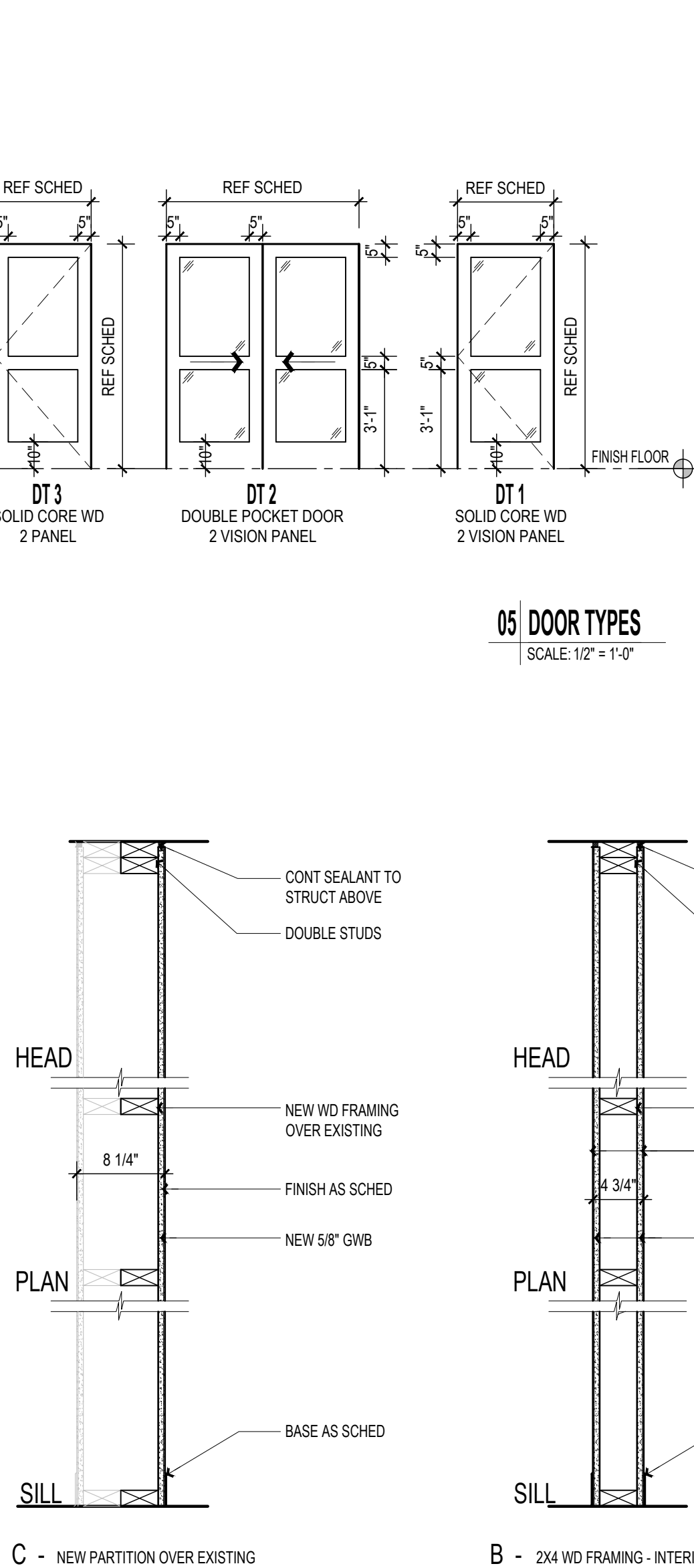
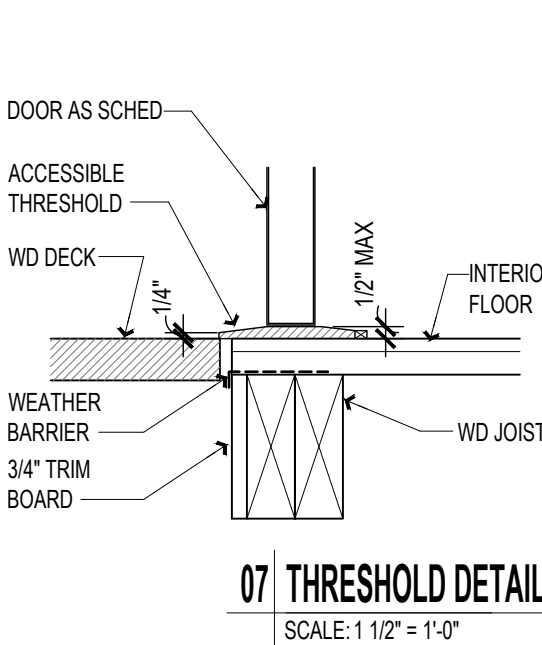
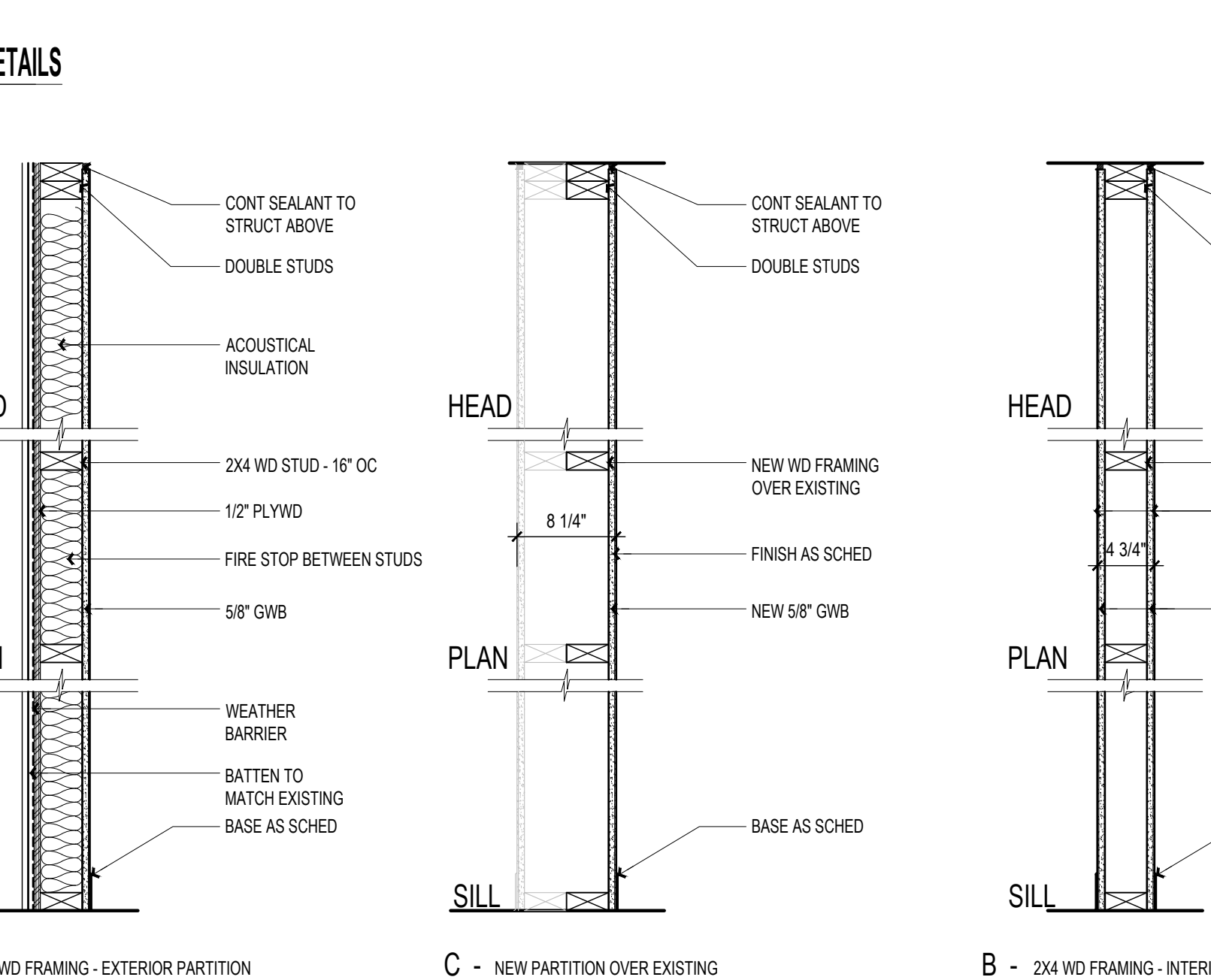
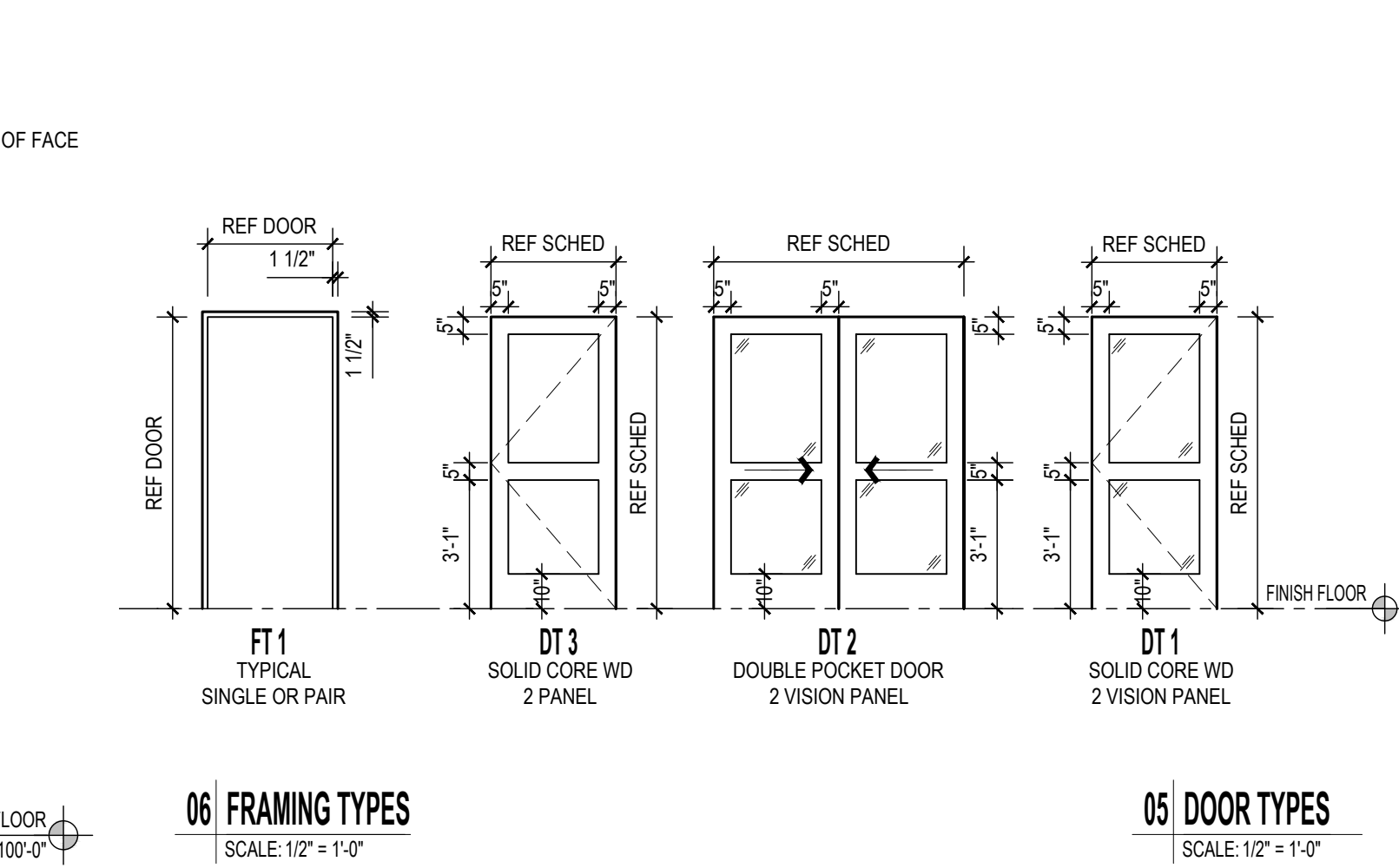
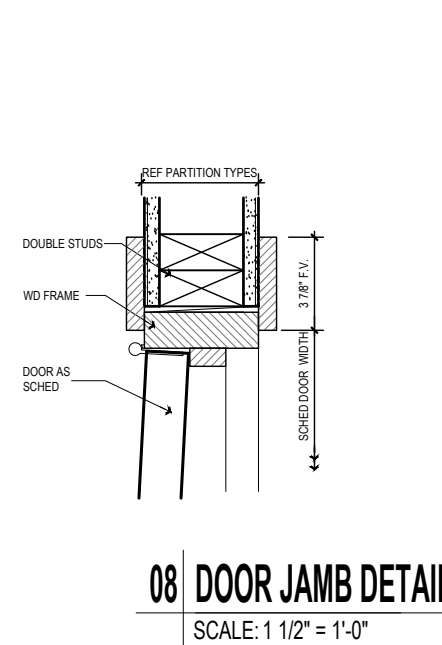
