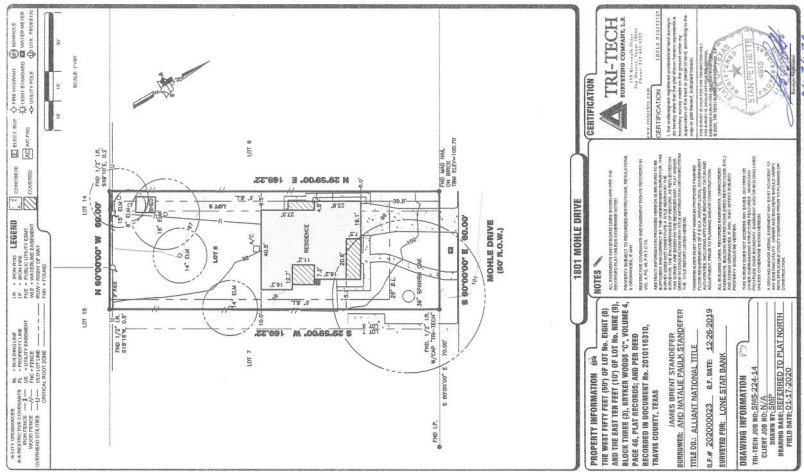
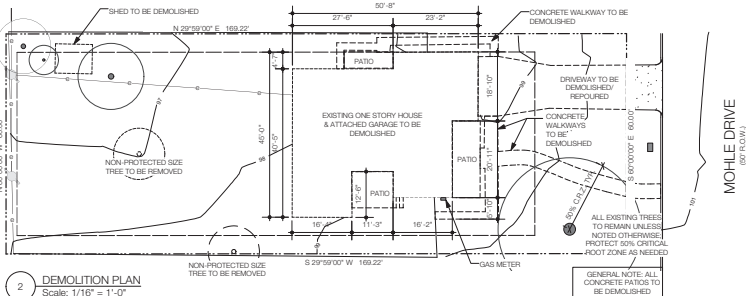




1 SURVEY
Scale: Actual Size

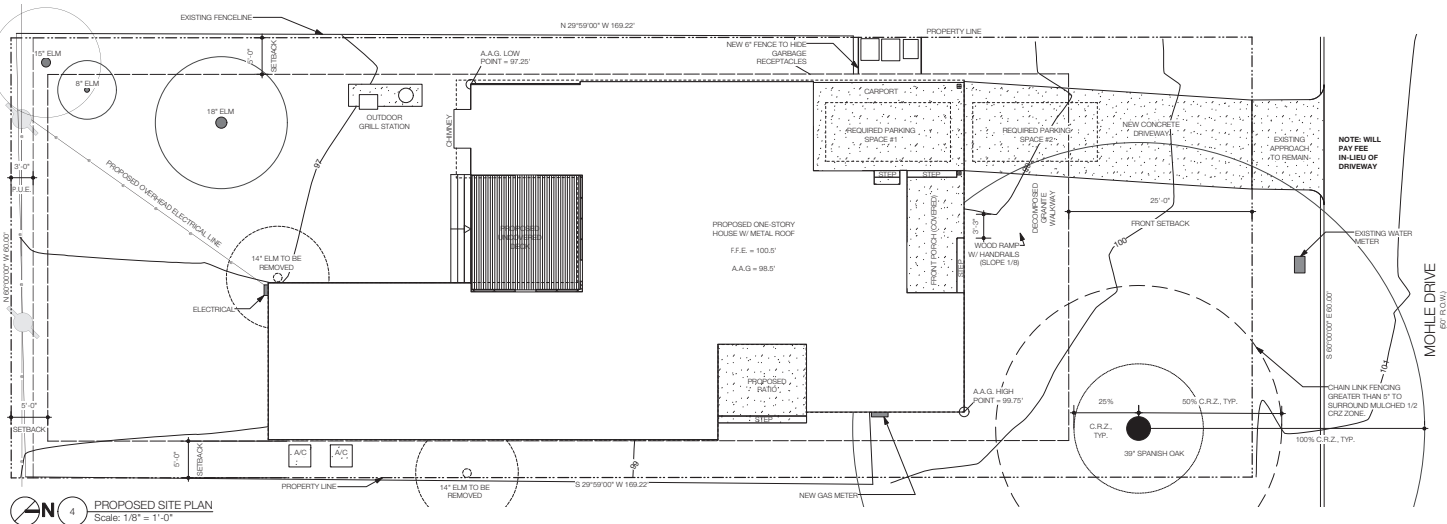
NOTE: DEMOLITION OF THE EXISTING
STRUCTURE HAS ALREADY BEEN
APPROVED (SEE 2020-098099 PR)



