



For Office Use Only
Date of Submission: _____

Case #: _____

Historic Preservation Office approval

Date of Approval: _____

Historic Review Application

Property Address: 1703 W 32nd St.

Historic Landmark ☐

Historic District (Local) ☐

National Register Historic District ☒

Historic Landmark or

Historic District Name: Old West Austin

Applicant Name: Frank Jones Jr.

Phone #: 210-870-8985

Email: fr.jones.fj@gmail.com

Applicant Address: 1703 W 32nd St.

City: Austin

State: TX

Zip: 78703

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) Interior Demolition uncovered existing front elevation roof framing is inadequate and sagging. Need to reframe to strengthen and change roof line similar of adjacent homes.	Front Elevation	2x6, 12" LVL beam
2) Install new garage door header and one single garage door where two currently exist.	Front Elevation	Metal/aluminum garage door
3) Install new hardiboard siding and metal roof	Front, Side, and Rear	Hardiboard lap siding, hardi board and batton siding on new gable front above porch

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing and proposed conditions for alterations and additions.

Site Plan ☒

Elevations ☒

Floor Plan ☒

Roof Plan ☒

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒

Detailed view of each area proposed to be modified ☒

Any changes to these plans must be reviewed and approved by the
Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: _____

Date: 10/8/2020

Submit complete application, drawings, and photos to preservation@austintexas.gov. Call (512) 974-3393 with questions.

