PRIVATE PROPERTY

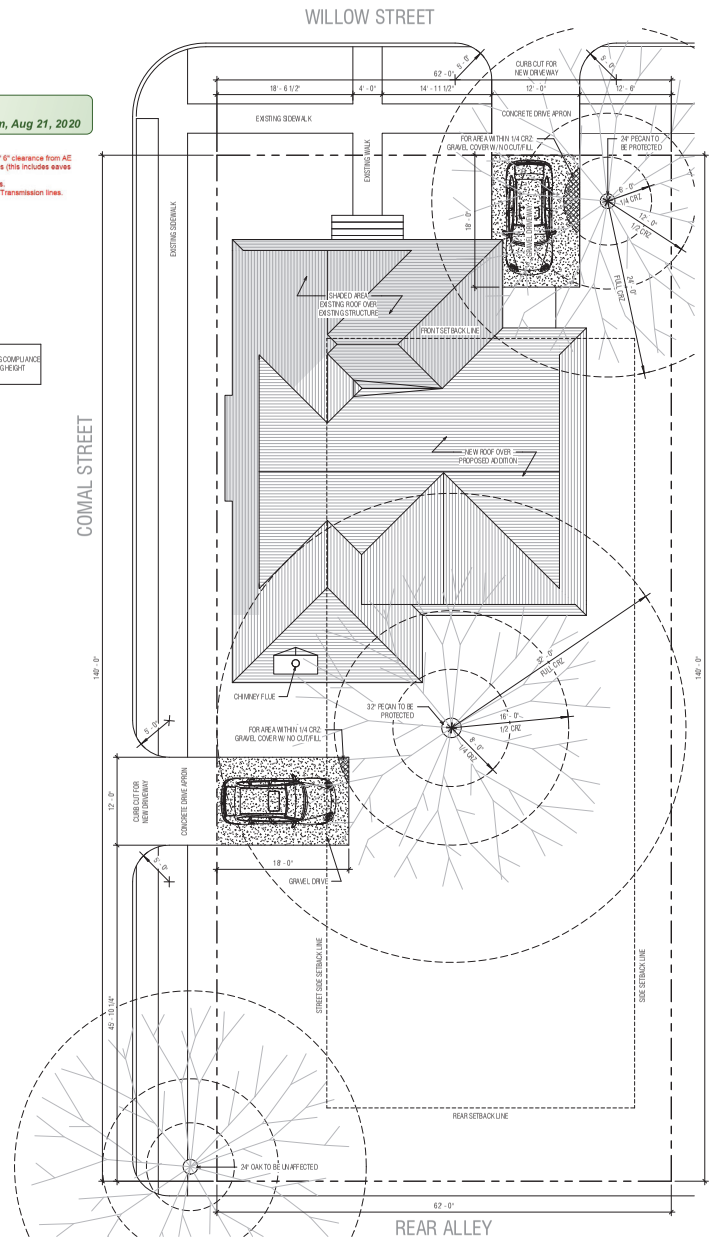
TRY 305194

1500
PRIVATE
PROPERTY
NO TRESPASSING

APPROVED
By PaceM at 6:20 am, Aug 21, 2020

ALL structures MUST maintain 7' 6" clearance from AE energized Distribution power lines (this includes eaves and overhangs).
Enforced by AE and NESC codes.
This review DOES NOT include Transmission lines.

NOTE:
SEE PAGES A-300 AND A-301 FOR ZONING COMPLIANCE INCLUDING SETBACKS AND BUILDING HEIGHT CALCULATIONS



WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT JOSHUA MACKEY 24797 STATE OF TEXAS