2 DEMOLITION PLAN
Scale: 1/16" = 1'-0"

SITE PLAN GENERAL NOTES:
1. Site plan is based on survey information provided (ref. survey above).
2. Refer to Floor Plans and Structural Drawings for additional information.
3. Finish grades shall be 6" minimum below adjacent floor elevation.
4. Provide positive drainage away from foundation and down to existing drainage patterns or swales in final grades as required. Coordinate with adjacent property owners as required.
5. All steps and stairs will comply with section R011.7 of IRC 2015.
6. All handrails will comply with section R011.7.3 of the 2015 IRC.
7. All guardrails will comply with section 312.1 of the 2015 IRC.

GENERAL TREE NOTES:
1. All trees and natural areas within limits of construction or shown on plan to be preserved shall be fully protected to prevent soil compaction in the root zone from vehicular traffic or storage of equipment or materials; root zone disturbance due to grade changes, wounds to exposed roots, trunk or limbs by mechanical equipment or other activities detrimental to trees.
2. Tree protection fencing is required for trees within the limits of construction.
3. All access, material staging, concrete resuitout, dumpster and portable toilet shall be located away from protected trees.
4. All existing trees to remain unless noted otherwise on plan.
5. No impacts to existing tree canopies.
6. No cut or fill greater than 4" within the 1/2 C.R.Z.



4 PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

SITE FLOOR AREA RATIO CALCULATIONS:

10154 LOT SF X 40% = 4,052 SF A.R. ALLOWED

2685 SF NEW HOUSE, CONDITIONED (MEASURED TO EXTERIOR FACE OF STUDS)
250 SF ATTACHED CARPORT
187 SF SCREENED PORCH
136 SF COVERED FRONT PORCH
39 SF COVERED CARPORT STORAGE
3297 SF SUBTOTAL

-325 SF GROUND FLOOR PORCH CREDIT
-200 SF ATTACHED CARPORT CREDIT

TOTAL = 2774 SF GROSS FLOOR AREA / 27% F.A.R.

SITE BUILDING COVERAGE CALCULATIONS:

10154 LOT SF X 40% = 4,052 SF ALLOWED

2768 SF NEW HOUSE FOOTPRINT (MEASURED TO EXTERIOR FACE OF BRICK)
250 SF CARPORT
187 SF SCREENED PORCH
136 SF COVERED FRONT PORCH
39 SF COVERED CARPORT STORAGE
12 SF FIREPLACE

TOTAL = 3292 SF BUILDING COVERAGE / 32% BUILDING COVERAGE

SITE IMPERVIOUS COVER CALCULATIONS:

10154 LOT SF X 40% = 4,052 SF ALLOWED

2768 SF NEW HOUSE FOOTPRINT (MEASURED TO EXTERIOR FACE OF BRICK)
250 SF CARPORT
187 SF SCREENED PORCH
136 SF COVERED FRONT PORCH
39 SF COVERED CARPORT STORAGE
12 SF FIREPLACE
477 SF DRIVEWAY
217 SF UNCOVERED WOOD DECKS AND RAMP (434 SF S.F.)
27 SF GRAVEL PATH
18 SF A/C PADS

TOTAL = 4131 SF IMPERVIOUS COVER / 41% IMPERVIOUS COVER

PROJECT INFORMATION:

ADDRESS: 1801 Mohle Drive
Austin, TX 78703

ZONING: SF-3 NP

PROPERTY ID: 116329

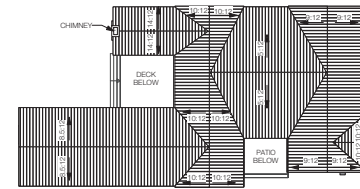
LEGAL DESCRIPTION:
The West 50 ft. of Lot Number 5 and the East 10 ft. of Lot Number 9, Block 3,
Baylor Woods "C", Volume 4, Page 46, Plat Records, and per Deed Recorded
in Document No. 2010115310, Travis County, Texas.