1703 W. 32nd St.
Jones Residence Renovations

1703 W. 32nd St.
Austin, TX 78703



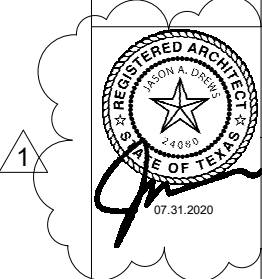
Owner:
Frank Jones

Designer:
Jason Drews, AIA, LEED BD+C
jason@jdad.co
281.797.4230

Structural Engineer:
LONE STAR STRUCTURAL, LLC
WWW.LONESTARSTRUCTURAL.COM
TEXAS REGISTERED FIRM F-20642
P: 210.827.5509

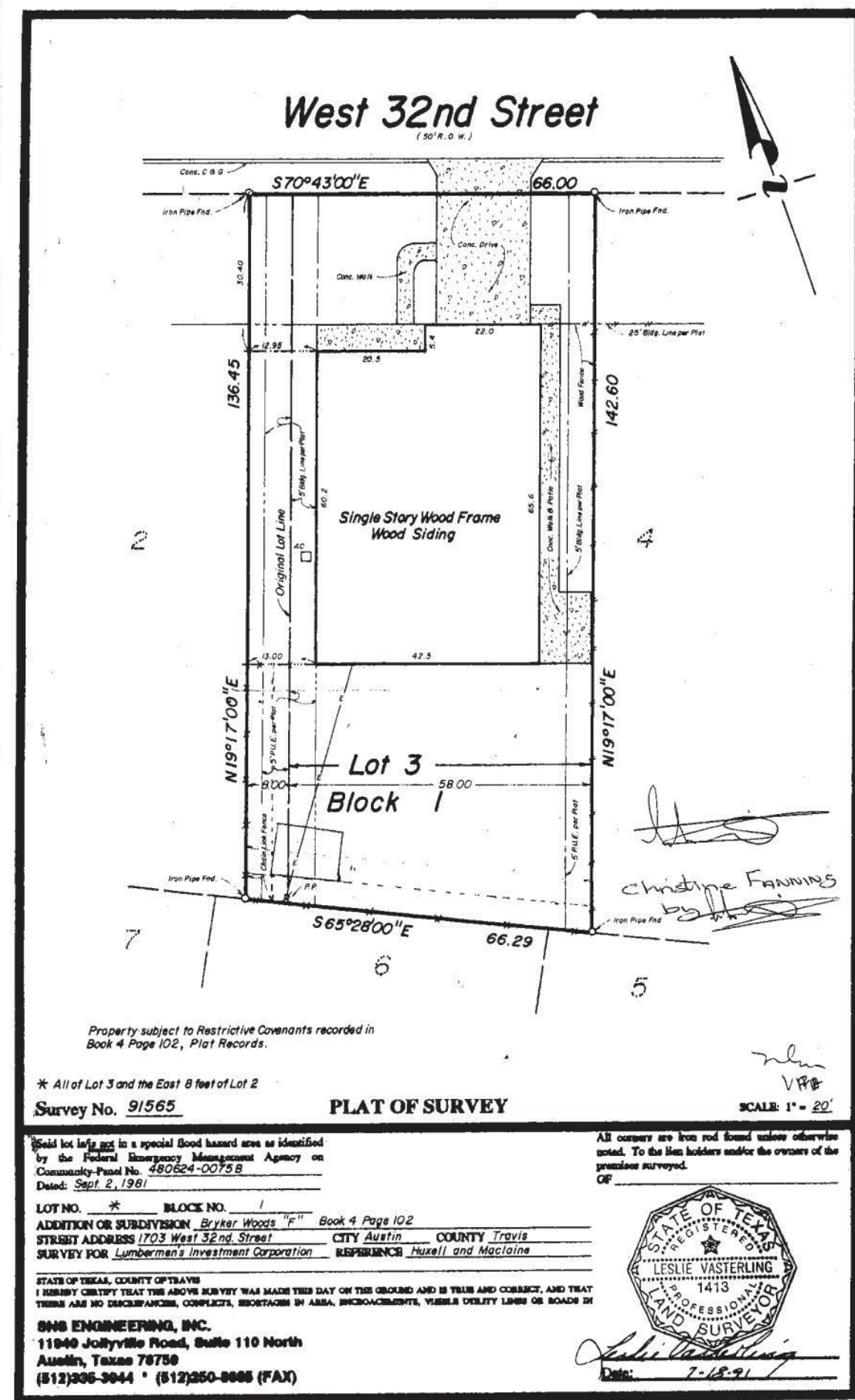
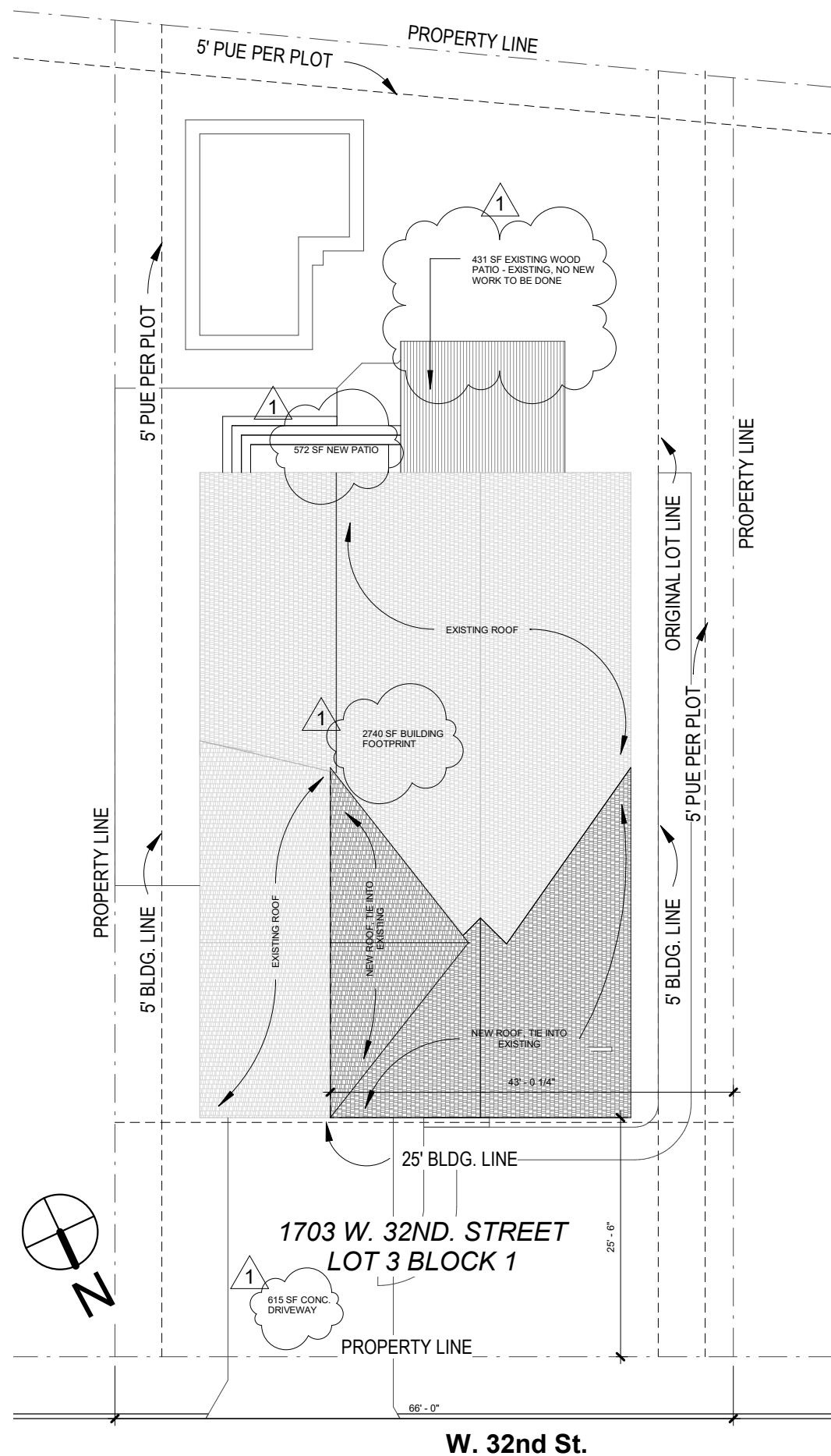
General Contractor :
TBD

Sheet Index	
Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	ARCHITECTURAL SITE PLAN
A1.1	FLOOR PLAN - LEVEL 1
A3.1	RCP - LEVEL 1
A4.1	BUILDING SECTIONS AND DETAILS
A5.1	INTERIOR ELEVATIONS
A6.1	EXTERIOR ELEVATIONS
A7.1	DOORS + WINDOWS
A11.1	3D REFERENCE VIEWS
A11.2	EXISTING PHOTOS
AD1	DEMO PLAN - LEVEL 1
S1.0	GENERAL FRAMING NOTES
S2.0	EXISTING AND DEMO PLAN
S3.0	FND. AND FRAMING PLAN
S4.0	DETAILS



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SURVEY INCLUDED FOR REFERENCE ONLY.
ORIGINAL COPY OF SURVEY TO BE PROVIDED
BY OWNER.

