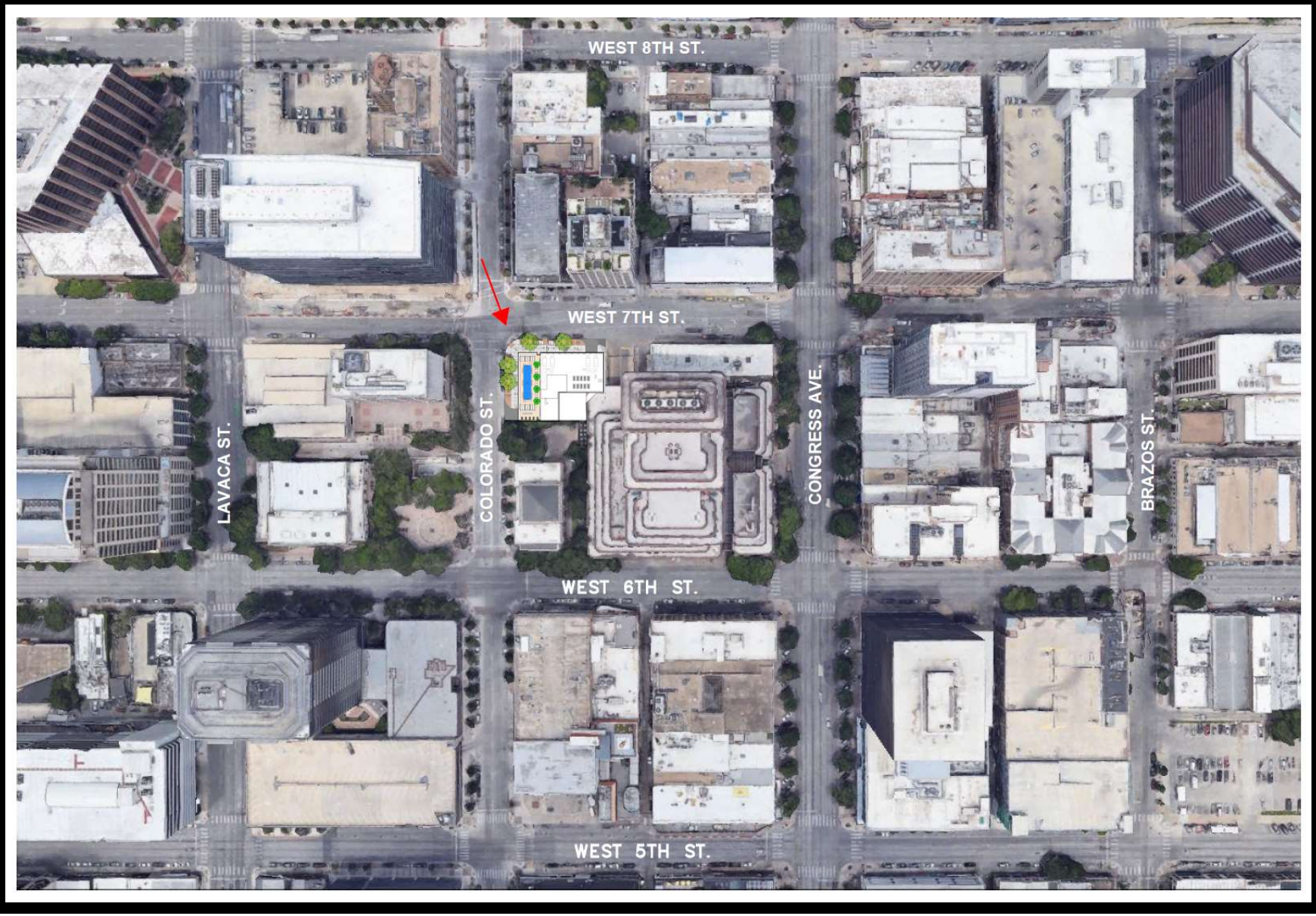
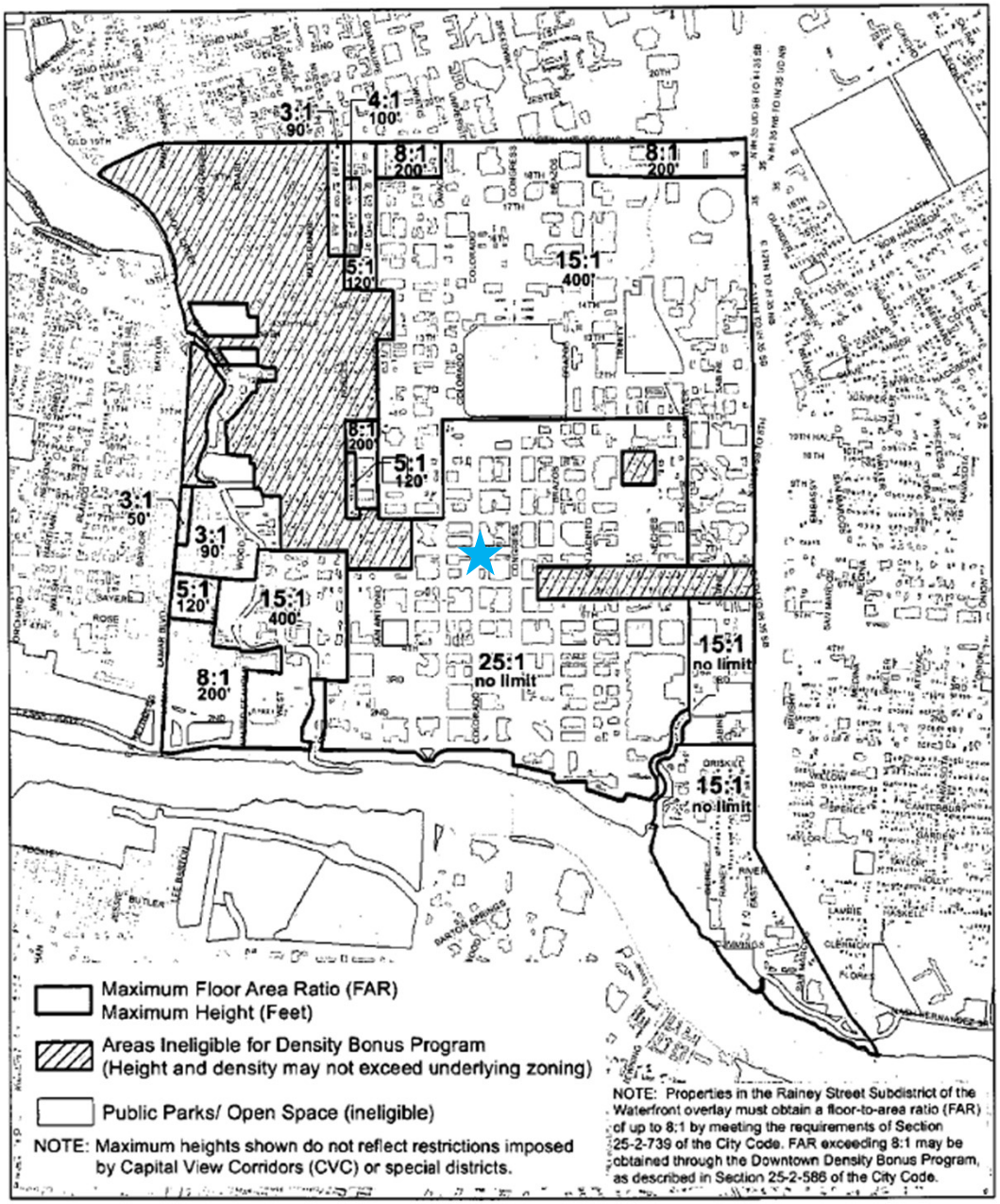
617 Colorado