DESCRIPTION OF WORK:

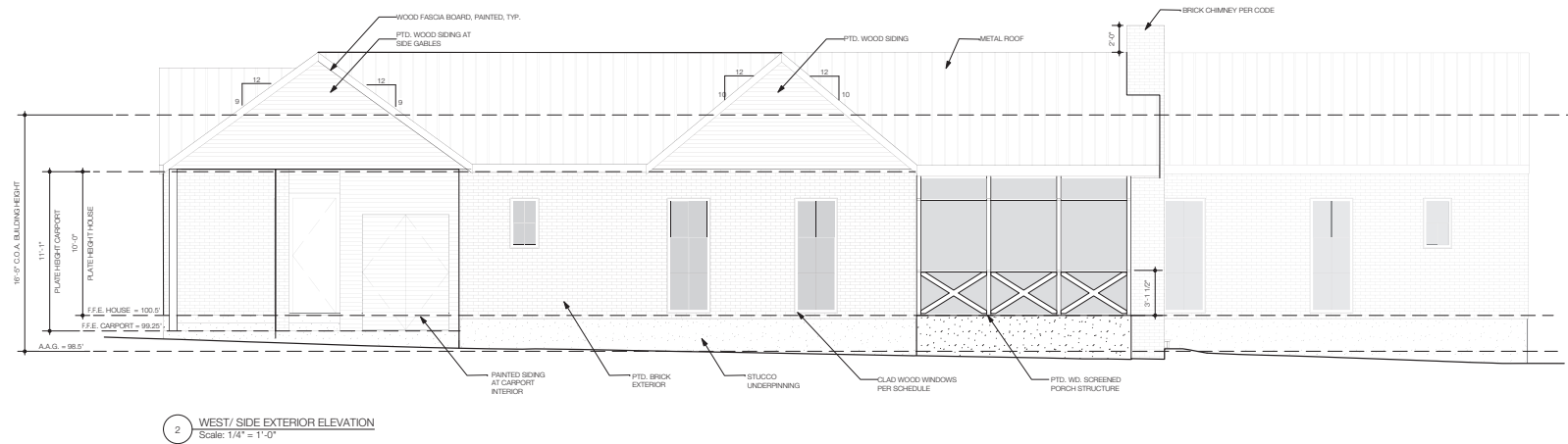
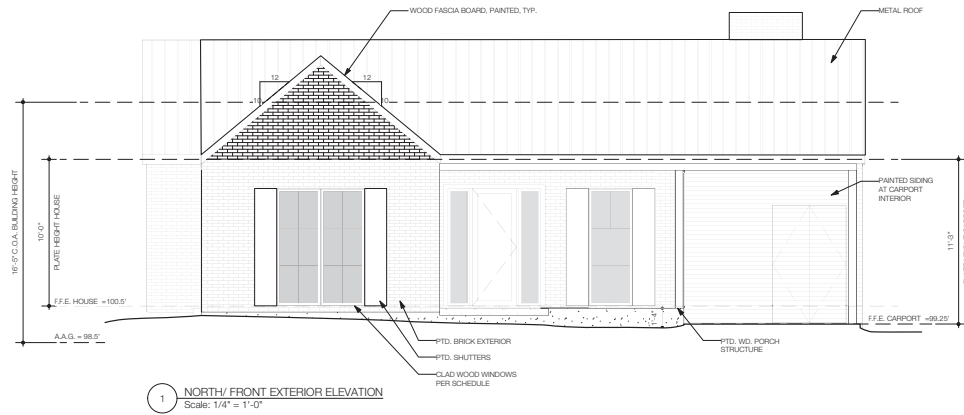
New construction of a one-story single family residence with three bedrooms, three and a half bathrooms, a covered carport and front porch as well as a separate screened porch. A new driveway is planned for the project but the existing driveway approach is to remain. The existing 30" Spanish Oak on the property will be thoroughly protected throughout the project.