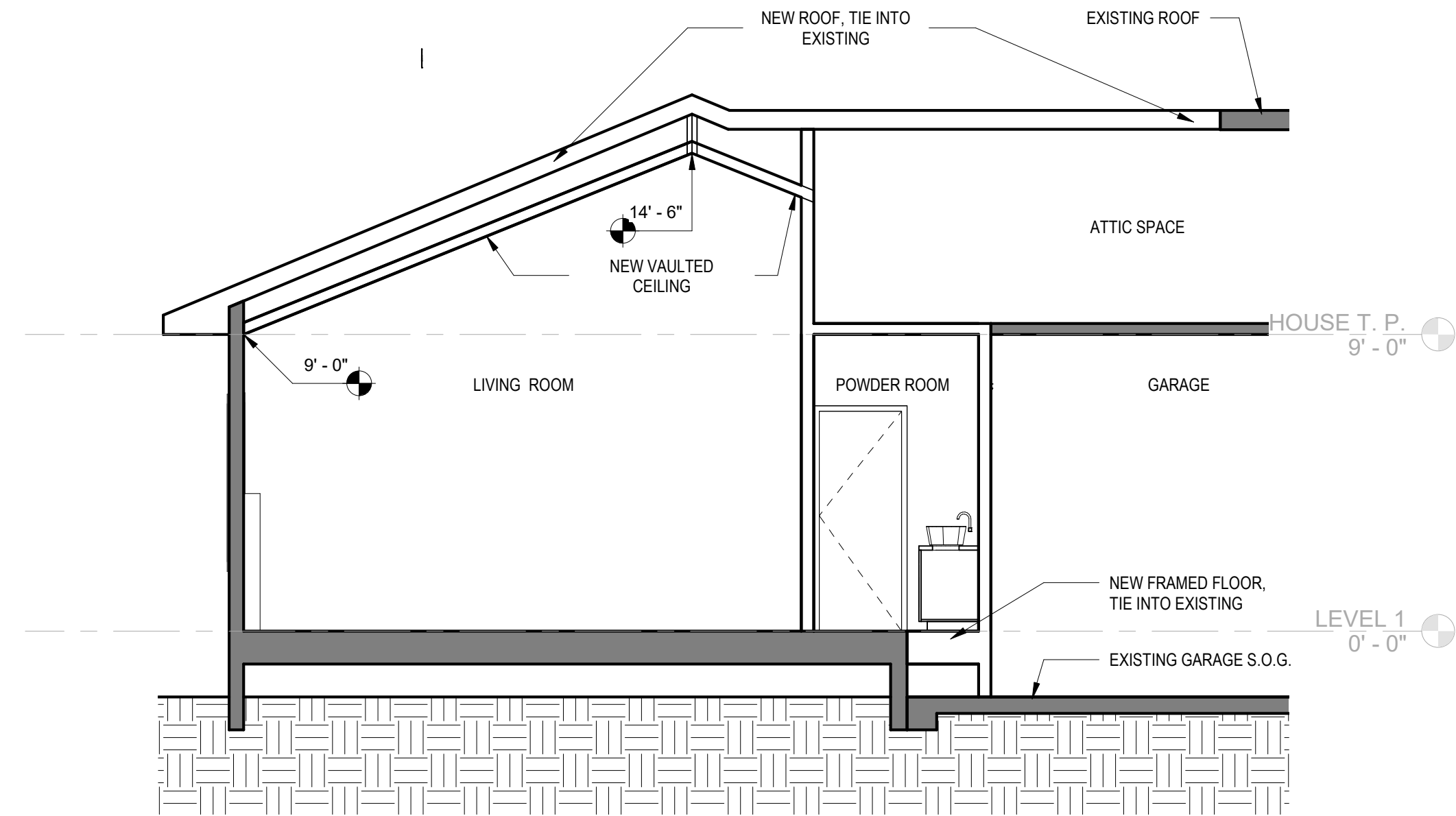
1 RENOVATIONS -SITE/ROOF PLAN
1/16" = 1'-0"

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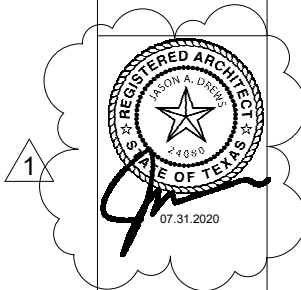


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1703 W 32nd St.
A1.0 ARCHITECTURAL SITE PLAN
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1 LIVING ROOM/KITCHEN SECTION
1/4" = 1'-0"