Design Commission

September 30, 2020

Aerial – Site Vicinity





Downtown Density Bonus Program - Eligibility, Floor Area Ratio (FAR) and Height Map

Figure 2: Page 1

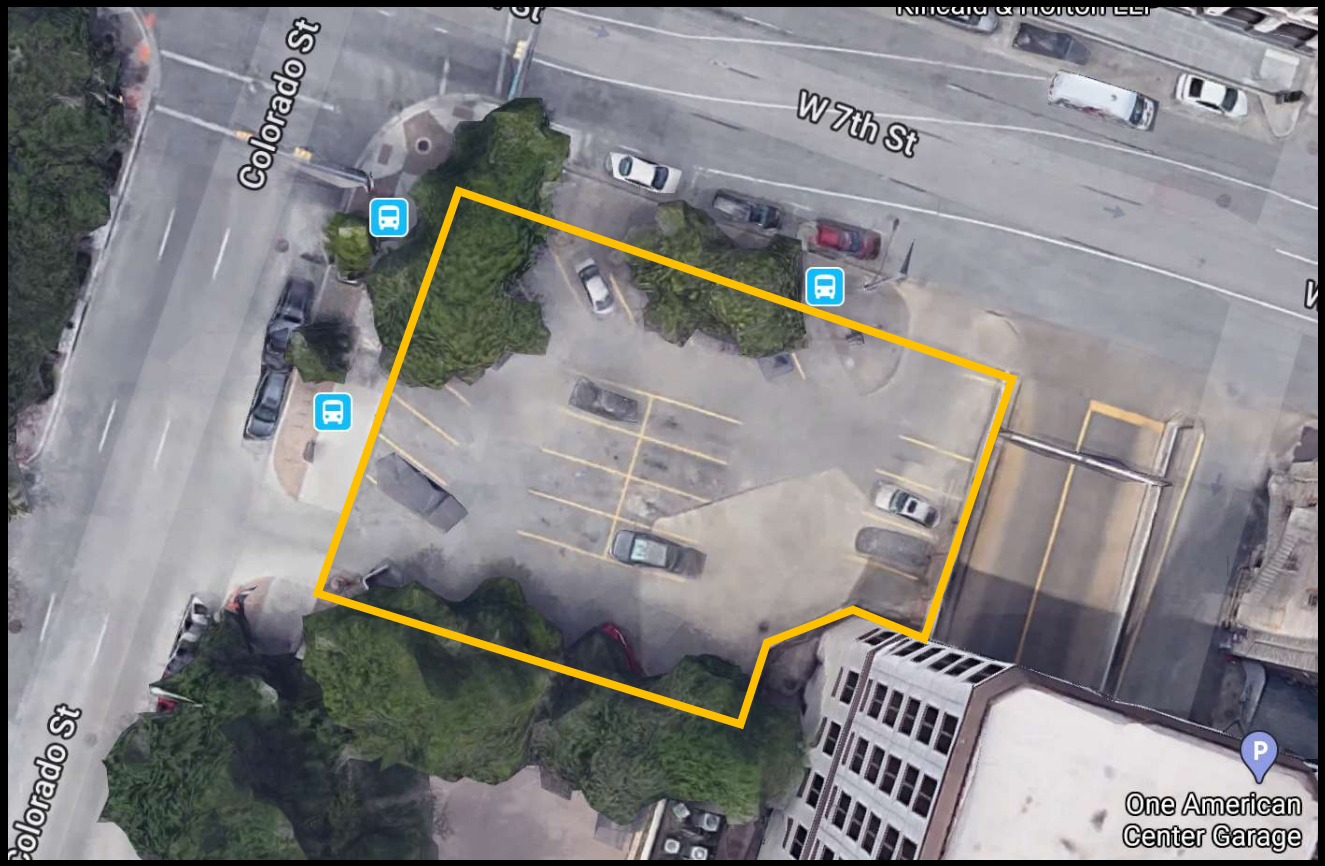
PLANNING AND DEVELOPMENT REVIEW DEPARTMENT

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. It has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

0 0.125 0.25 0.5 Miles

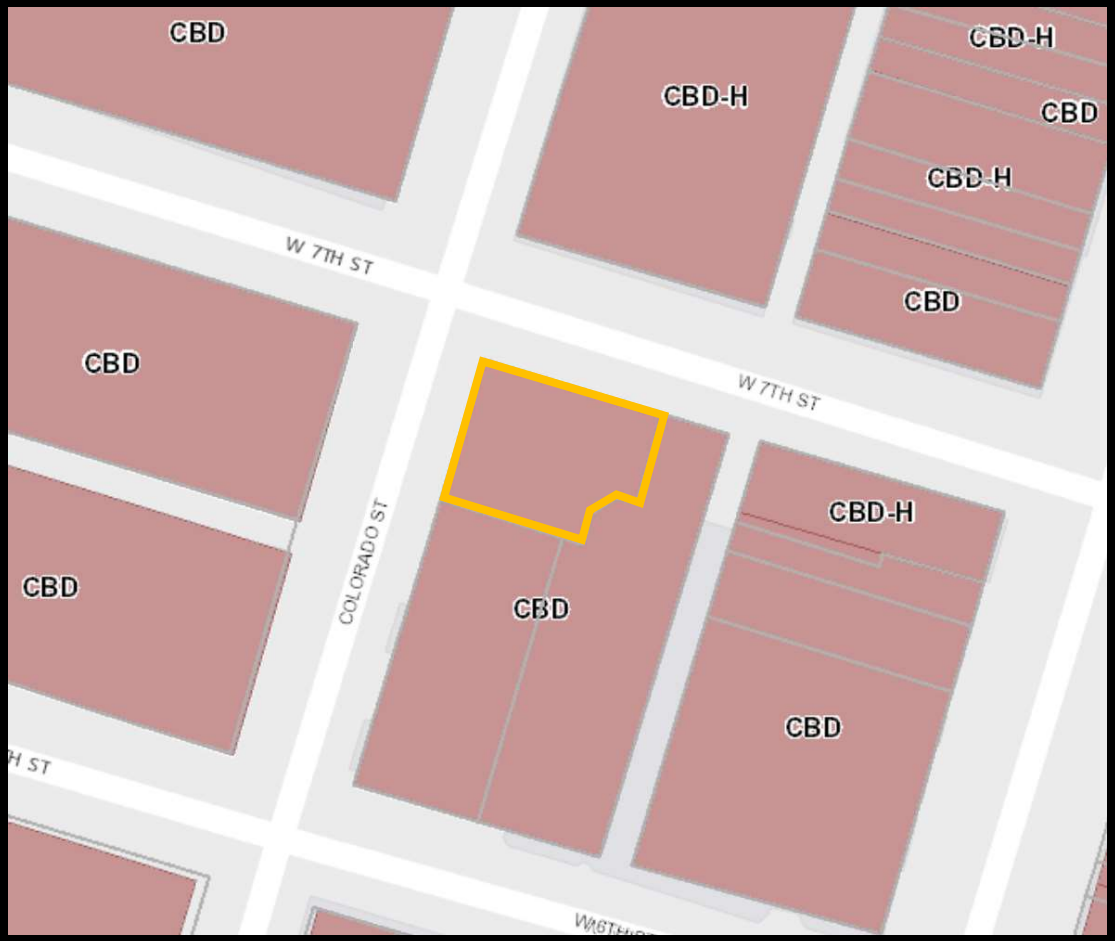
Current Use

Surface parking lot.



Zoning

CBD


CBD
CBD-H
CBD-H
CBD
CBD-H
CBD
W 7TH ST
CBD
W 7TH ST
CBD
COLORADO ST
CBD-H
CBD
CBD

Property Facts

Address: 617 Colorado Street

Lot Size: 0.23 acres / 10,018 square feet

CBD Entitled Height: Unlimited

Proposed Height: 192 feet / 17 floors

CBD Zoning Entitled FAR: 8:1

Proposed DDBP FAR: 13:1

Project Facts

132,655 total Gross Square Feet (GSF)

- Bonus Area = 52,511 GSF

Hotel: 119,401 GSF

- Includes lobby space
- 344 rooms

Cocktail Lounge/Community Amenity Space: 4,827 GSF

Outdoor Terrace: 482 SF

Gatekeeper Requirements

1. 2-Star AE Green Building
   - Project plans to achieve 3-Star AE Green Building Status
2. Great Streets Compliance
3. Substantial Compliance with Downtown Design Guidelines