TABLE OF CONTENTS:

A0.1 Cover Sheet, Survey, Demo Plan, Site Plan, Roof Plan
A1.1 Proposed Floor Plan
A2.1 Exterior Elevations
A2.2 Exterior Elevations



3 ROOF PLAN
Scale: 1/16" = 1'-0"



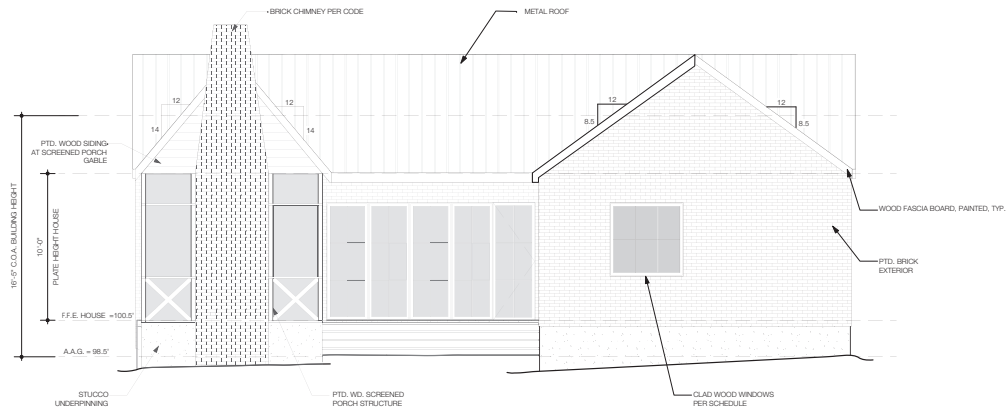
NOT FOR CONSTRUCTION

STANDEFER
RESIDENCE
1801 MOHLE DRIVE AUSTIN, TX 78703

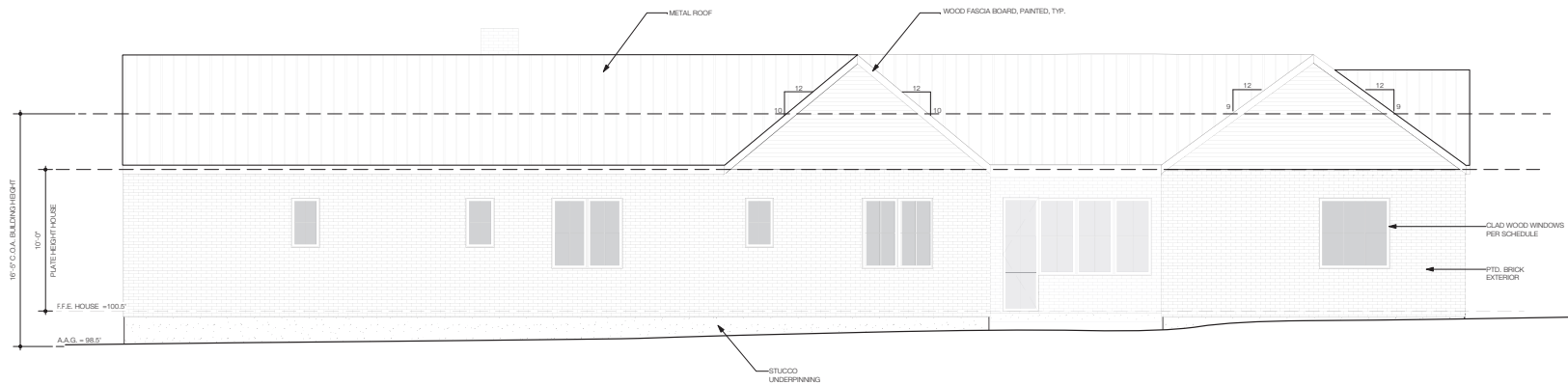
09.02.20 HISTORIC REVIEW

EXTERIOR
ELEVATIONS

A2.1



1 SOUTH/ REAR EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



2 EAST/ SIDE EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

STANDEFER
RESIDENCE
1801 MOHLE DRIVE AUSTIN, TX 78703

09.02.25 HISTORIC REVIEW

EXTERIOR
ELEVATIONS

A2.2



1801 Mohle Drive- Street view



1801 Mohle Drive- Front Elevation



1801 Mohle Drive
View from street