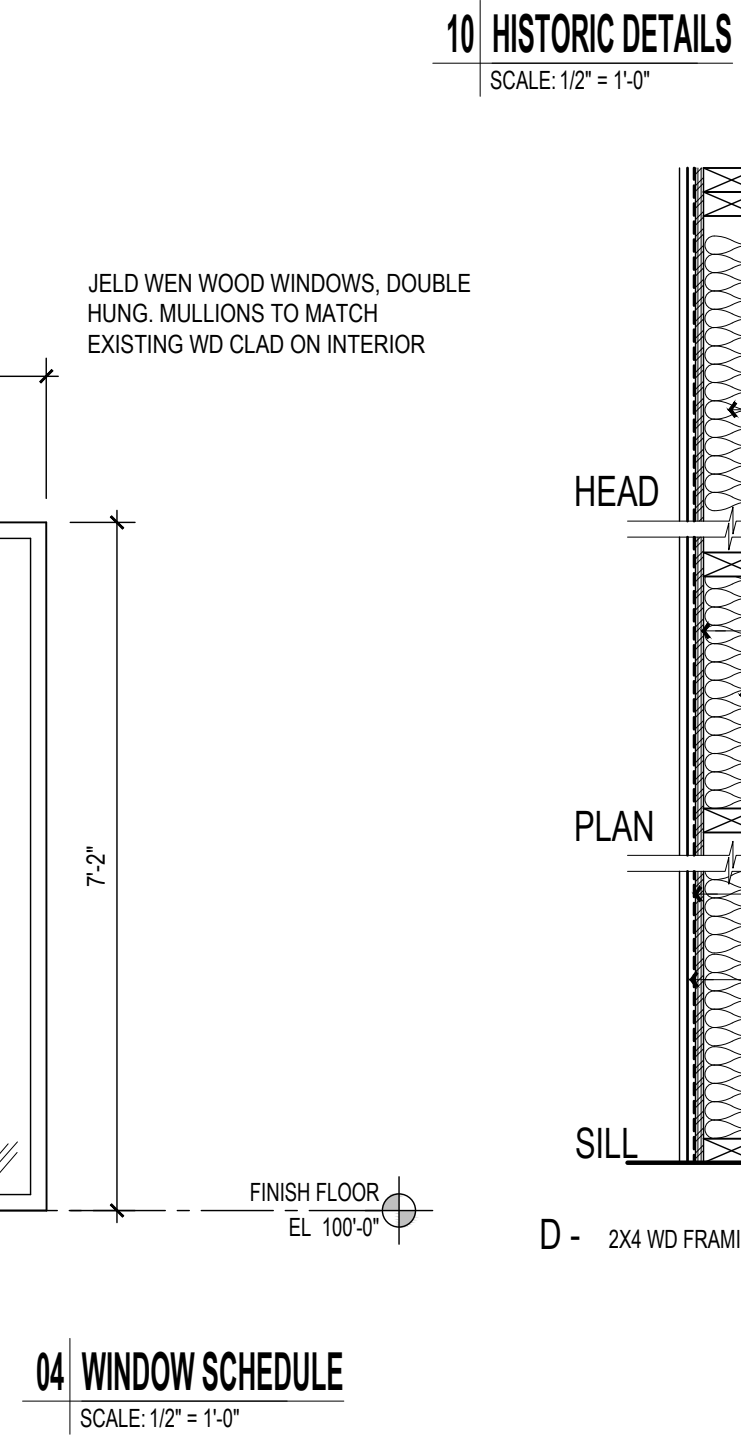
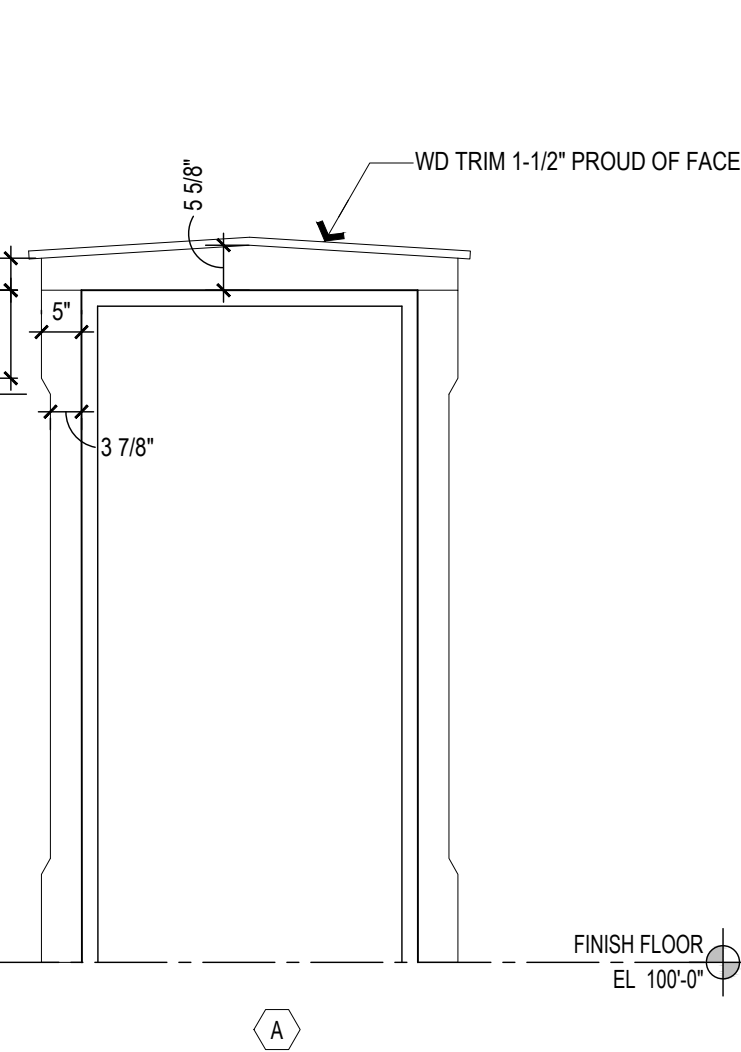
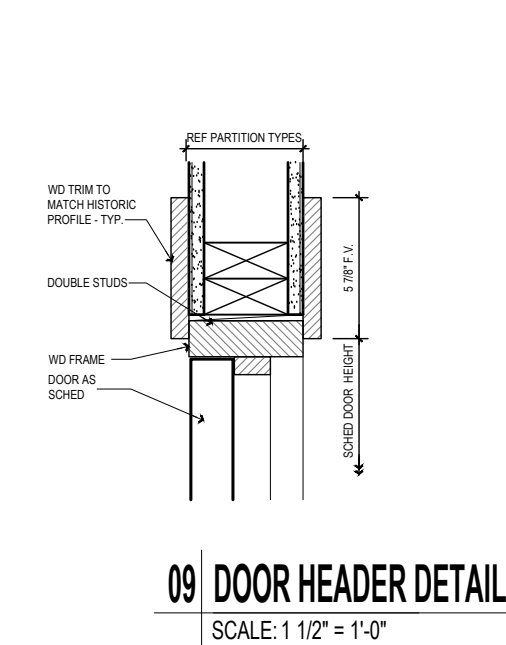
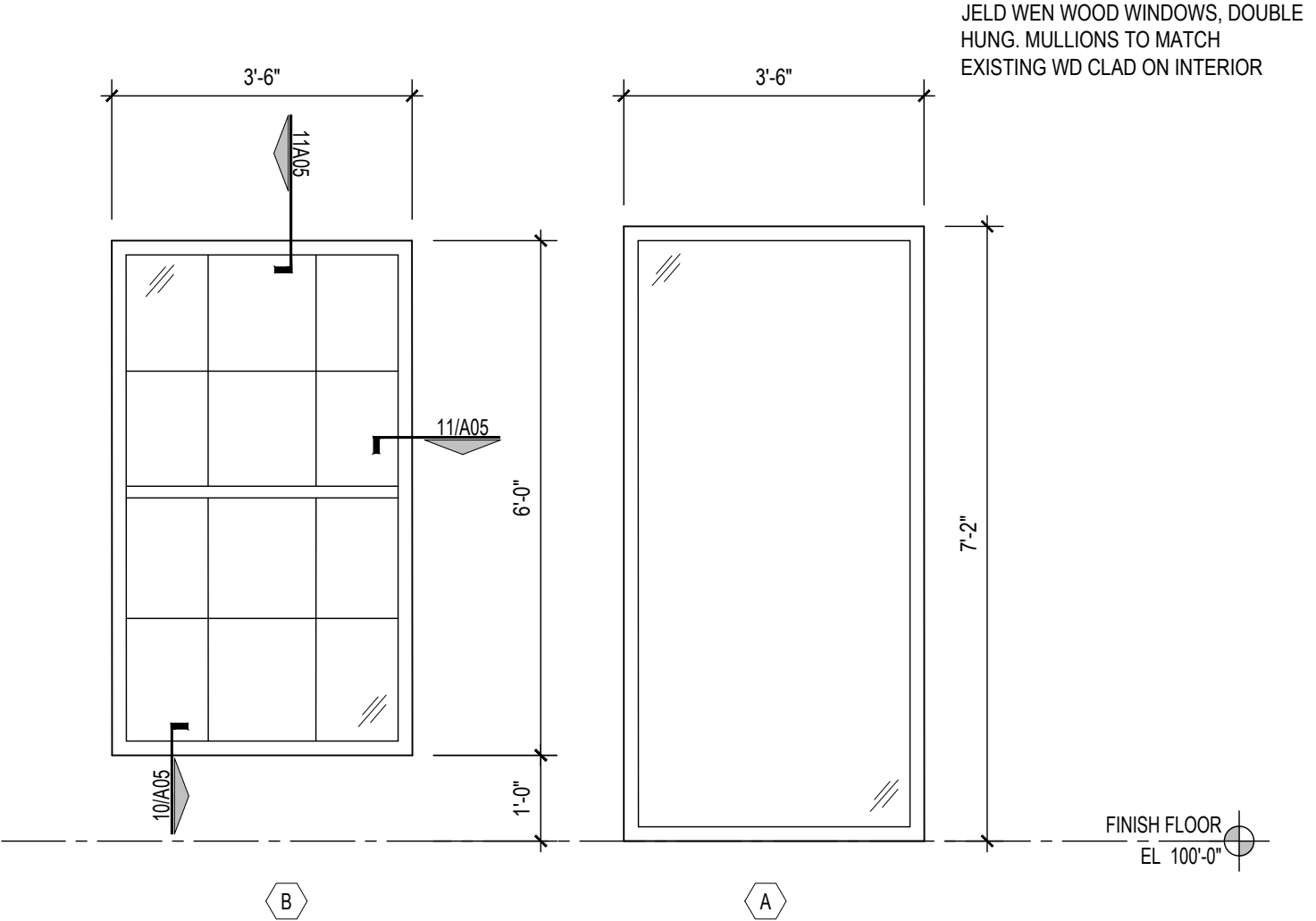