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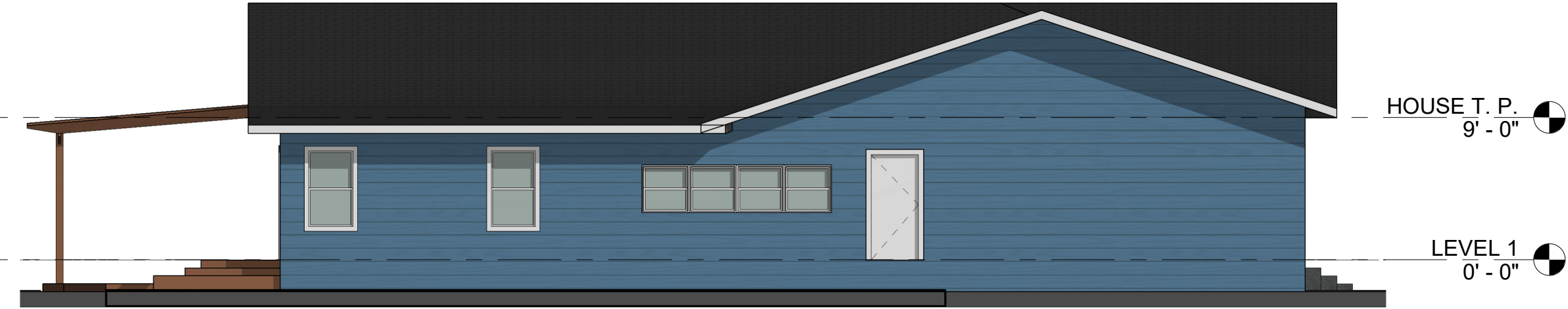
1703 W 32nd St.
A4.1 BUILDING SECTIONS AND DETAILS

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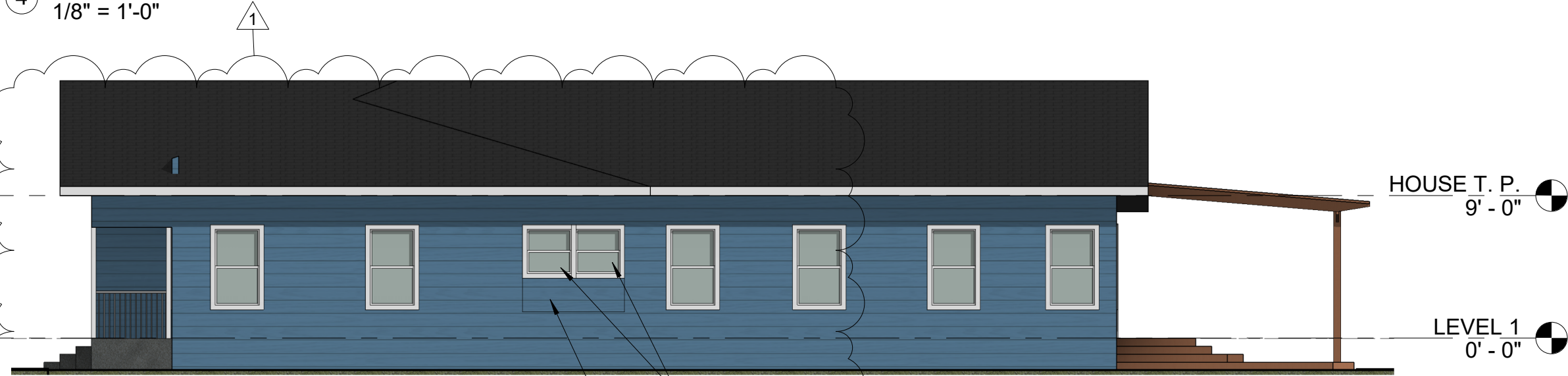
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07.02.2020

NO NEW WORK OR MODIFICATIONS TO THIS ELEVATION. SHOWN FOR REFERENCE ONLY.