20 Aug 2020

No.	Description	Date

A-003

Proposed Site Plan

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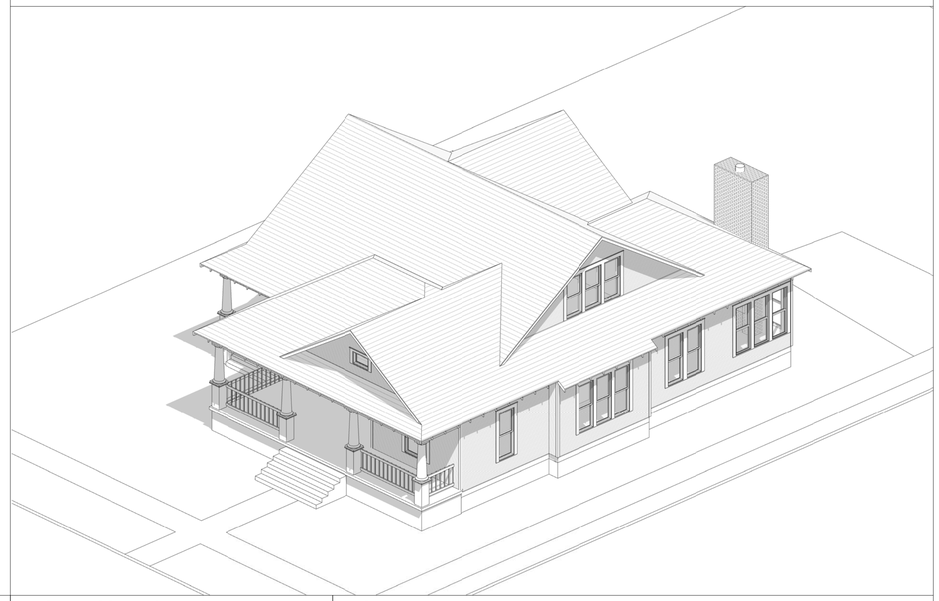
Date: 20 Aug 2020
Scale: 1/8" = 1'-0"
Drawn by: JM
Project Status: Permit Set

1601 WILLOW STREET



SHEET LIST

A-001	Project Information
A-002	Existing Site Survey
A-003	Proposed Site Plan
A-004	Existing Building Demolition Plans
A-101	Ground Floor Plan
A-102	Second Floor Plan
A-201	Building Elevations
A-202	Building Elevations
A-300	Subchapter F and Zoning Compliance
A-301	Subchapter F and Zoning Compliance

OWNER

TOM FAMILY TRUST
1800 ARROYO AVE
SAN CARLOS, CA 94070-3811

PROJECT TEAM

FORRM ARCHITECTS
2914 BRINWOOD AVENUE
AUSTIN, TEXAS 78704
614 506 8515

STRUCTURAL ENGINEER
TBD

APPLICABLE CODES

2015 International Residential Code (IRC)
2015 International Energy Code
2015 International Fire Code
2015 Uniform Mechanical Code (UMC)
2015 Uniform Plumbing Code (UPC)
2017 National Electrical Code

City of Austin Amendments

LEGAL DESCRIPTION

LOT 1, BLOCK 3
LEONARD M TOBINS RESUB OF RIVERSIDE ADDITION
AUSTIN, TRAVIS COUNTY, TEXAS

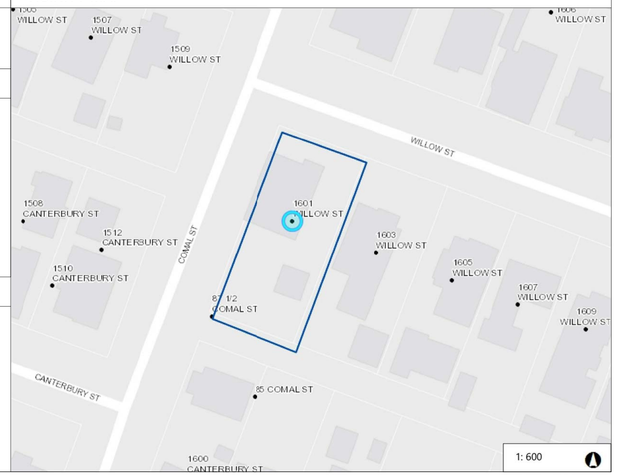
ZONING DISTRICT

SF-3-NP

AREA CALCULATIONS

		ALLOWABLE	PROPOSED
SITE AREA:	8653 SF		
GROSS FLOOR AREA:	0.4 x 8653 = 3461 SF		
FIRST FLOOR			1457 SF
SECOND FLOOR			663 SF
TOTAL:			2120 SF
BUILDING COVERAGE:	0.4 x 8653 = 3461 SF		2289 SF
IMPERVIOUS COVERAGE:	0.45 x 8653 = 3894 SF		2801 SF