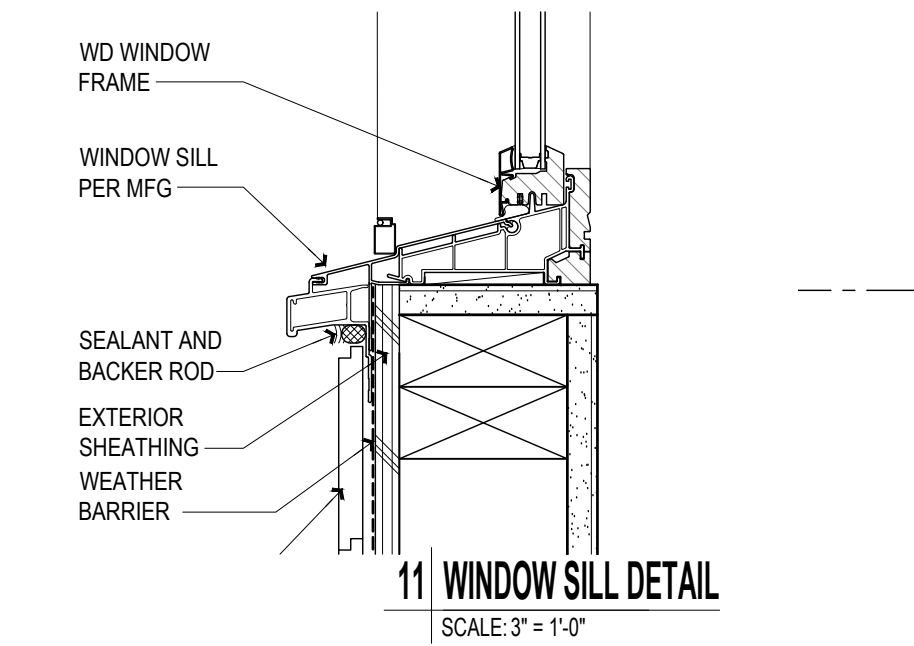
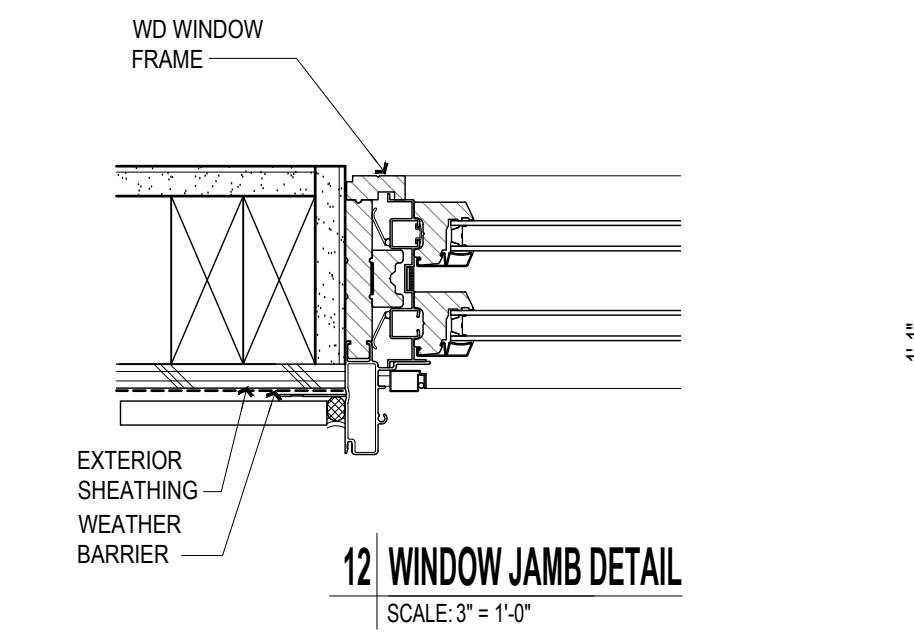
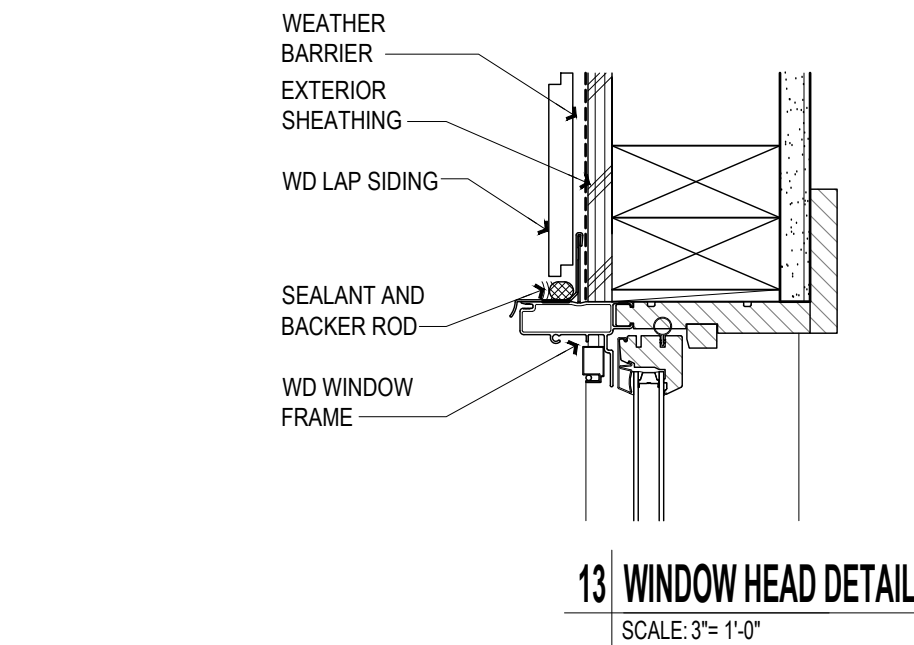
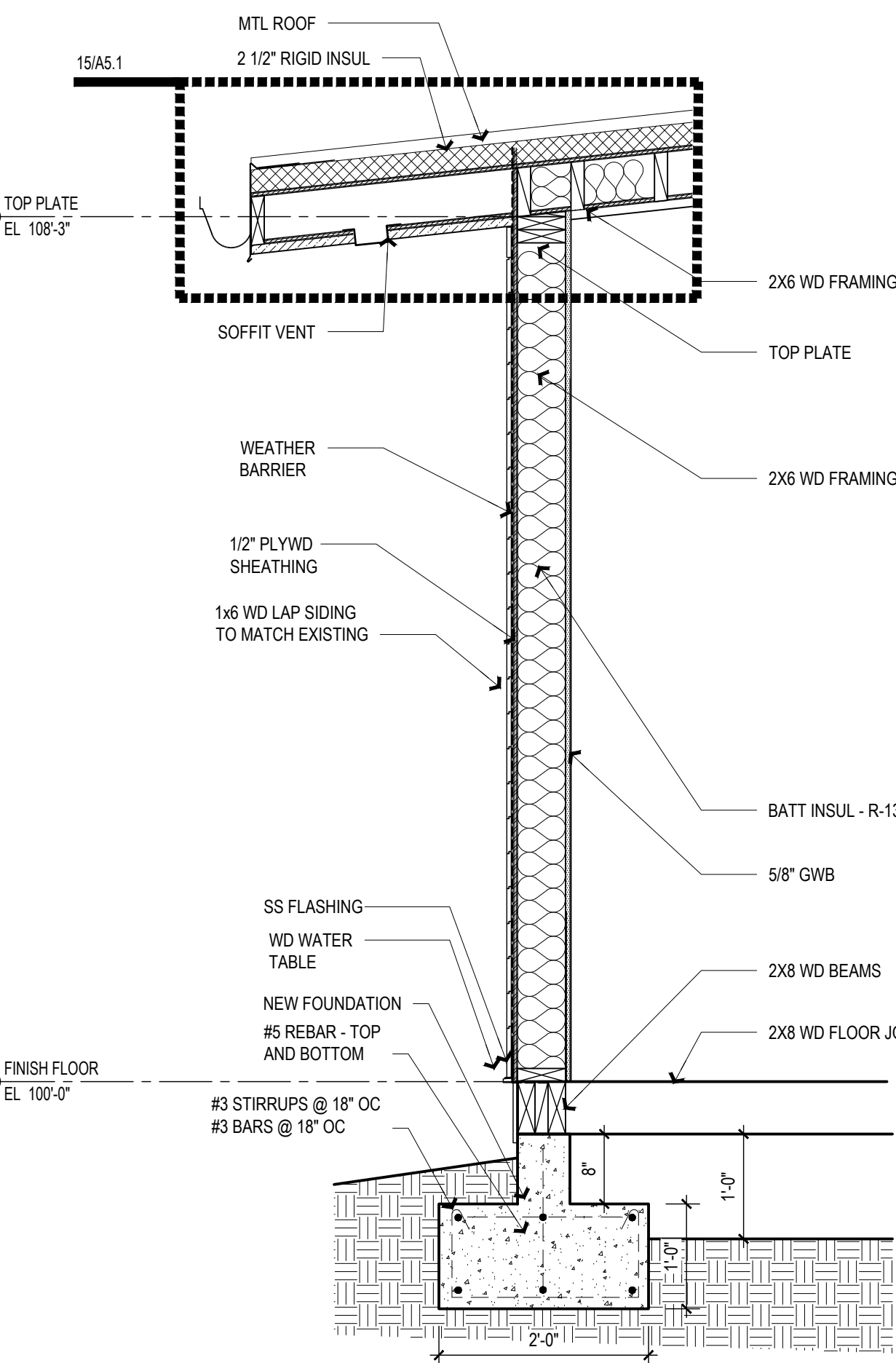
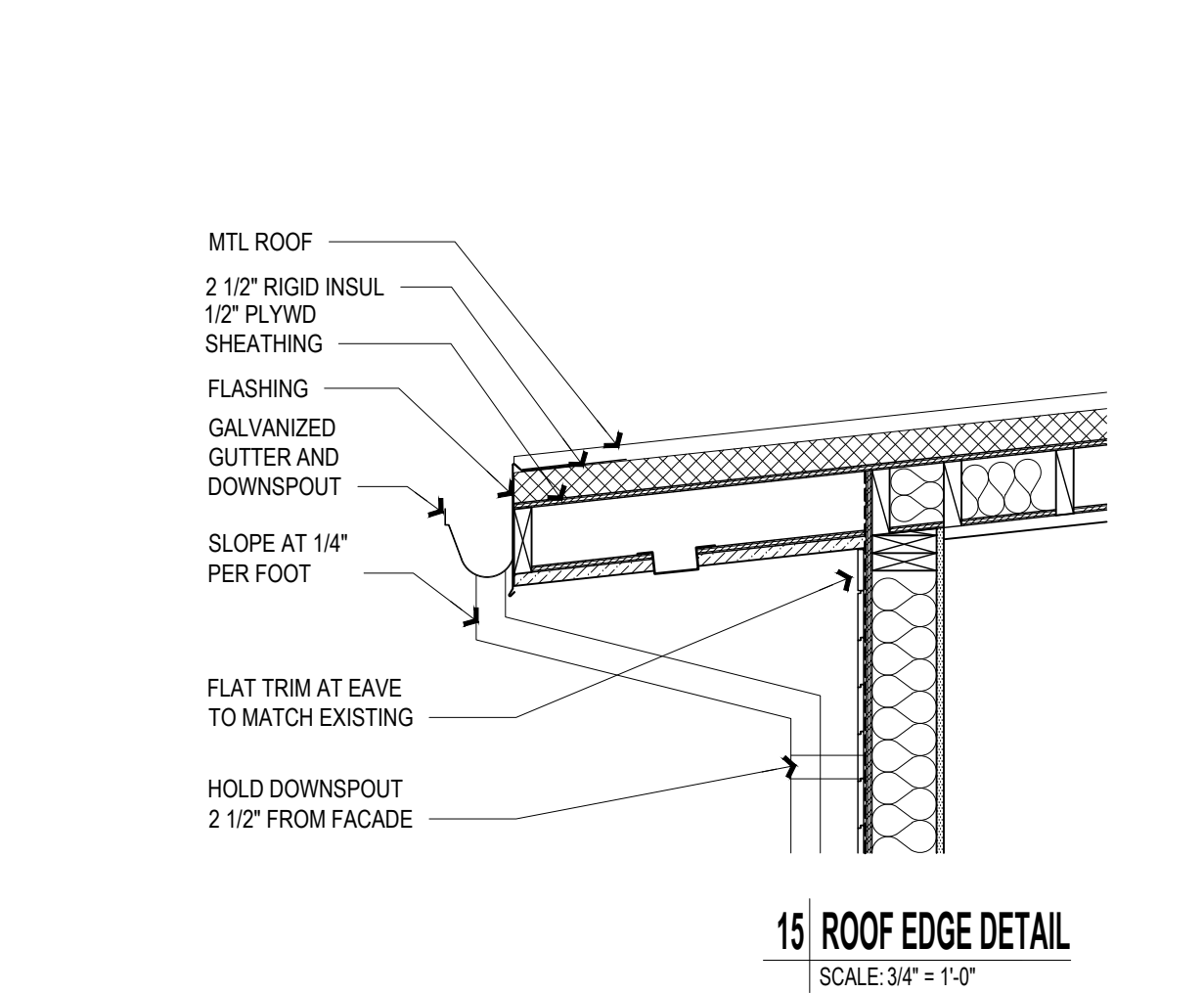
SHEET