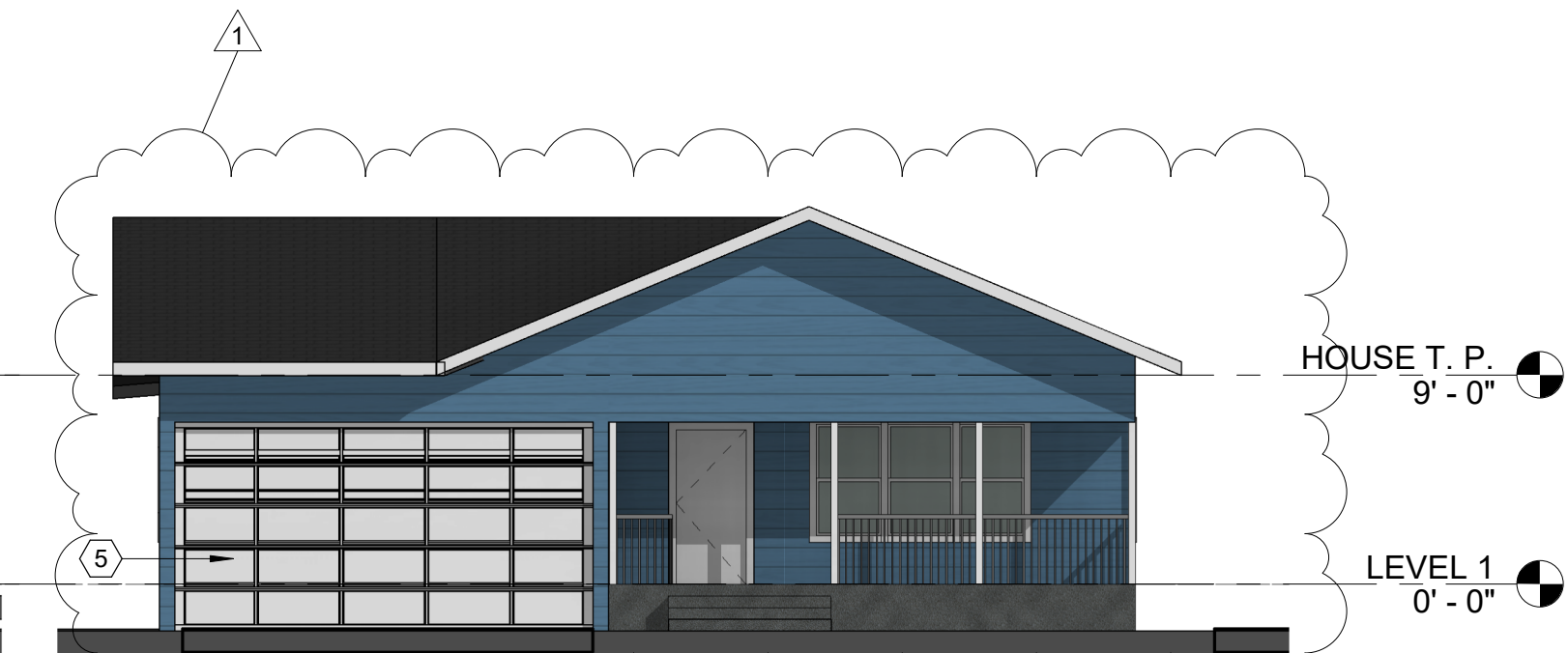
4 WEST
1/8" = 1'-0"



3 EAST
1/8" = 1'-0"



1 NORTH
1/8" = 1'-0"



2 SOUTH
1/8" = 1'-0"

Exterior Legend	
1	New Window, RE: Floor Plan
2	New Door, RE: Floor Plan
3	New infill portion of exterior wall assembly, Match adjacent existing.
4	NEW PRESSURE TREATED WOOD DECK, FRAME INTO EXISTING, MATCH EXISTING
5	NEW 18'X9' GARAGE DOOR

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REGISTERED ARCHITECT

JASON A. DRISB

24690

STATE OF TEXAS

07.31.2020

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1703 W 32nd St.

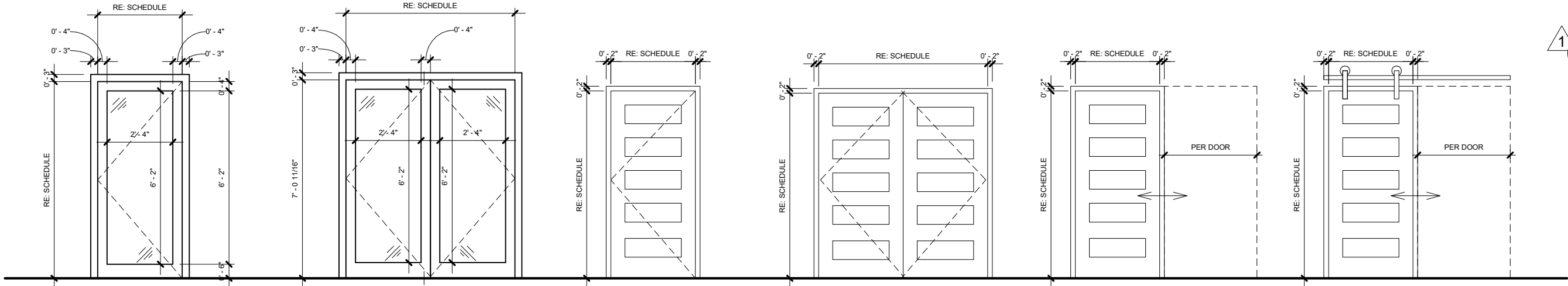
A6.1

EXTERIOR ELEVATIONS

PROPERTY OF JDAD, PLLC

Door Schedule				
Door Number	Height	Width	Type Mark	Comments
1	6' - 8"	6' - 0"	A2	
2	6' - 8"	2' - 8"	D	
3	6' - 8"	2' - 8"	D	
4	6' - 8"	3' - 6"	C	
5	6' - 8"	3' - 6"	C	
6	7' - 0"	3' - 0"	A1	
7	6' - 8"	3' - 0"	A1	HALF LITE GLASS
8	6' - 8"	5' - 0"	B2	
9	6' - 8"	2' - 6"	B	
10	6' - 8"	2' - 6"	B	
11	6' - 8"	2' - 6"	B	

Window Schedule			
Window Type	Height	Width	Comments
W1	5' - 0"	3' - 0"	
W2	3' - 0"	3' - 0"	



A1

EXTERIOR SOLID WOOD DOOR
W/ INSULATED GLASS PANEL

HARDWARE:
BY OWNER

A2

EXTERIOR SOLID WOOD
DOUBLE DOOR W/ INSULATED
GLASS PANEL.