VICINITY MAP



WILLOW RESIDENCE
1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT
JOSHUA MACKIE
24792
STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-001
Project Information

copyright FORRM Architects 2020

Date: 27 Aug 2020
Scale:
Drawn by: JM
Project Status: Permit Set Progress

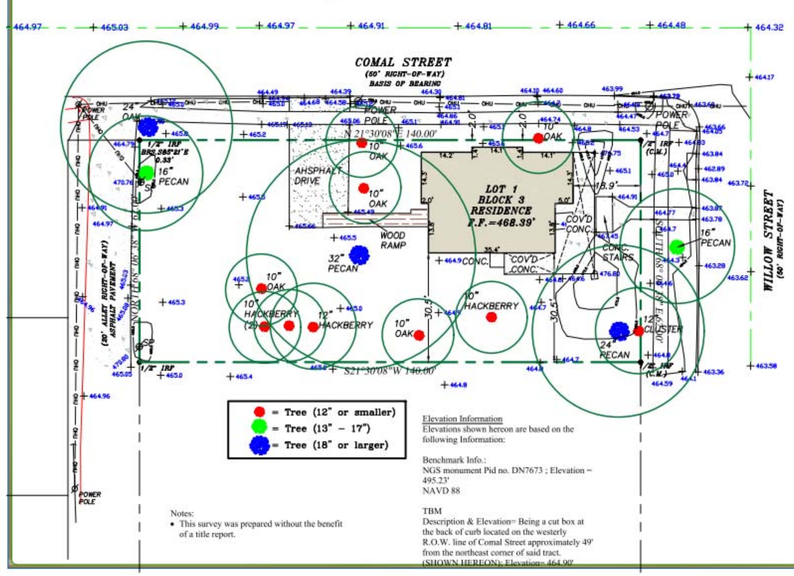
WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

1601 WILLOW STREET

TBM Cut "U" Top of Curb, Elev= 464.90'

TBM
Description & Elevation= Being a cut box at the back of curb located on the westerly R.O.W. line of Comal Street approximately 49' from the northeast corner of said tract. (SHOWN HEREON); Elevation= 464.90'



Elevation Information
Elevations shown hereon are based on the following Information:

Benchmark Info.:
NGS monument Pid no. DN7673 ; Elevation = 495.23'
NAVD 88

TBM
Description & Elevation= Being a cut box at the back of curb located on the westerly R.O.W. line of Comal Street approximately 49' from the northeast corner of said tract. (SHOWN HEREON); Elevation= 464.90'

Notes:
- This survey was prepared without the benefit of a title report.

PROPERTY DESCRIPTION
LOT 1, BLOCK 3 RIVERSIDE, A SUBDIVISION IN OUTLOT 35, DIVISION "O" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 132 OF THE PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

Date:	05/11/20
ASC No.	2005.0762TOPO
Buyer:	N/A
Client:	SELF PAY TEXAS
G.F. No.	
Decline/Field Crew	S.R. / B.M.

SELF PAY TEXAS

, TEXAS

1601 WILLOW STREET
AUSTIN, TEXAS 78702

LEGEND: C.M. = Controlling Monument; Fnd. = Found; I.R. = Iron Rod; I.P.= Iron Pipe; OHE = Overhead Electric; I.R.S. = Set Iron Rods 1/2" diameter with yellow cap stamped "Arthur Surveying Company". All found iron rods are 1/2" diameter unless otherwise noted.
(Symbol) ——o.p.—— overhead line ——x——x—— (symbol shown) ——x——x——

FLOOD NOTE:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF AUSTIN , COMMUNITY NUMBER 480624, DATED JANUARY 22, 2020.