A4.1



| WINDOW SCHEDULE |      |       |          |             |             |                  |         |         |   |
|-----------------|------|-------|----------|-------------|-------------|------------------|---------|---------|---|
| △               | MARK | SIZE  | MATERIAL | FRAME       | SASH        | DETAIL REFERENCE |         |         | REMARKS   |
|                 |      | WIDTH | HEIGHT   |             |             | HEAD             | JAMB    | SILL    |   |
|                 | A    | 3'-6" | 6'-0"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | B    | 3'-0" | 7'-0"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 1    | 6'-0" | 7'-0"    | EXISTING WD | EXISTING WD | EXISTING WD      | EXIST   | EXIST   | REPAIR AND RESTORE EXISTING WINDOW FRAME. MATCH EXISTING HISTORIC WINDOWS |
|                 | 2    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 3    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 4    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 5    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 6    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 7    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 8    |       |          | VINYL       | VINYL       | VINYL            |         |         | INTERIOR SIDELIGHTS. RESTORE EXISTING                                     |
|                 | 9    | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 10   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 11   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 12   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 13   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 14   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 15   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 16   | 2'-6" | 2'-10"   | VINYL       | VINYL       | VINYL            |         |         | MATCH EXISTING SIZE AND FUNCTION  |
|                 | 17   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 18   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 19   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |
|                 | 20   | 3'-4" | 6'-5"    | VINYL       | VINYL       | VINYL            | 13/A5.1 | 12/A5.1 | 11/A5.1   |

| DOOR SCHEDULE   |      |                |      |       |        |           |              |              |                  |                  |   |   |          |          |              |                  |  |      |         |           |        |                                       |
|---|------|----------------|------|-------|--------|-----------|--------------|--------------|------------------|------------------|---|---|----------|----------|--------------|------------------|--|------|---------|-----------|--------|---------------------------------------|
| △   | MARK | DOOR           |      | FRAME |        |           |              |              |                  |                  |   |   |          | HARDWARE |              | DETAIL REFERENCE |  |      | REMARKS |           |        |                                       |
|   |      | RATING - LABEL | TYPE | SIZE  |        |           | MATERIAL     |              |                  |                  |   | GL = GLASS<br>CA = CLEAR ANODIZED<br>ST = STAINLESS<br>FIN = FINISH | MATERIAL |          |              |                  | HARDWARE SETS<br>PENDING OWNER<br>APPROVAL** |      |         |           |        |                                       |
|   |      |                |      | WIDTH | HEIGHT | THICKNESS | HOLLOW METAL | WOOD & GLASS | ALUMINUM & GLASS | THERM-PLAIN DOOR | WOOD - REFERENCE<br>INTERIOR FINISH<br>SCHEDULE |   | FINISH   | TYPE     | HOLLOW METAL | WOOD             |  |      |         |           |        | ALUMINUM                              |
|   |      | DOOR NUMBER    |      |       |        |           | 1            | 2            | 3                | 4                | 5   |   | 1        | 2        | 3            | FINISH           |  | HEAD | JAMB    | THRESHOLD |        |                                       |
|   |      | 101            | EXG  | EXG   | EXG    |           |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** |         |           |        | RESTORE EXISTING ENTRY DOOR           |
|   |      | 102            | DT2  | 6'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** |         |           |        | 3'-0" X 6'-0" PAIR DOUBLE POCKET DOOR |
|   |      | 103            | DT2  | 6'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** |         |           |        | 3'-0" X 6'-0" PAIR DOUBLE POCKET DOOR |
|   |      | 104            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    | 7/A5.1 |                                       |
|   |      | 105            | DT2  | 6'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** |         |           |        | 3'-0" X 6'-0" PAIR DOUBLE POCKET DOOR |
|   |      | 106            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 107            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 108            | DT3  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 109            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 110            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 111            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    |        |                                       |
|   |      | 112            | DT1  | 3'-0" | 6'-8"  | 1 3/4"    |              |              |                  |                  | 5   | ST  | FT1      |          |              | 3                | CA   | XX** | 9/A5.1  | 8/A5.1    | 7/A5.1 |                                       |
| NOTE: REPAIR AND REPAINT EXISTING DOORS SHOWN TO REMAIN |      |                |      |       |        |           |              |              |                  |                  |   |   |          |          |              |                  |  |      |         |           |        |                                       |



VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

#### REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

#### SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

#### TITLE

Wall Sections &  
Partition Details

scale: varies

SHEET

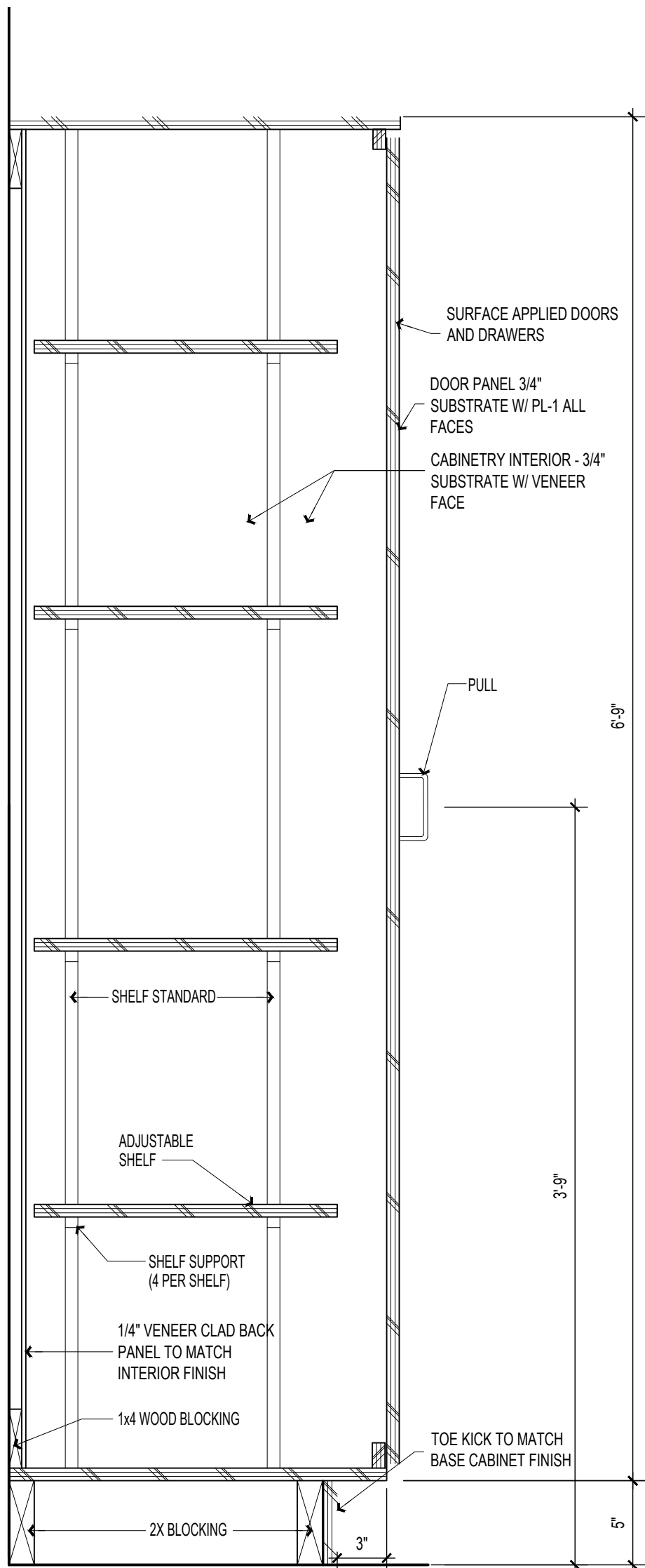
A5.1



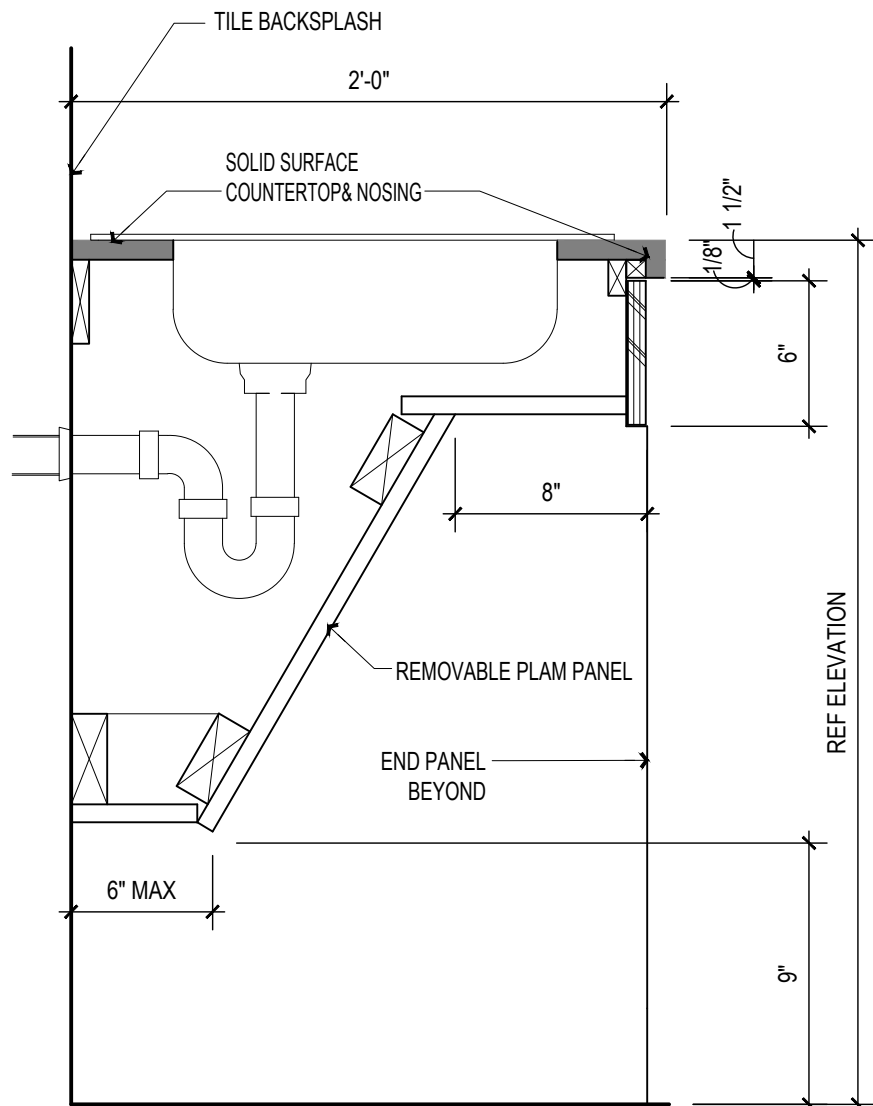
- GENERAL NOTES:
1. All partition types are "Type A" unless otherwise noted.
  2. All dimensioned are from face of finish to face of finish.
  3. All areas scheduled to receive new finishes are to be inspected for any patching that may be required due to existing conditions. Perform all patching as required prior to application of new finishes.
  4. Contractor shall field verify all existing dimensions. Drawn information shall not supercede actual conditions.