WEST 7TH STREET
ONE-WAY
COLORADO STREET
(1) CAP METRO BUS SHELTER
(1) COA BIKE RACKS 710S-3 TYP.
EXISTING TRAFFIC LIGHT
COA TRASH RECEPTACLE 432S-8A TYP.
COA TRASH RECEPTACLE 432S-8B TYP.
FIRE HYDRANT
EXISTING STREET LIGHT
BUS STOP SIGN
EXISTING ELECTRICAL BOX. RE:CIVIL FOR FURTHER INFORMATION.
(2) COA PAVER TREE GRATE DETAIL 437S-1 TYP.
GREAT STREETS TREE (2) 5" CALIPER TEXAS RED OAK TREE CANOPY HEIGHT 14-16 FT
(2) COA BENCH DETAIL432S-9A TYP.
(5) COA BIKE RACKS 710S-3 TYP.
EXISTING ELECTRICAL BOX. RE:CIVIL FOR FURTHER IN-FORMATION.
COA SIDEWALK AMENITY PAVER MIN 8' ZONE 480S-5 TYP.
22'-0" TYP.
COA SIDEWALK AMENITY PAVER MIN 8' ZONE, 480S-5 TYP
(2) COA BENCH DETAIL432S-9A TYP.
(3) COA PAVER TREE GRATE DETAIL 437S-1 TYP.
GREAT STREETS TREE (3) 5" CALIPER DARKE ELM TREE TREE CANOPY HEIGHT 14-16 FT
(1) COA BIKE RACKS, 710S-3 TYP.
EXISTING STREET LIGHT
COA DRIVEWAY WITH PAVER APRON. 433S-2B TYP.
(2) COA BIKE RACKS, 710S-3 TYP.
4'-0"
8'-0" AMENITY ZONE
10'-0" CLEAR ZONE
PASSENGER LOADING AND DROP OFF ZONE 20'-0"
22'-0" TYP.
8'-0" AMENITY ZONE
4'-0"
BUS STOP ZONE 41'-8"
3'-0" TYP.
REQUIRED CLEARANCE ZONE FOR AUSTIN ENERGY. RE: CIVIL AND ARCH
FUEL FILL STATION
WALK-OFF MATT
FIRE COMMAND 217 SF
GENERATOR
TRANSFORMER VAULT
VESTIBULE
LOBBY
CORRIDOR
UP
DN
ELEV 5
ELEV 6
ELEV 3
ELEV 4
ELEVATOR LOBBY
ELECTRICAL DISCONNECT
TRASH / RECYCLE
VESTIBULE 1
BOH
STAIR 1
FIRE PUMP
GARAGE
STAIR 2
0' 4' 8' 16'
N

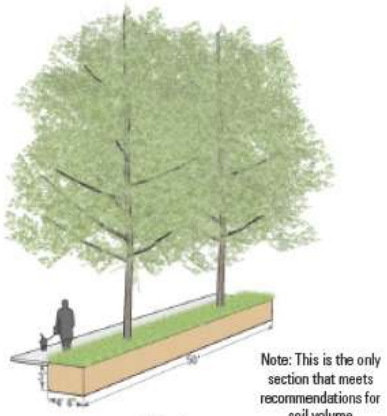
Urban Forests

Street Trees

120 cf
Street Type A - Option A - 12 ft Trees

193 cf
Street Type C, D, E - 15 ft Trees

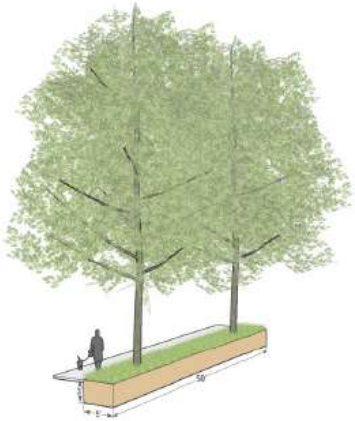
324 cf
Street Type B - PUD & Option A - 30 ft Trees



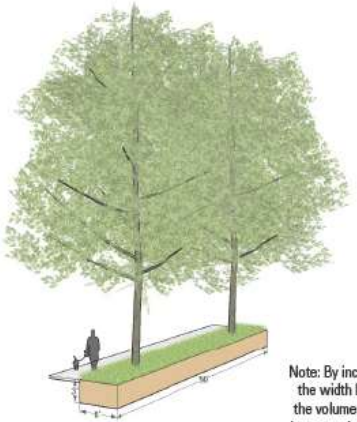
Note: This is the only section that meets recommendations for soil volume