HARDWARE:
BY OWNER

B1

INTERIOR 5 PANEL DOOR.

HARDWARE:
BY OWNER

B2

INTERIOR 5 PANEL DOUBLE
DOOR.

HARDWARE:
BY OWNER

C

INTERIOR 5 PANEL
POCKET DOOR.

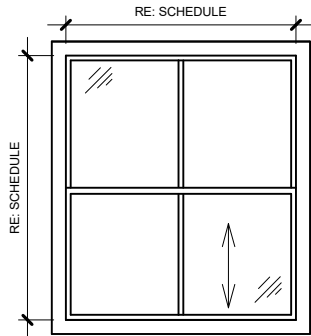
HARDWARE:
BY OWNER

D

INTERIOR 5 PANEL
SURFACE MOUNTED BARN
DOOR.

HARDWARE:
BY OWNER

1 DOOR TYPES
1/4" = 1'-0"



W1/W2

EXTERIOR VINYL WINDOW W/
INSULATED GLASS.

EXTERIOR: Match Existing Trim
INTERIOR: Match Existing Trim

2 WINDOW TYPES
1/4" = 1'-0"

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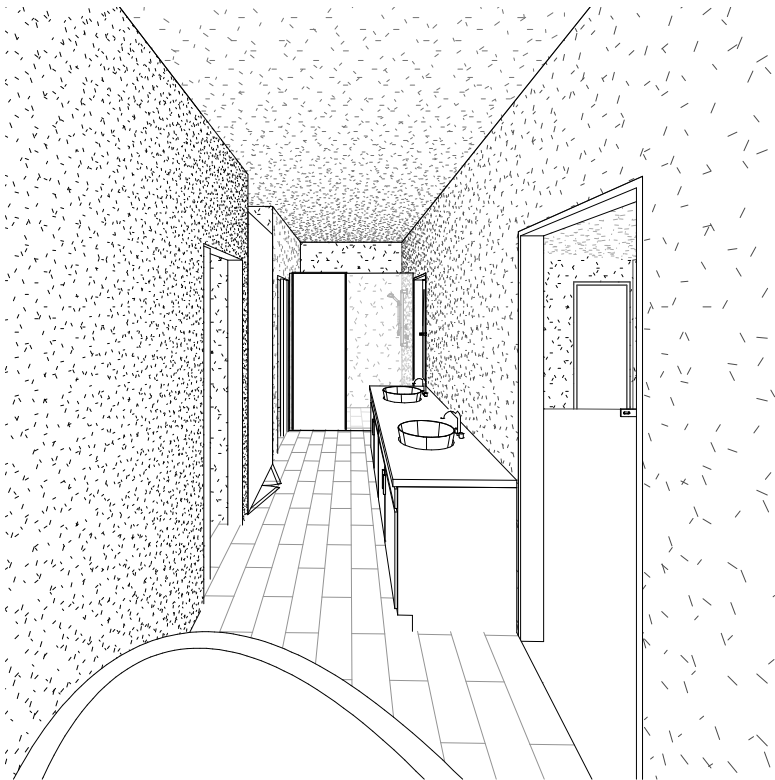


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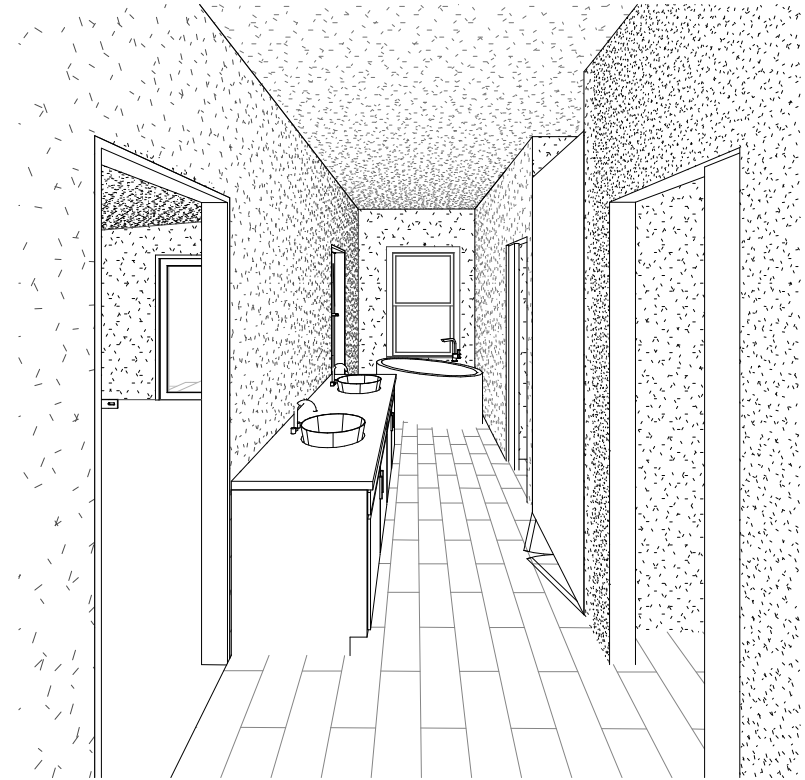
1703 W 32nd St.
A7.1 DOORS + WINDOWS
PROPERTY OF JDAD, PLLC