TOILET ROOM ACCESSORIES KEYED NOTES:  
All toilet room accessories are Bobrick, unless otherwise noted.

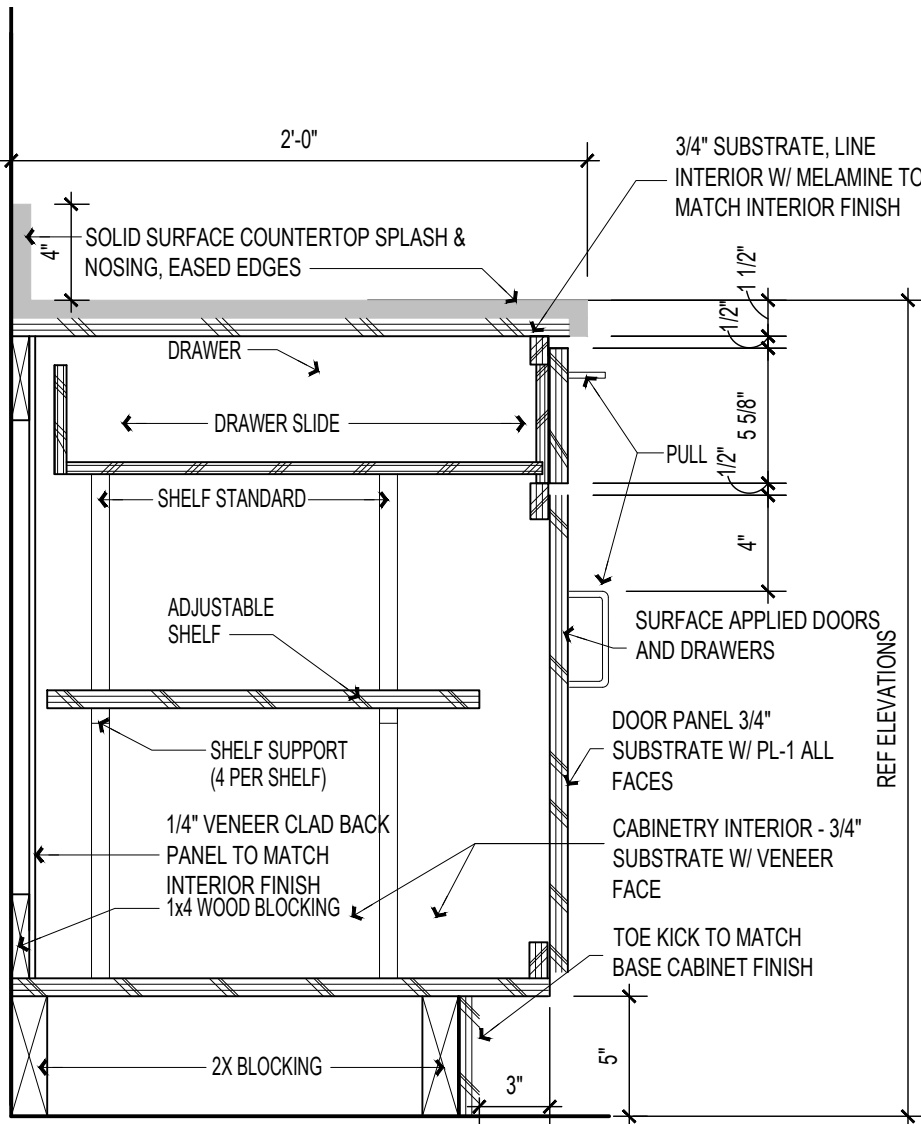
- A. 36" ADA grab bar. Top of bar at 34" AFF. B-6806 x 36  
B. 42" ADA grab bar. Top of bar at 34" AFF. B-6806 x 42  
C. Toilet paper dispenser. B-26212  
D. Sanitary napkin disposal. Surface mounted. B- 254  
E. Paper towel dispenser. Surface mounted. B-262  
F. Soap Dispenser. Surface mounted. B-4112  
G. Hat and coat hook. Mounted 48" AFF. B-6827  
H. 24" x 36" glass mirror. B-165 2436  
I. Flush valve located on open side of water closet.  
J. Toilet seat cover dispenser. B-221



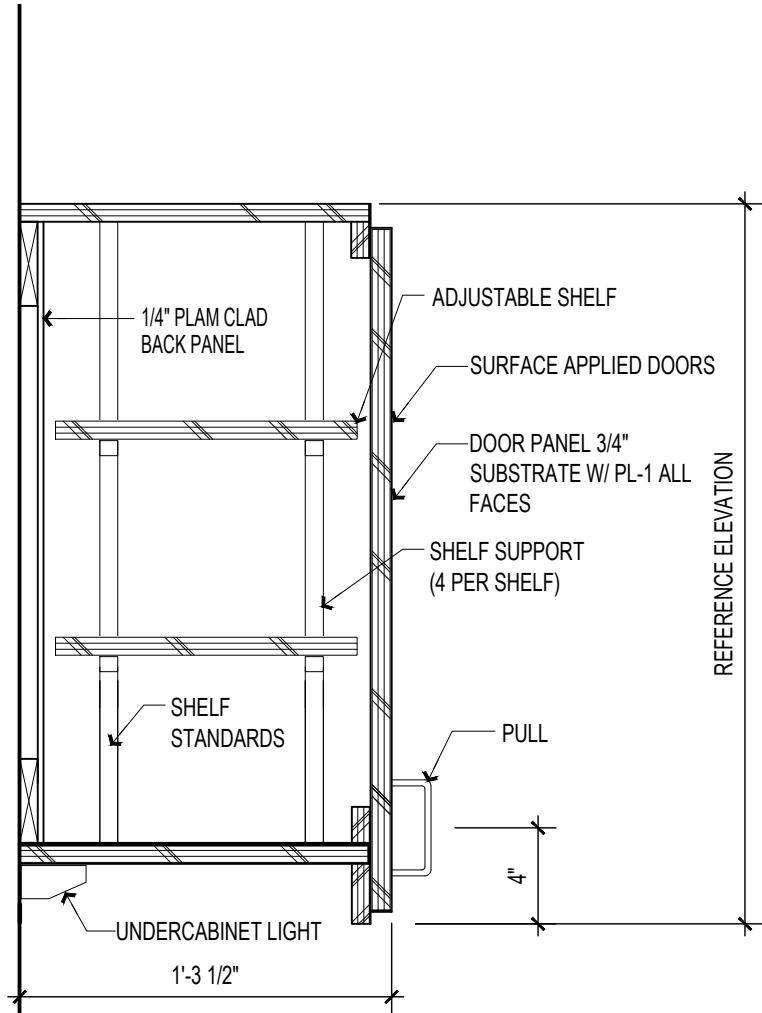
09 MILLWORK SECTION  
SCALE: 1-1/2" = 1'-0"



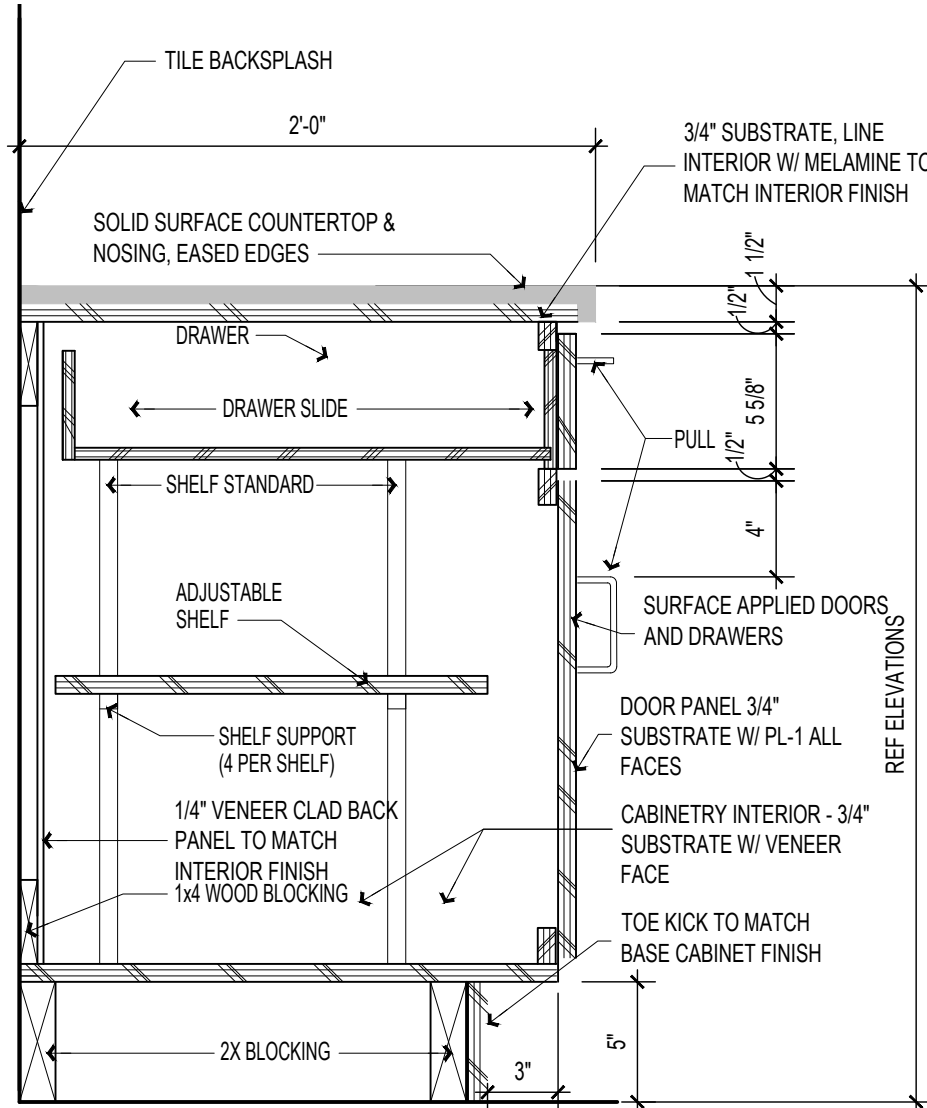
08 MILLWORK SECTION  
SCALE: 1-1/2" = 1'-0"