675 cf
Street Type F1 / F2 - 40 ft Trees

DMS - Landscape area dimensions shown in sections provided by DMS



750 cf
Ideal - Option A - 45 ft Trees



Note: By increasing the width by 1 ft the volume of soil increases by 225 cf

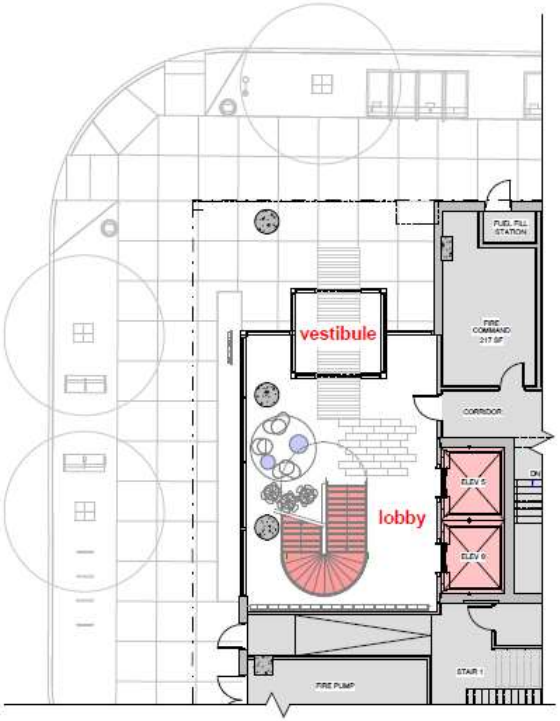
900 cf
Ideal - Option B - 55 ft Trees

Recommended landscape area dimensions for maximum tree health

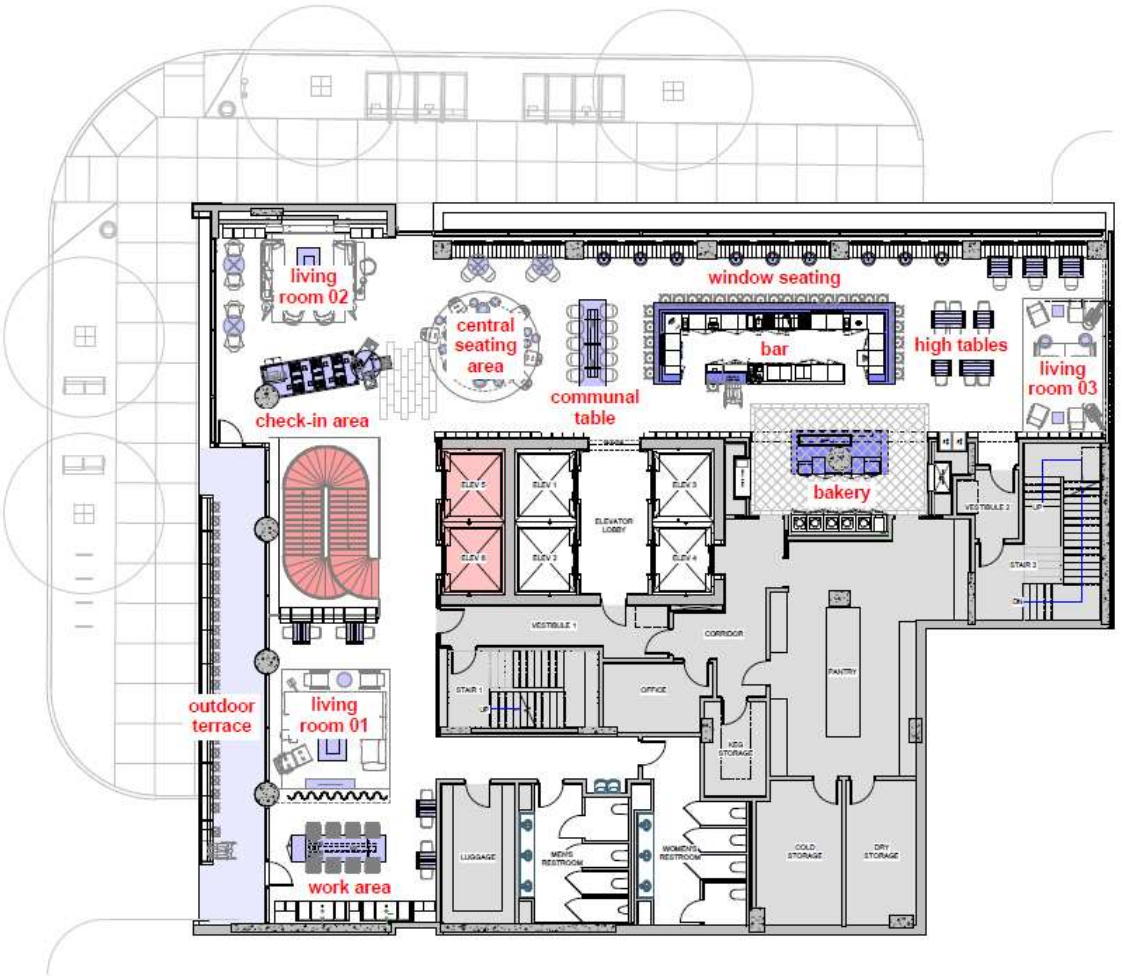
Benefits of Urban Forests

- 700 - 1200 cf of soil per tree recommended for healthy growth[1]
- Street trees with 1000 cf of soil can absorb up to 20,000 gallons of storm water in 1 hour[2]

1: University of Florida IFAS Extension; Athens-Clark Country, GA Planning Department; City of Emeryville, CA Planning Department; Cleveland Species Planting Guide; North Carolina Planning Manual;
2: The Southern Group of State Foresters; Human-Environment Research Laboratory at University of Illinois at Urbana Champaign