1 3D View 1



2 3D View 2



3 3D View 3

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1703 W 32nd St.
A11.1 3D REFERENCE VIEWS

PROPERTY OF JDAD, PLLC



EXISTING PHOTO FROM NORTH SIDE OF HOUSE



EXISTING PHOTO FROM SOUTH SIDE OF HOUSE



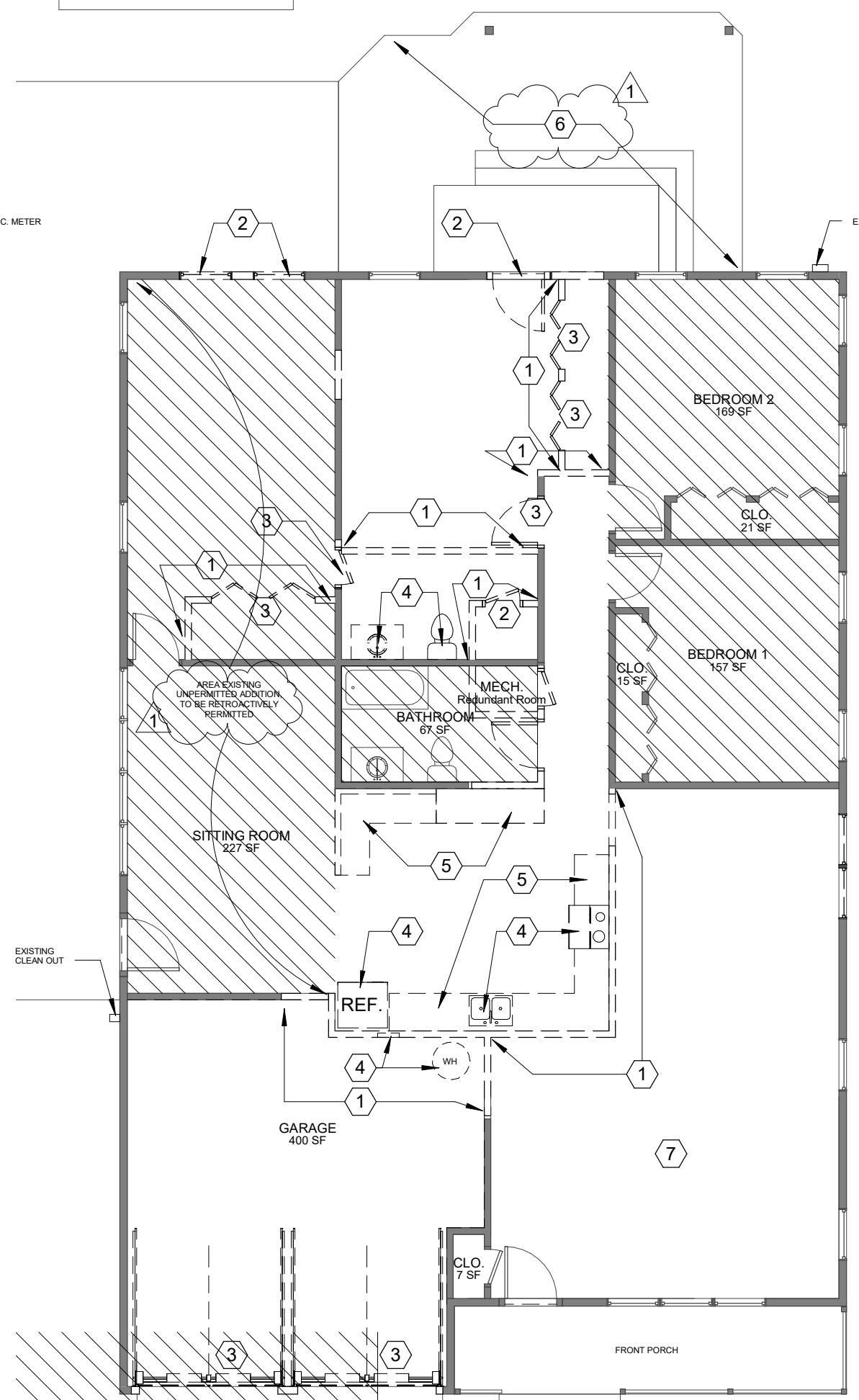
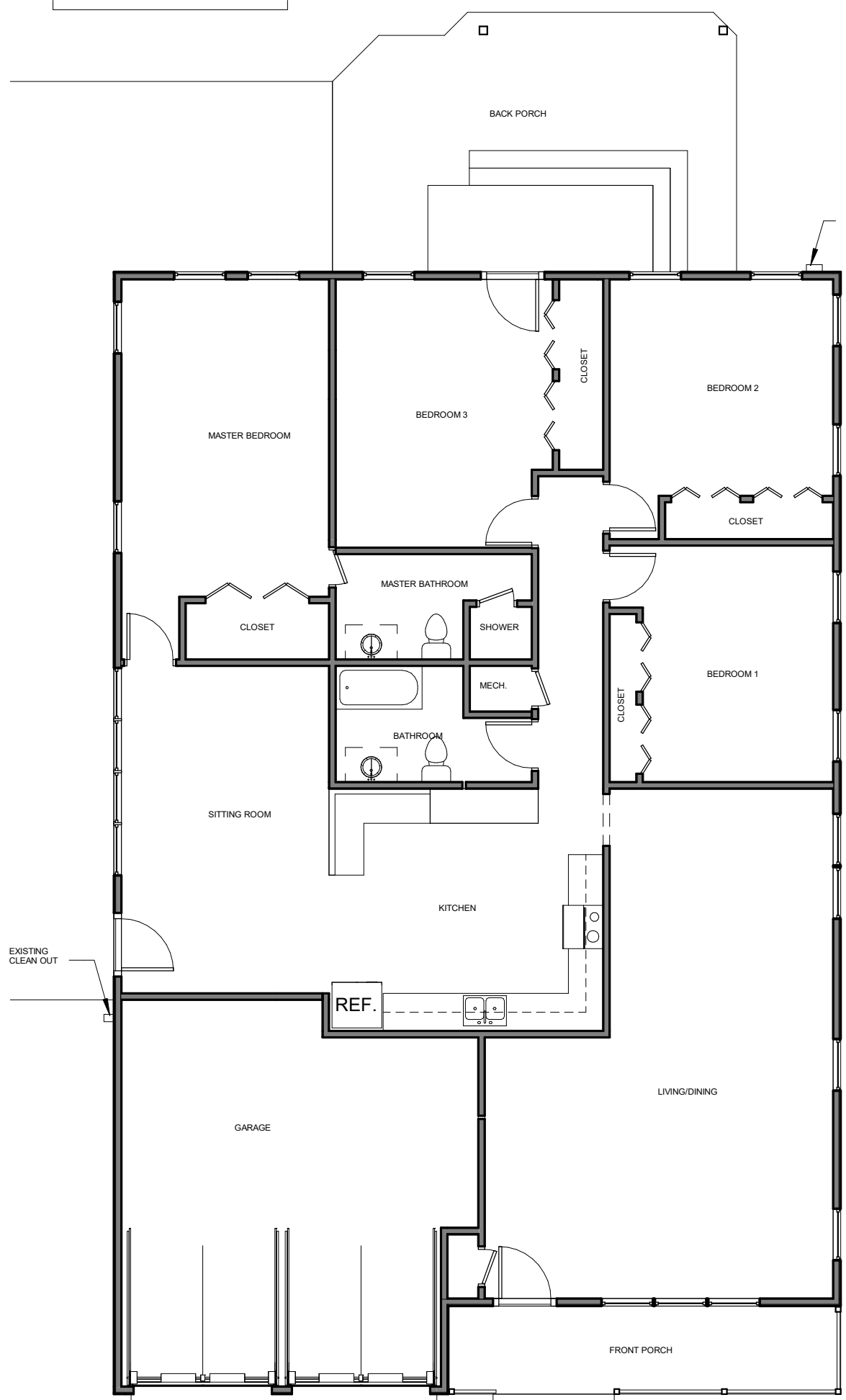
EXISTING PHOTO FROM SOUTHEAST CORNER OF HOUSE