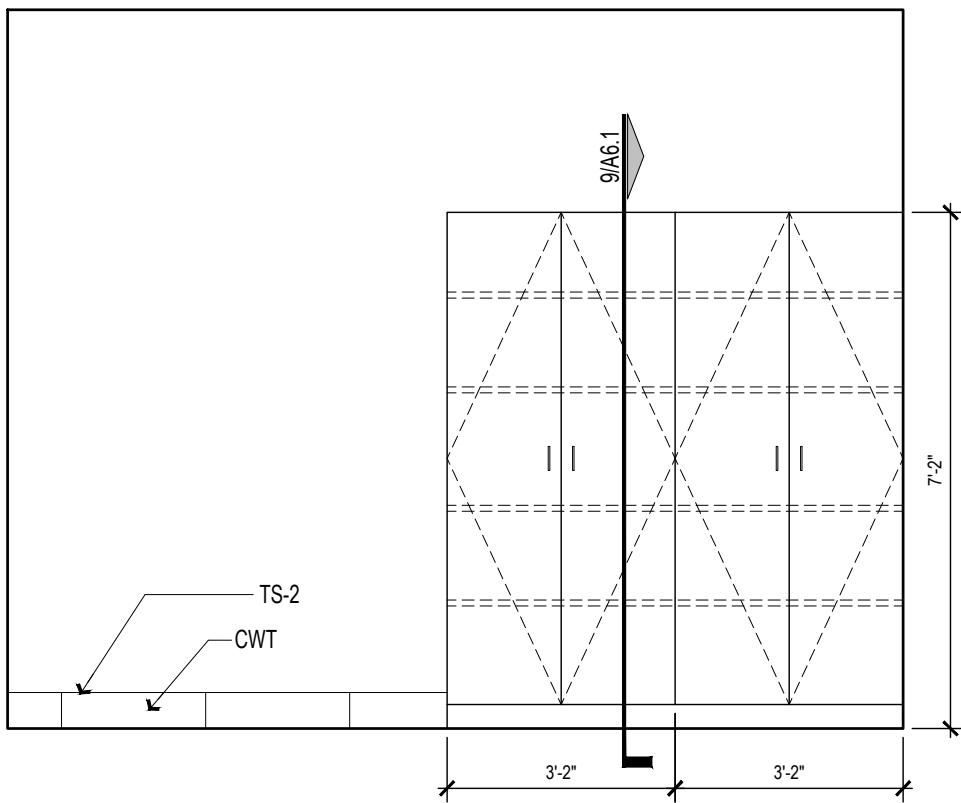
07 MILLWORK SECTION  
SCALE: 1-1/2" = 1'-0"



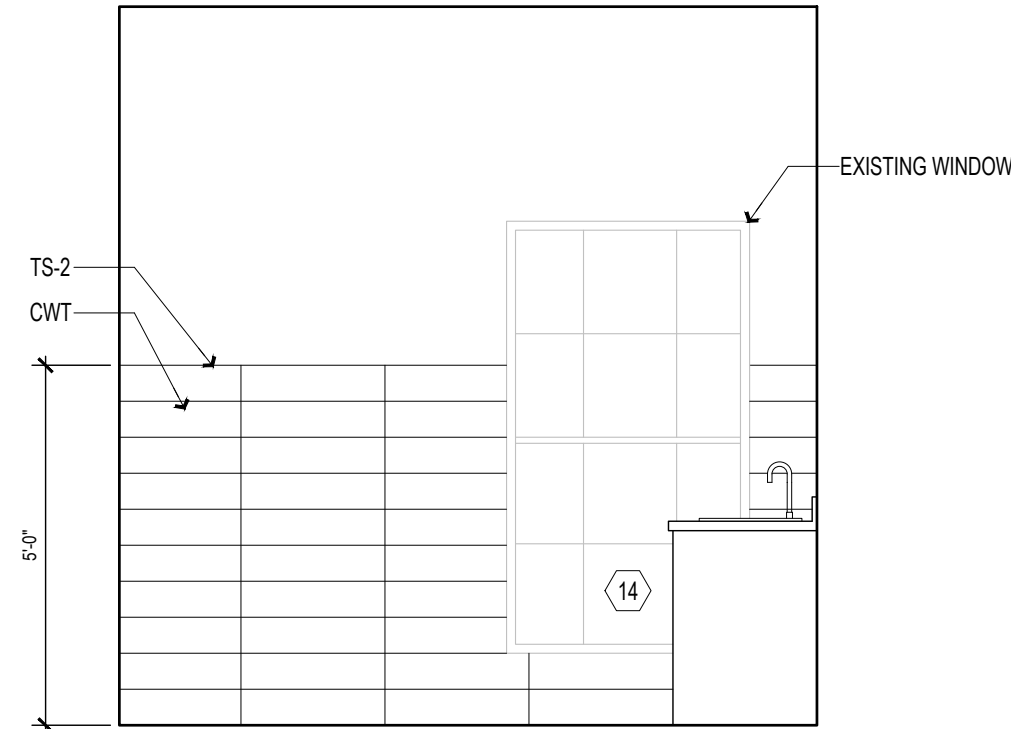
06 MILLWORK SECTION  
SCALE: 1-1/2" = 1'-0"



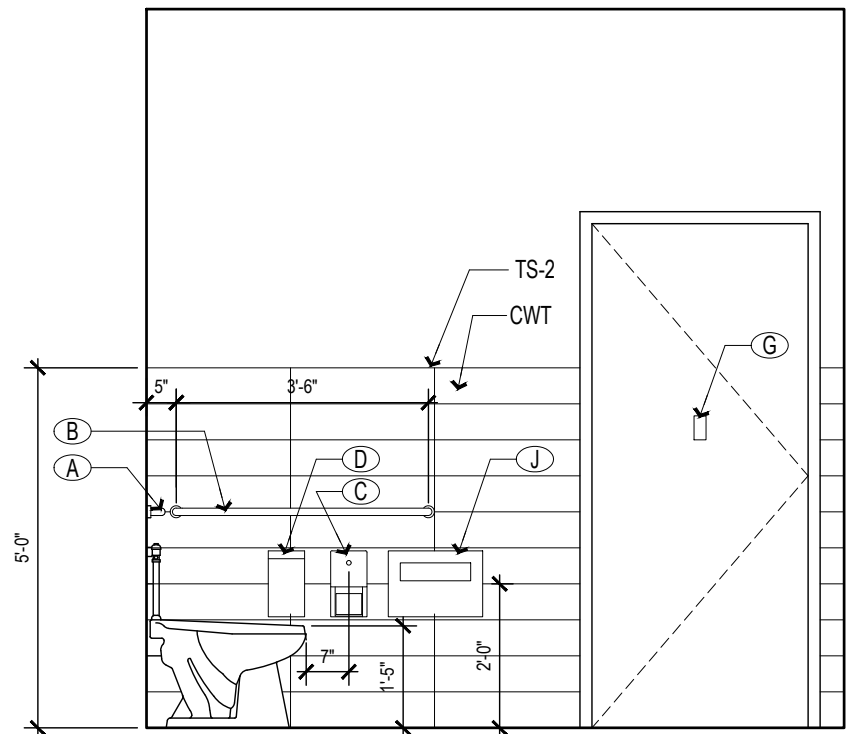
05 MILLWORK SECTION  
SCALE: 1-1/2" = 1'-0"



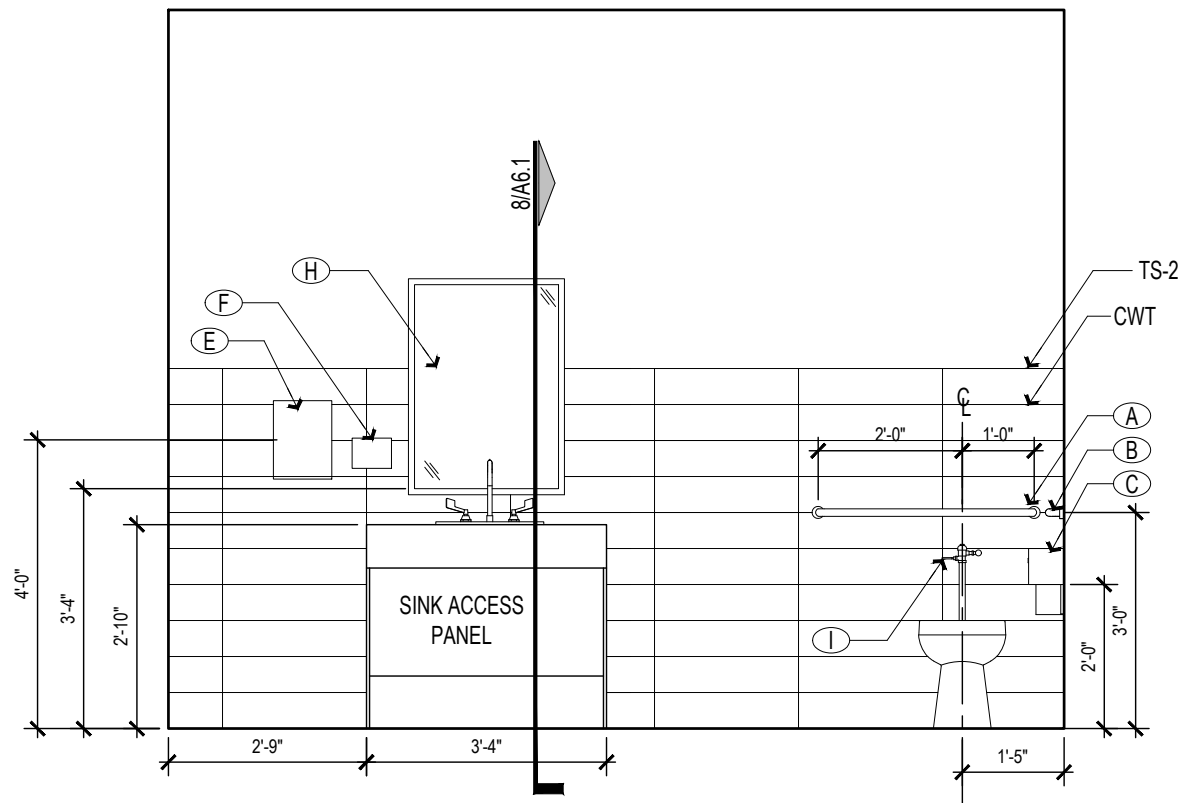
04 TOILET ROOM  
SCALE: 3/8" = 1'-0"



03 TOILET ROOM  
SCALE: 3/8" = 1'-0"



02 TOILET ROOM  
SCALE: 3/8" = 1'-0"



01 TOILET ROOM  
SCALE: 3/8" = 1'-0"

Miller-Searight  
House  
5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Interior  
Elevations  
& Details

scale: varies

SHEET

A6.1

512-452-3041

- A. 36" ADA grab bar. Top of bar at 34" AFF. B-6806 x 36"
- B. 42" ADA grab bar. Top of bar at 34" AFF. B-6806 x 42"
- C. Toilet paper dispenser. B-26212
- D. Sanitary napkin disposal. Surface mounted. B- 254
- E. Paper towel dispenser. Surface mounted. B-262
- F. Soap Dispenser. Surface mounted. B-4112
- G. Hat and coat hook. Mounted 48" AFF. B-6827
- H. 24" x 36" glass mirror. B-165 2436
- I. Flush valve located on open side of water closet.
- J. Toilet seat cover dispenser. B-221



5400 Freidrich Ln.  
Austin, Texas 78744

Vincent P. Hauser January 2020

| REVISIONS |          |            |
|-----------|----------|------------|
| No.       | Issue    | Date       |
| 1         | Revision | 12/04/2018 |
| 2         | Revision | 02/05/2019 |
| 3         | Revision | 08/05/2019 |
| 4         | Revision | 08/30/2019 |
| 5         | Revision | 10/08/2019 |
| 6         | Revision | 12/07/2019 |
| 7         | Revision | 01/28/2020 |
|           |          |            |