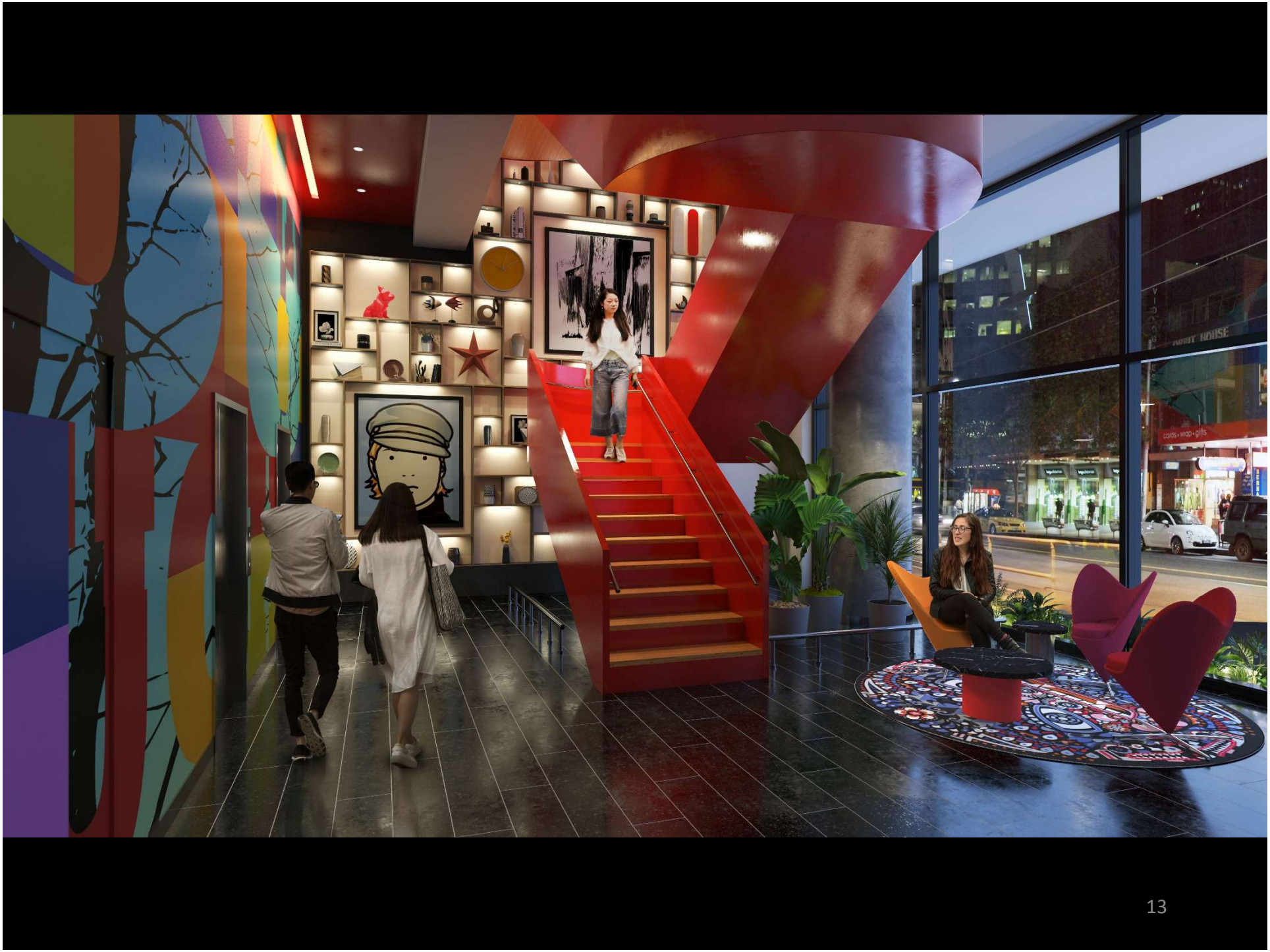


1 LEVEL 01 PARTIAL PLAN



2 LEVEL 02 PLAN

617 Colorado Hotel - Public Space Floorplans



working day passes
free passes for teachers:
• 5 passes each day
• must show ID as an Austin area teacher
working day pass includes:
• superfast free Wi-Fi
• meeting rooms at a discounted hourly rate (if available)
• water with unlimited free refills from the bar
• access to events on the day

Area Wide Guidelines

AW.1	Create dense development	☑
AW.2	Create mixed-use development	☑
AW.3	Limit development which closes Downtown streets	☑
AW.4	Buffer neighborhood edges	☑
AW.5	Incorporate civic art in both public and private development	☑
AW.6	Protect important public views	☑
AW.7	Avoid historical misinterpretations	☑
AW.8	Respect adjacent historic buildings	☑
AW.9	Acknowledge that rooftops are seen from other buildings and the street	☑
AW.10	Avoid the development of theme environments	☑
AW.11	Recycle existing building stock	**N/A**