EXISTING PHOTO FROM NORTHWEST CORNER OF HOUSE



EXISTING PHOTO FROM NORTHEAST CORNER OF HOUSE



Demolition Legend + Keynotes

- Area Not in Scope
- Existing Wall to Remain
- New Wall to Remain
- Existing Wall to be Demolished

1 Completely remove existing interior wall, prep adjacent walls, floors and ceilings for patching as needed

2 Completely remove existing exterior window/door. Prep for new window/door installation, or New infill framed new exterior wall, to match adjacent existing.

3 Completely remove existing interior door. Prep for new infill of new interior wall, match adjacent existing wall.

4 Completely remove existing plumbing fixture, cap or reroute any existing supply or drain lines

5 Completely remove existing millwork

6 Remove and Replace existing Deck

7 Demolish existing ceiling and roof in this area. Prep for new Gabled Roof and ceiling. RE: Roof Plan and Ceiling Plan

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07.02.2020

REGISTERED ARCHITECT

JASON A. DAVIS

24689

STATE OF TEXAS

07.31.2020

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1703 W 32nd St.

AD1 DEMO PLAN - LEVEL 1

PROPERTY OF JDAD, PLLC

2 FLOOR PLAN - EXISTING
1/8" = 1'-0"

1 PHASE 1 DEMO - LEVEL 1
1/8" = 1'-0"