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

scale: varies

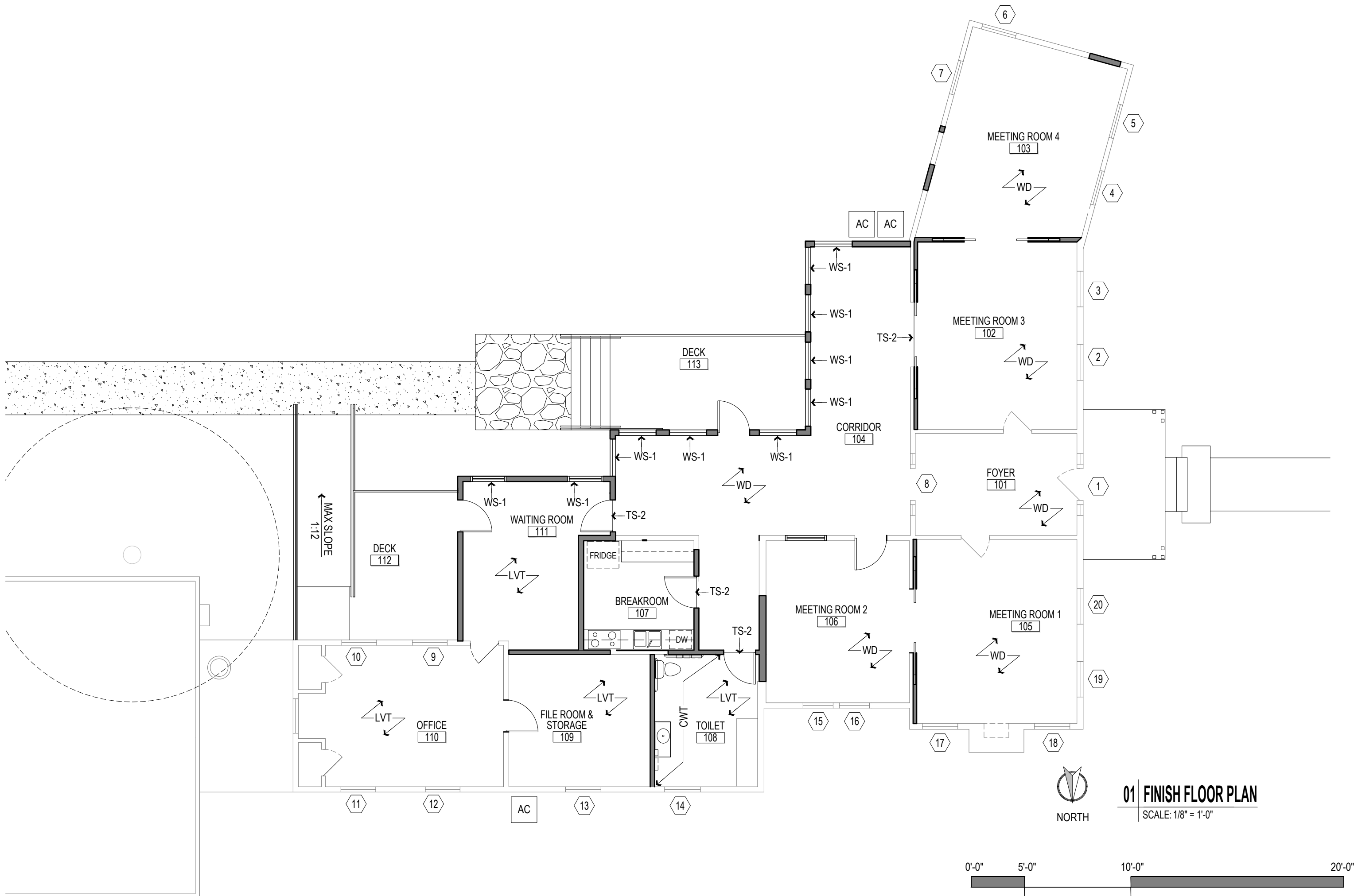
## A6.2



| ROOM FINISH SCHEDULE |             |                |                 |          |                               |      |       |      |         |          |          |  |
|----------------------|-------------|----------------|-----------------|----------|-------------------------------|------|-------|------|---------|----------|----------|--|
|                      | ROOM        |                | FLOORS          |          | WALLS                         |      |       |      | CEILING | MILLWORK |          | NOTES  |
|                      | ROOM NUMBER | ROOM NAME      | FLOOR FINISH    | BASE     | FINISHES REFERENCE PLAN NORTH |      |       |      | FINISH  | MLWK     | CTR TOPS |  |
|                      |             |                |                 |          | NORTH                         | EAST | SOUTH | WEST |         |          |          |  |
|                      | 101         | FOYER          | EXISTING WD     | EXISTING | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          | REFINISH EXISTING WOOD FLOORING. REMOVE VINYL  |
|                      | 102         | MEETING ROOM   | EXISTING WD     | EXISTING | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          | REFINISH EXISTING WOOD FLOORING. REMOVE CARPET |
|                      | 103         | MEETING ROOM   | EXISTING        | EXISTING | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          | REFINISH EXISTING WOOD FLOORING. REMOVE CARPET |
|                      | 104         | CORRIDOR       | NEW WD FLOORING | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          | NEW WOOD FLOORING                              |
|                      | 105         | MEETING ROOM   | EXISTING        | EXISTING | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          | REFINISH EXISTING WOOD FLOORING. REMOVE CARPET |
|                      | 106         | MEETING ROOM   | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          |  |
|                      | 107         | BREAK ROOM     | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    | PL-1     | SS-1     |  |
|                      | 108         | TOILET ROOM    | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    | PL-1     | SS-1     |  |
|                      | 109         | FILE & STORAGE | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          |  |
|                      | 110         | OFFICE         | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          |  |
|                      | 111         | WAITING ROOM   | LVT             | WB-1     | PT-1                          | PT-1 | PT-1  | PT-1 | PT-3    |          |          |  |

FINAL FINISH SELECTION IS PENDING APPROVAL BY OWNER.

| ROOM FINISH LEGEND |      |                                 |                      |                           |            |                     |  |
|--------------------|------|---------------------------------|----------------------|---------------------------|------------|---------------------|--|
| FLOORING           |      |                                 |                      |                           |            |                     |  |
| MATERIAL           | CODE | MANUFACTURE/PATTERN             | PRODUCT NO.          | COLOR                     | FINISH     | DIMENSIONS          | REMARKS  |
| LUXURY VINYL TILE  | LVT  | MOHAWK / SELECT STEP C0007      | P0086                | COTTAGE GREY              | -          | 6" X 48"            | BRICK ASHLAR INSTALLATION. REFER TO DETAIL.                |
| WD FLOORING        | WD   | --                              | --                   | STAINED TO MATCH EXISTING | -          | TO MATCH EXISTING   | QUARTERSAWN OR RECYCLED HEART PINE                         |
| WD WALL BASE       | WB   | --                              | --                   | PAINTED WHITE             | --         | 4" HIGH             | WOOD BASE. REF TO DETAIL                                   |
| WALLS              |      |                                 |                      |                           |            |                     |  |
| PAINT              | PT-1 | SHERWIN WILLIAMS                | SW 6196              | FROSTY WHITE              | EGG SHELL  | -                   | FIELD WALL PAINT   |
| PAINT              | PT-2 | SHERWIN WILLIAMS                | SW ---               | --                        | EGG SHELL  | -                   | ACCENT WALL COLOR  |
| CERAMIC WALL TILE  | CWT  | CONCEPT SURFACES                | NUOVO                | ARGENTO                   | --         | 6 X 24 X 3/8" THICK | WALL TILE IN TOILET ROOM. REF TO ELEVATIONS FOR PATTERN    |
| TILE BACKSPLASH    | --   | --                              | --                   | --                        | --         | -                   | BACKSPLASH IN BREAKROOM                                    |
| CEILING            |      |                                 |                      |                           |            |                     |  |
| PAINT              | PT-3 | SHERWIN WILLIAMS                | SW --                | WHITE                     | -          | -                   | PAINT ALL CEILINGS   |
| MILLWORK           |      |                                 |                      |                           |            |                     |  |
| PLASTIC LAMINATE   | PL-1 | FORMICA                         | TBD                  | TBD                       | MATTE      | -                   |  |
| SOLID SURFACE      | SS-1 | WILSONART                       | TBD                  | TBD                       | -          | -                   |  |
| MISC.              |      |                                 |                      |                           |            |                     |  |
| WOOD VENEER        | WV-1 | BACON VENEER COMPANY OR EQUIV   | -                    | RIFT WHITE OAK            | CLEAR SEAL | -                   | DOOR FINISH  |
| WINDOW SHADES      | WS-1 | SWF CONTRACTMANUAL SOLAR SHADES | SW 2701 (1% OPENESS) | TBD                       | -          | -                   |  |
| TRANSITION STRIP   | TS-1 | SCHLUTER SYSTEMS JOLLY          | --                   | BRUSHED NICKEL            | -          | -                   | TOP OF CERAMIC WALL TILE IN TOILETROOMS. REF TO ELEVATIONS |
| TRANSITION STRIP   | TS-2 | ARMSTRONG                       | T18S31041            | TO MATCH WD FLOORING      | -          | -                   | TRANSITION FROM WOOD FLOORING                              |
| TRANSITION STRIP   | TS-3 | ARMSTRONG                       | --                   | BLACK                     | -          | -                   | TRANSITION FROM LVT TO CARPET                              |



VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, OR PERMIT PURPOSES. THEY ARE PREPARED BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Finish Plan &  
Schedule