NORTH VIEW

AW 1: Create Dense Development
AW 2: Create Mixed-Use Development
AW 3: Limit Development Which Closes Downtown Streets
AW 4: Buffer Neighborhood Edges
AW 5: Incorporate Civic Art in Public and Private Development
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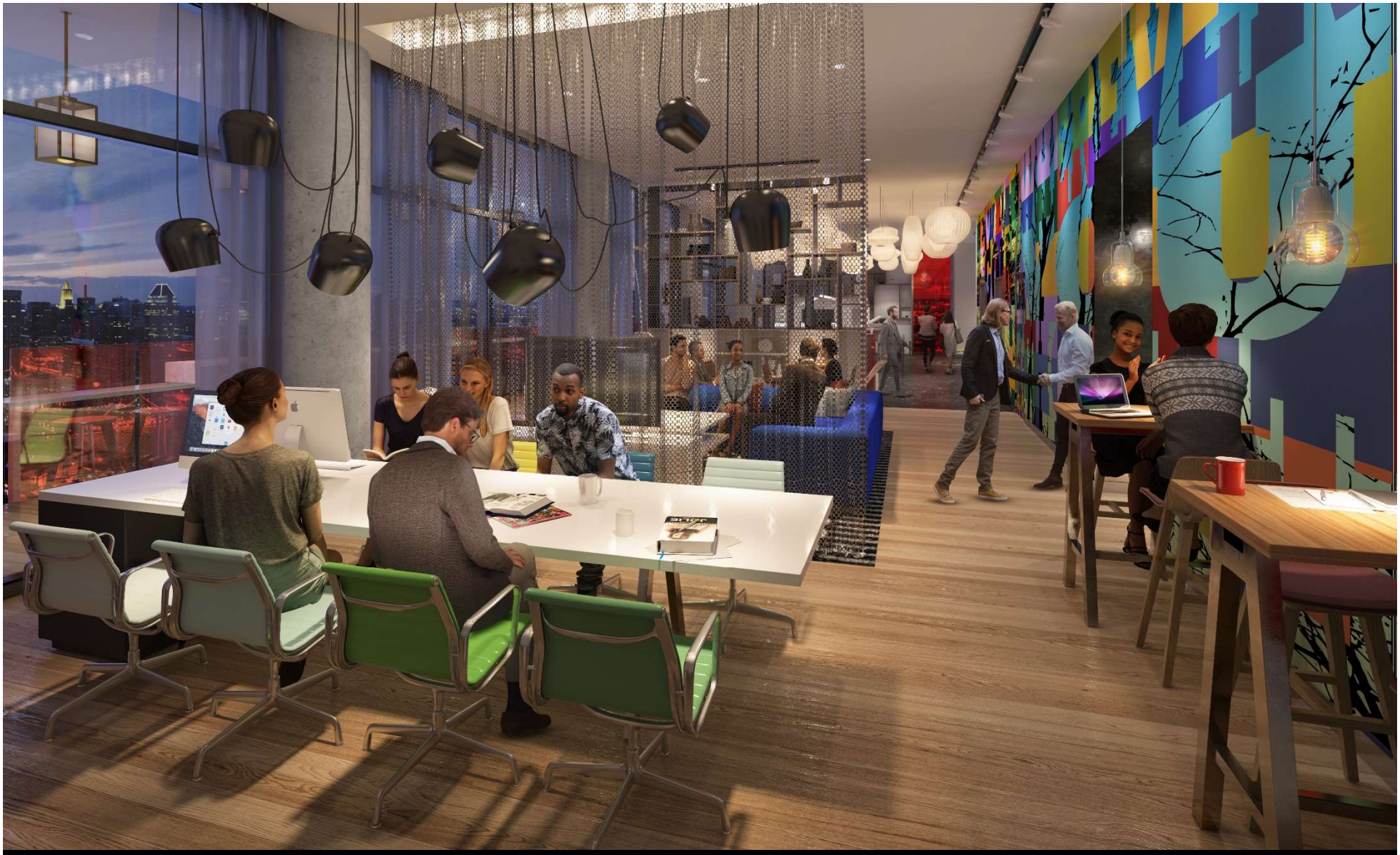

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Public Streetscape Guidelines

PS.1	Protect the pedestrian where the building meets the street	☑
PS.2	Minimize curb cuts	☑
PS.3	Create the potential for two-way streets	☑
PS.4	Reinforce pedestrian activity	☑
PS.5	Enhance key transit stops	☑
PS.6	Enhance the streetscape	☑
PS.7	Avoid conflicts between pedestrian and utility equipment	☑
PS.8	Install street trees	☑
PS.9	Provide pedestrian-scaled lighting	☑
PS.10	Provide protection from cars/promote curbside parking	☑
PS.11	Screen mechanical and utility equipment	☑
PS.12	Provide generous street-level windows	☑
PS.13	Install pedestrian-friendly materials at street level	☑