scale: varies

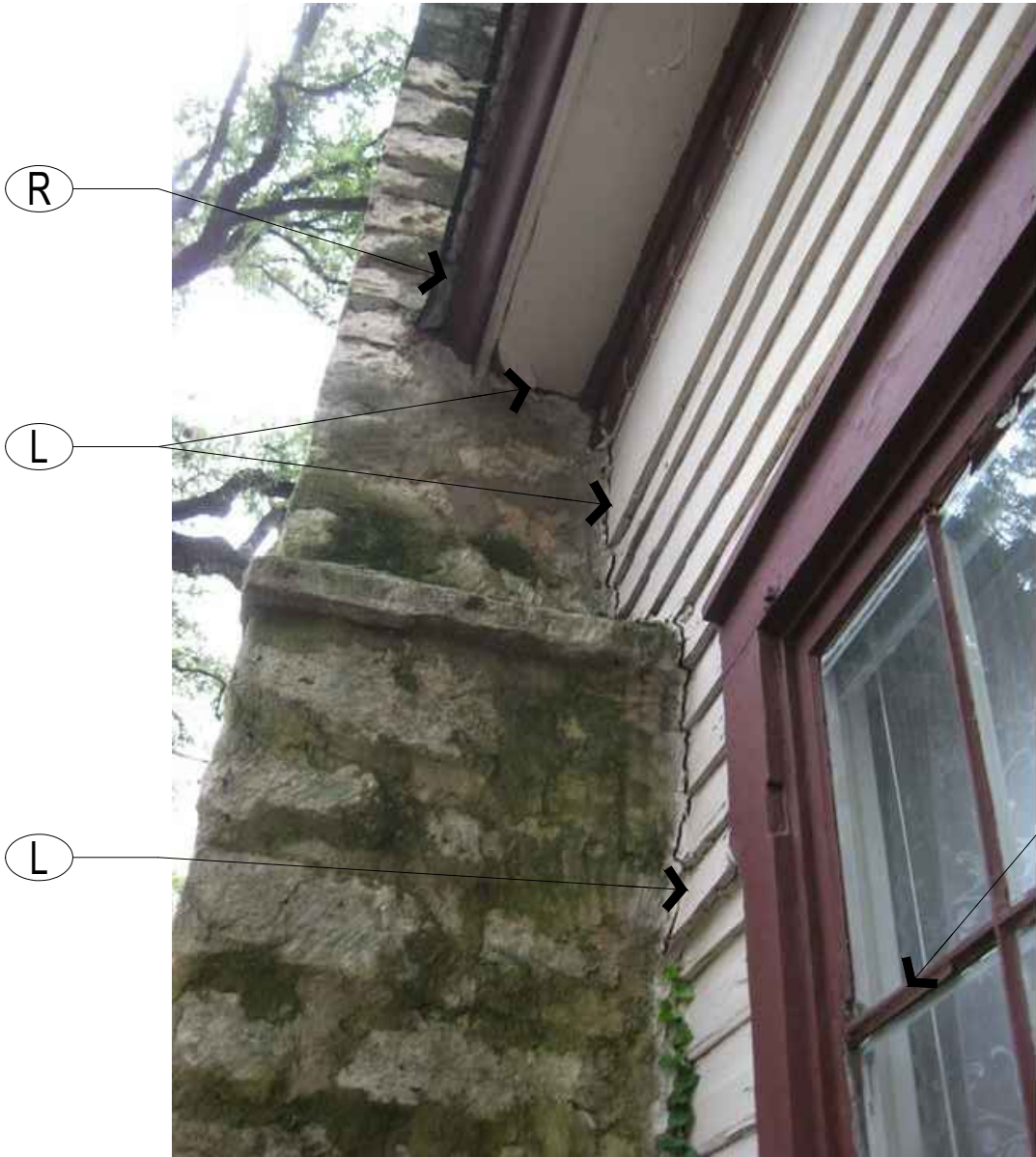
SHEET

A7.1





09 NORTH FACADE DETAIL  
AT 110 & 116  
SCALE: N/A



06 DETAIL AT CHIMNEY -  
NORTH FACADE  
SCALE: N/A



03 NORTH FACADE  
AT ROOM 101  
SCALE: N/A



08 NORTH FACADE  
AT NE CORNER  
SCALE: N/A



05 PARTIAL NORTH ELEVATION  
AT KITCHEN 108  
SCALE: N/A



02 NORTHWEST CORNER  
SCALE: N/A



07 WINDOW AT  
NORTH FACADE  
SCALE: N/A



04 NORTH FACADE - PARTIAL  
AT ROOMS 101, 108, 110  
SCALE: N/A



01 WEST ELEVATION  
SCALE: N/A

GENERAL NOTES:

Scope of Work  
Stabilize and repair existing perimeter foundation and floor framing system, repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL - See Floor Plan Sheet A1.0

SIDING AND TRIM GENERAL NOTES:

1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.
3. Remove all exterior cabling, wiring, drain and vent piping. Coordinate with Owner's telecom provider to reroute prior to demo of exterior cabling. Provide temporary wiring and piping as required to keep systems functioning.
4. Photograph siding conditions prior to and during removals for record and to assist in repair work and re-installation. Remove exterior materials only as required to repair framing and other tasks related to leveling work.
5. Contact the Architect during siding and water table removal to review unanticipated conditions.
6. Store all material to be salvaged for reuse and for patterns inside the building as agreed to with Owner. Store on blocking or other frames as appropriate to keep from twisting and warping. Mark boards for original location on the building exterior.
7. Remove window head trim and provide access for new z flashing installation. Provide new window head flashing to be detailed.
8. Provide half-round gutters and round downspouts. Review downspout locations prior to fabrication. Provide splash blocks and flexible drains as required to divert water away from foundations.
9. Provide access doors to crawl space as shown

PAINTING GENERAL NOTES:

1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system. Comply with paint system prep and application specifications and other requirements.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

BUILDING ELEVATIONS KEYED NOTES:

- (A) Demolish existing deck.  
(B) Remove porch structure, repair and reinstall siding as required to match assumed original pattern. Remove existing screen door and fix existing door in place.  
(C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.  
(D) Level and repair porch.  
(E) Provide new column base trim to be detailed.  
(F) Provide new wood skirt and water table as required to match assumed historic profiles, to be detailed  
(G) Provide allowance for accessible concrete ramp to front entry porch.  
(H) Repair porch framing, replace existing columns and deck, per structural drawings.  
(I) Remove ac compressor and reconnect at a serviceable location  
(J) Remove wall ac unit, patch and repair framing and siding to match existing adjacent design.  
(K) Remove light pole and supply as required  
(L) Clean joint between masonry and siding, repair wood and reseal. Provide backer rod as required.  
(M) Provide access door to crawl space  
(N) Replace missing and damaged roof shingles.  
(O) Patch and repair modified bitumen roofing and flashings.  
(P) Inspect and repair all ridge and cap shingles, replace as needed to match existing.  
(Q) Inspect and re-seal all roof penetrations  
(R) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection. Add temporary edge flashings as required  
(S) Repair flashing / provide temporary repairs at chimney and roof interface

VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Restoration  
Details

SHEET

A8.0





**PORCH 107  
18 TO EAST**  
SCALE: N/A



**PORCH 107 TO EAST  
17 FROM ENTRY HALL 100**  
SCALE: N/A



**ENTRY HALL  
16 100 TO WEST**  
SCALE: N/A



**SOUTH ELEVATION  
15 AT ENCLOSED PORCH 107**  
SCALE: N/A



**14 SOUTH ELEVATION**  
SCALE: N/A



**DETAIL AT  
13 SOUTH FACADE**  
SCALE: N/A



**DETAIL AT  
12 SW CORNER**  
SCALE: N/A



**SOUTH FACADE  
11 AT 104**  
SCALE: N/A



**WEST FACADE  
10 AT SW CORNER**  
SCALE: N/A

GENERAL NOTES:

Scope of Work  
Stabilize and repair existing perimeter foundation and floor framing system, repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL: - See Floor Plan Sheet A1.0

SIDING AND TRIM GENERAL NOTES:

1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.
3. Remove all exterior cabling, wiring, drain and vent piping. Coordinate with Owner's telecom provider to reroute prior to demo of exterior cabling. Provide temporary wiring and piping as required to keep systems functioning.
4. Photograph siding conditions prior to and during removals for record and to assist in repair work and re-installation. Remove exterior materials only as required to repair framing and other tasks related to leveling work.
5. Contact the Architect during siding and water table removal to review unanticipated conditions.
6. Store all material to be salvaged for reuse and for patterns inside the building as agreed to with Owner. Store on blocking or other frames as appropriate to keep from twisting and warping. Mark boards for original location on the building exterior.
7. Remove window head trim and provide access for new z flashing installation. Provide new window head flashing to be detailed.
8. Provide half-round gutters and round downspouts. Review downspout locations prior to fabrication. Provide splash blocks and flexible drains as required to divert water away from foundations.
9. Provide access doors to crawl space as shown

PAINTING GENERAL NOTES:

1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system. Comply with paint system prep and application specifications and other requirements.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

BUILDING ELEVATIONS KEYED NOTES:

- (A) Demolish existing deck.
- (B) Remove porch structure, repair and reinstall siding as required to match assumed original pattern. Remove existing screen door and fix existing door in place.
- (C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D) Level and repair porch.
- (E) Provide new column base trim to be detailed.
- (F) Provide new wood skirt and water table as required to match assumed historic profiles, to be detailed.
- (G) Provide allowance for accessible concrete ramp to front entry porch.
- (H) Repair porch framing, replace existing columns and deck, per structural drawings.
- (I) Remove ac compressor and reconnect at a serviceable location
- (J) Remove wall ac unit, patch and repair framing and siding to match existing adjacent design.
- (K) Remove light pole and supply as required
- (L) Clean joint between masonry and siding, repair wood and reseal. Provide backer rod as required.
- (M) Provide access door to crawl space
- (N) Replace missing and damaged roof shingles
- (O) Patch and repair modified bitumen roofing and flashings.
- (P) Inspect and repair all ridge and cap shingles, replace as needed to match existing.
- (Q) Inspect and re-seal all roof penetrations
- (R) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection. Add temporary edge flashings as required
- (S) Repair flashing / provide temporary repairs at chimney and roof interface

VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | OK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Restoration  
Details

SHEET

A8.1





21 KITCHEN 108  
TO NORTH  
SCALE: N/A



20 PORCH 107  
NORTH WALL  
SCALE: N/A



19 PORCH 107  
TO SOUTH  
SCALE: N/A

GENERAL NOTES:

Scope of Work  
Stabilize and repair existing perimeter foundation and floor framing system, repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-sued. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL: - See Floor Plan Sheet A1.0

SIDING AND TRIM GENERAL NOTES:

1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.
3. Remove all exterior cabling, wiring, drain and vent piping. Coordinate with Owner's telecom provider to reroute prior to demo of exterior cabling. Provide temporary wiring and piping as required to keep systems functioning.
4. Photograph siding conditions prior to and during removals for record and to assist in repair work and re-installation. Remove exterior materials only as required to repair framing and other tasks related to leveling work.
5. Contact the Architect during siding and water table removal to review unanticipated conditions.
6. Store all material to be salvaged for reuse and for patterns inside the building as agreed to with Owner. Store on blocking or other frames as appropriate to keep from twisting and warping. Mark boards for original location on the building exterior.
7. Remove window head trim and provide access for new z flashing installation. Provide new window head flashing to be detailed.
8. Provide half-round gutters and round downspouts. Review downspout locations prior to fabrication. Provide splash blocks and flexible drains as required to divert water away from foundations.
9. Provide access doors to crawl space as shown

PAINTING GENERAL NOTES:

1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system. Comply with paint system prep and application specifications and other requirements.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

BUILDING ELEVATIONS KEYED NOTES:

- (A) Demolish existing deck.
- (B) Remove porch structure, repair and reinstall siding as required to match assumed original pattern. Remove existing screen door and fix existing door in place.
- (C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D) Level and repair porch.
- (E) Provide new column base trim to be detailed.
- (F) Provide new wood skirt and water table as required to match assumed historic profiles, to be detailed.
- (G) Provide allowance for accessible concrete ramp to front entry porch.
- (H) Repair porch framing, replace existing columns and deck, per structural drawings.
- (I) Remove ac compressor and reconnect at a serviceable location
- (J) Remove wall ac unit, patch and repair framing and siding to match existing adjacent design.
- (K) Remove light pole and supply as required
- (L) Clean joint between masonry and siding, repair wood and reseat. Provide backer rod as required.
- (M) Provide access door to crawl space

- (N) Replace missing and damaged roof shingles
- (O) Patch and repair modified bitumen roofing and flashings.
- (P) Inspect and repair all ridge and cap shingles, replace as needed to match existing.
- (Q) Inspect and re-seal all roof penetrations
- (R) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection. Add temporary edge flashings as required
- (S) Repair flashing / provide temporary repairs at chimney and roof interface

VINCENT P. HAUSER  
ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight  
House

5400 Freidrich Ln.  
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW  
ONLY AND NOT INTENDED FOR CONSTRUCTION,  
OR PERMIT PURPOSES. THEY ARE PREPARED  
BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser January 2020

REVISIONS

| No. | Issue    | Date       |
|-----|----------|------------|
| 1   | Revision | 12/04/2018 |
| 2   | Revision | 02/05/2019 |
| 3   | Revision | 08/05/2019 |
| 4   | Revision | 08/30/2019 |
| 5   | Revision | 10/08/2019 |
| 6   | Revision | 12/07/2019 |
| 7   | Revision | 01/28/2020 |
|     |          |            |
|     |          |            |

SHEET INFORMATION

|            |            |
|------------|------------|
| Date       | 01/28/2020 |
| Job Number |            |
| Scale      |            |
| Drawn      | CK         |
| Checked    | VPH        |
| Approved   | VPH        |

TITLE

Restoration  
Details

SHEET

A8.2