PS 1: Protect The Pedestrian Where The Building Meets The Street
PS 2: Minimize Curb Cuts
PS 3: Create A Potential For Two-way Streets
PS 4: Reinforce Pedestrian Activity
PS 5: Enhance Key Transit Stops
PS 6: Enhance The Streetscape
PS 7: Avoid Conflicts Between Pedestrians And Utility Equipment
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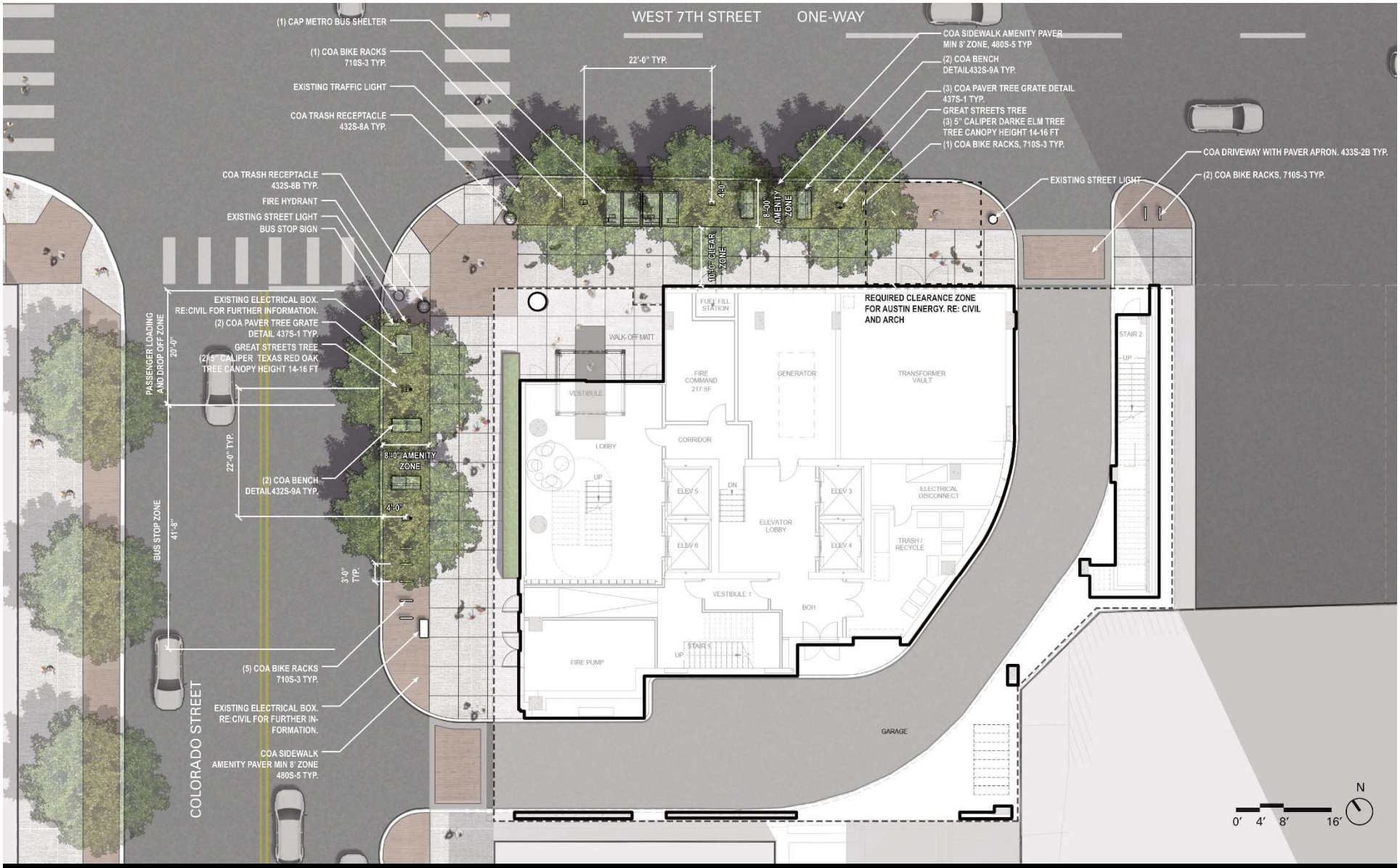
Plazas and Open Space Guidelines

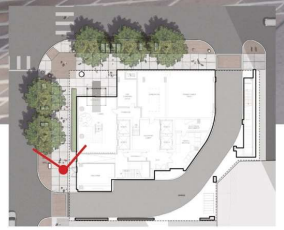
PZ.1	Treat the four squares with special consideration	**N/A**
PZ.2	Contribute to an open space network	**N/A**
PZ.3	Emphasize connections to parks and greenways	**N/A**
PZ.4	Incorporate open space into residential development	**N/A**
PZ.5	Develop green roofs	**N/A**
PZ.6	Provide plazas in high use areas	**N/A**
PZ.7	Determine plaza function, size, and activity	**N/A**
PZ.8	Respond to the microclimate in plaza design	**N/A**
PZ.9	Consider views, circulation, boundaries, and subspaces	**N/A**
PZ.10	Provide an appropriate amount of plaza seating	**N/A**
PZ.11	Provide visual and spatial complexity in public spaces	☑
PZ.12	Use plants to enliven urban spaces	☑
PZ.13	Provide interactive civic art and fountains in plazas	☑
PZ.14	Provide food service for plaza participants	**N/A**
PZ.15	Increase safety in plazas through wayfinding, lighting, and visibility	**N/A**
PZ.16	Consider plaza operations and maintenance	**N/A**



PZ 11: Provide Visual and Spatial Complexity in Public Spaces

PZ 12: Use Plants to Enliven Urban Spaces

PZ 13: Provide Interactive Civic Art and Fountains



WEST VIEW LOOKING NORTH

PZ 11: Provide Visual and Spatial Complexity in Public Spaces
PZ 12: Use Plants to Enliven Urban Spaces
PZ 13: Provide Interactive Civic Art and Fountains

NORTH VIEW

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NORTHWEST VIEW

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Building Guidelines

B.1	Build to the street	☑
B.2	Provide multi-tenant, pedestrian-oriented, development at the street level	☑
B.3	Accentuate primary entrances	☑
B.4	Encourage the inclusion of local character	☑
B.5	Control on-site parking	☑
B.6	Create quality construction	☑
B.7	Create buildings with human scale	☑

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B 2: Provide Multi-tenant, Pedestrian-Oriented Development At The Street Level
B 3: Accentuate Primary Entrances
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B 5: Control On-Site Parking
B 6: Create Quality Construction
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