The undersigned have/has received and reviewed a copy of this survey.

x _____

x _____

Date: _____

SURVEYORS CERTIFICATION: DATE: 5/12/2020
The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct and to the best of my knowledge there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown hereon. The bearings shown hereon are based on the above referenced recorded map or plat unless otherwise noted.

STATE OF TEXAS REGISTERED MICHAEL D. MORTON 3686 PROFESSIONAL LAND SURVEYOR

ARTHUR
LAND SURVEYING
AN EXACTA COMPANY

11111 Richmond Ave, Suite 150 | Houston, TX 77082
281-937-2731 Branch no. 10196357
arthursurveying.com

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT JOSHUA MACKEY 24795 STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-002

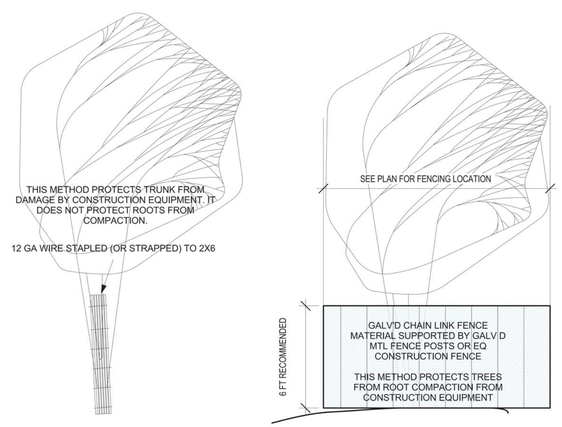
Existing Site Survey

copyright FORRM Architects 2020

Date: 27 Aug 2020
Scale:
Drawn by: JM
Project Status: Permit Set Progress

NOTE:
SEE PAGES A-300 AND A-301 FOR ZONING COMPLIANCE INCLUDING SETBACKS AND BUILDING HEIGHT CALCULATIONS

TREE PROTECTION DIAGRAMS

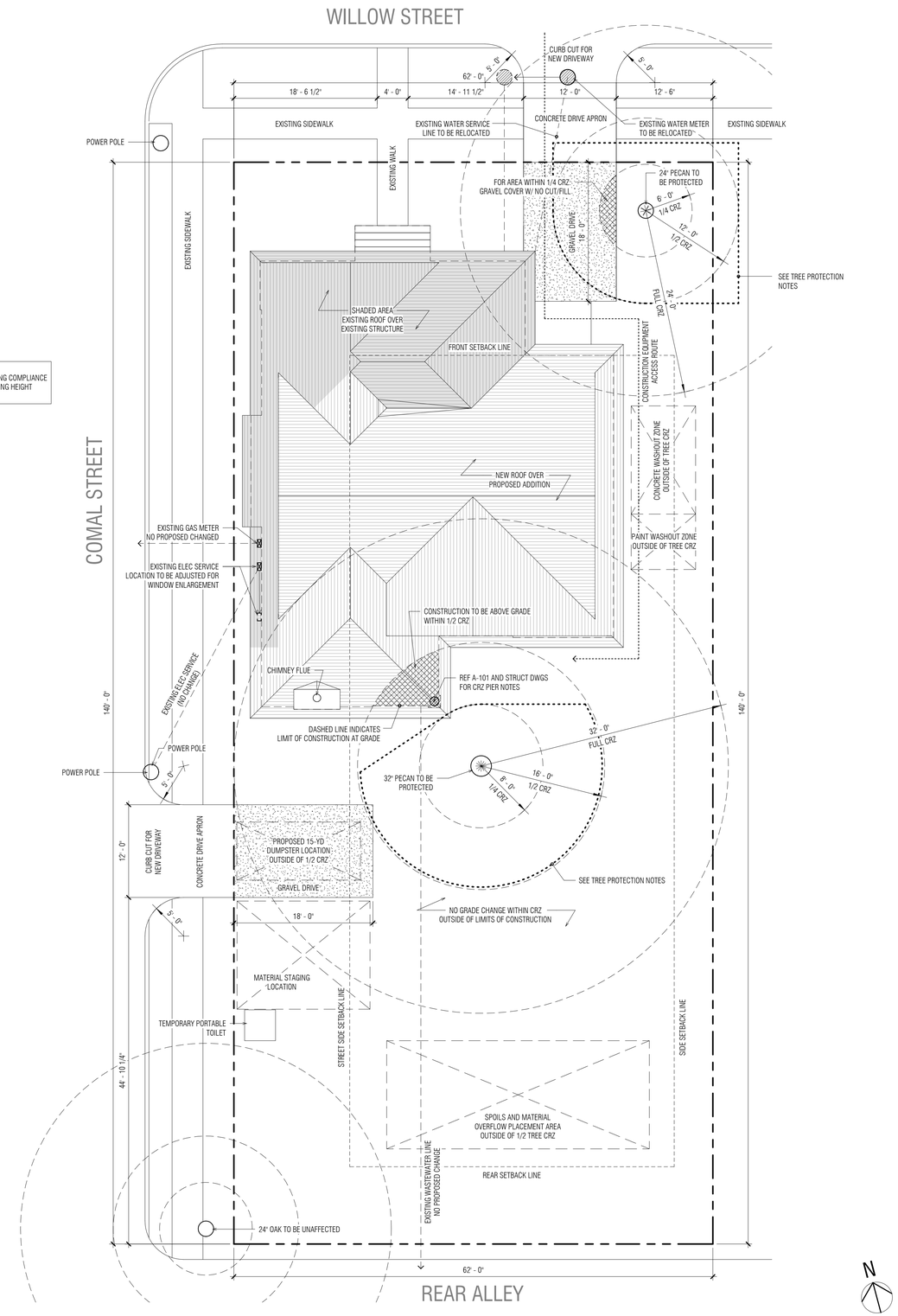


TREE PROTECTION NOTES

1. 6' HIGH 2x4 MIN BOARDS STRAPPED TO TRUNK AND ROOT FLARES AS DIAGRAMMED ABOVE.

2. FENCING AS DIAGRAMMED ABOVE TO BE INSTALLED AROUND ENTIRE 1/2 CRZ MINIMUM IF POSSIBLE. FENCE POSTS/SUPPORTS TO BE ON-GRADE AND WEIGHED DOWN WITH SANDBAGS. FENCED AREA TO INCORPORATE 1/4 CRZ AT A MINIMUM, AT ALL TIMES FOR DURATION OF PROJECT.

3. ALL AREAS WITHIN FULL CRZ AND UNPROTECTED BY FENCING TO RECEIVE 8" MIN PROTECTIVE MULCH LAYER.



WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT JOSHUA MACKIE 24792 STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-003

Proposed Site Plan

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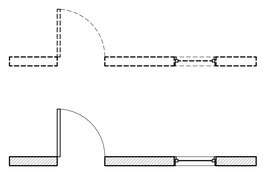
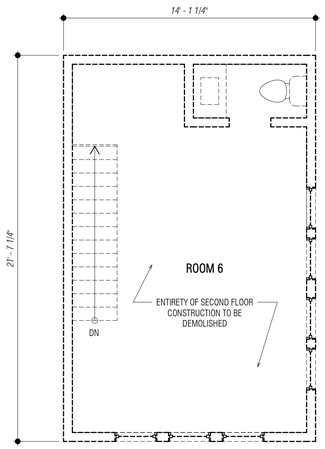
Date: 27 Aug 2020
Scale: 1/8" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress

WALL TYPE LEGEND

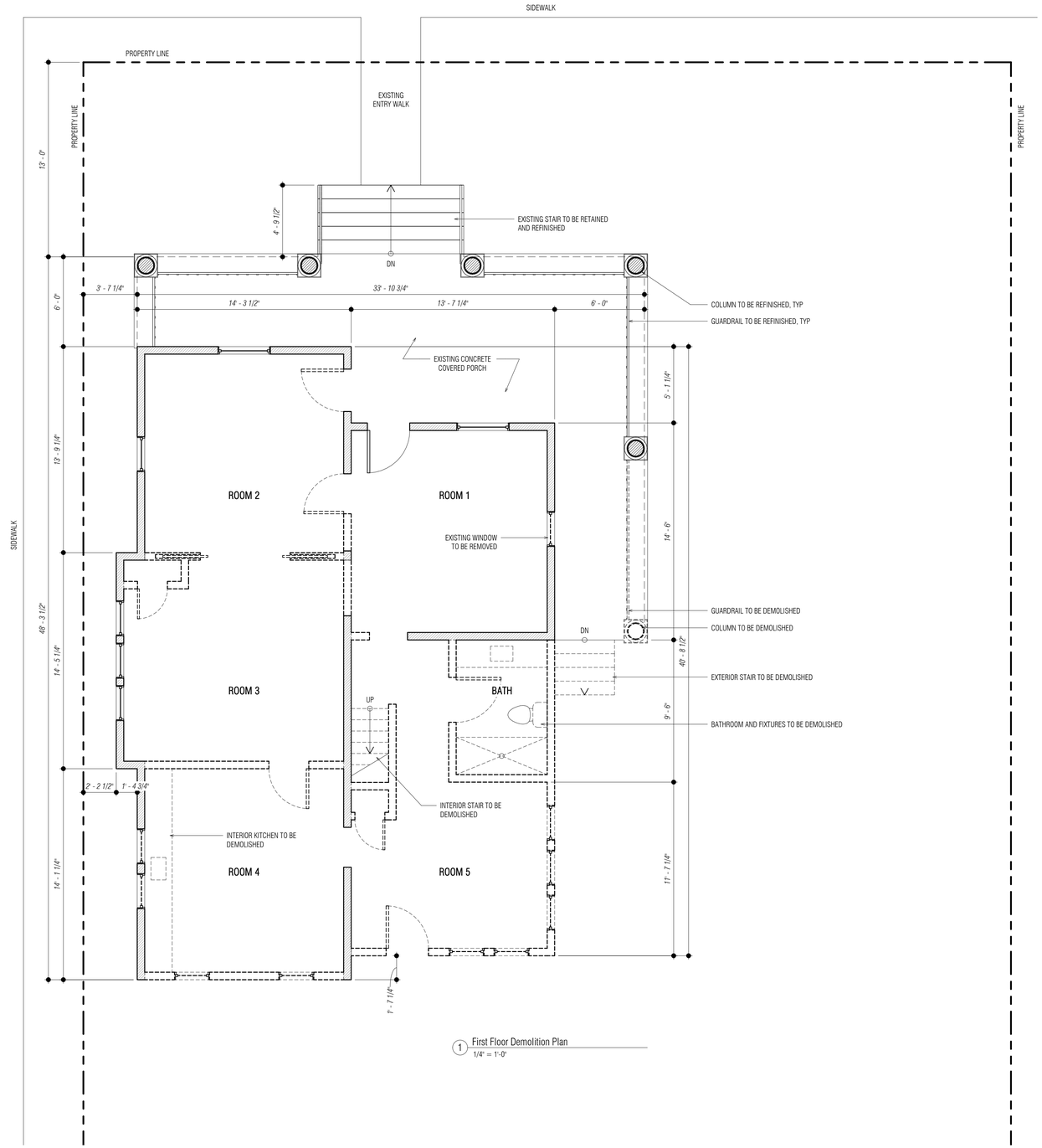


EXTERIOR WALL PERCENTAGE CALCULATION

TOTAL LENGTH OF EXTERIOR WALL:	127'-5"
LENGTH OF EXTERIOR WALL TO REMAIN:	79'-5" (62%)
LENGTH OF EXTERIOR WALL TO BE DEMOLISHED:	48'-0" (38%)



2 Second Floor Demolition Plan
1/4" = 1'-0"



1 First Floor Demolition Plan
1/4" = 1'-0"

N

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

27 Aug 2020

No.	Description	Date

A-004

Existing Building Demolition Plans

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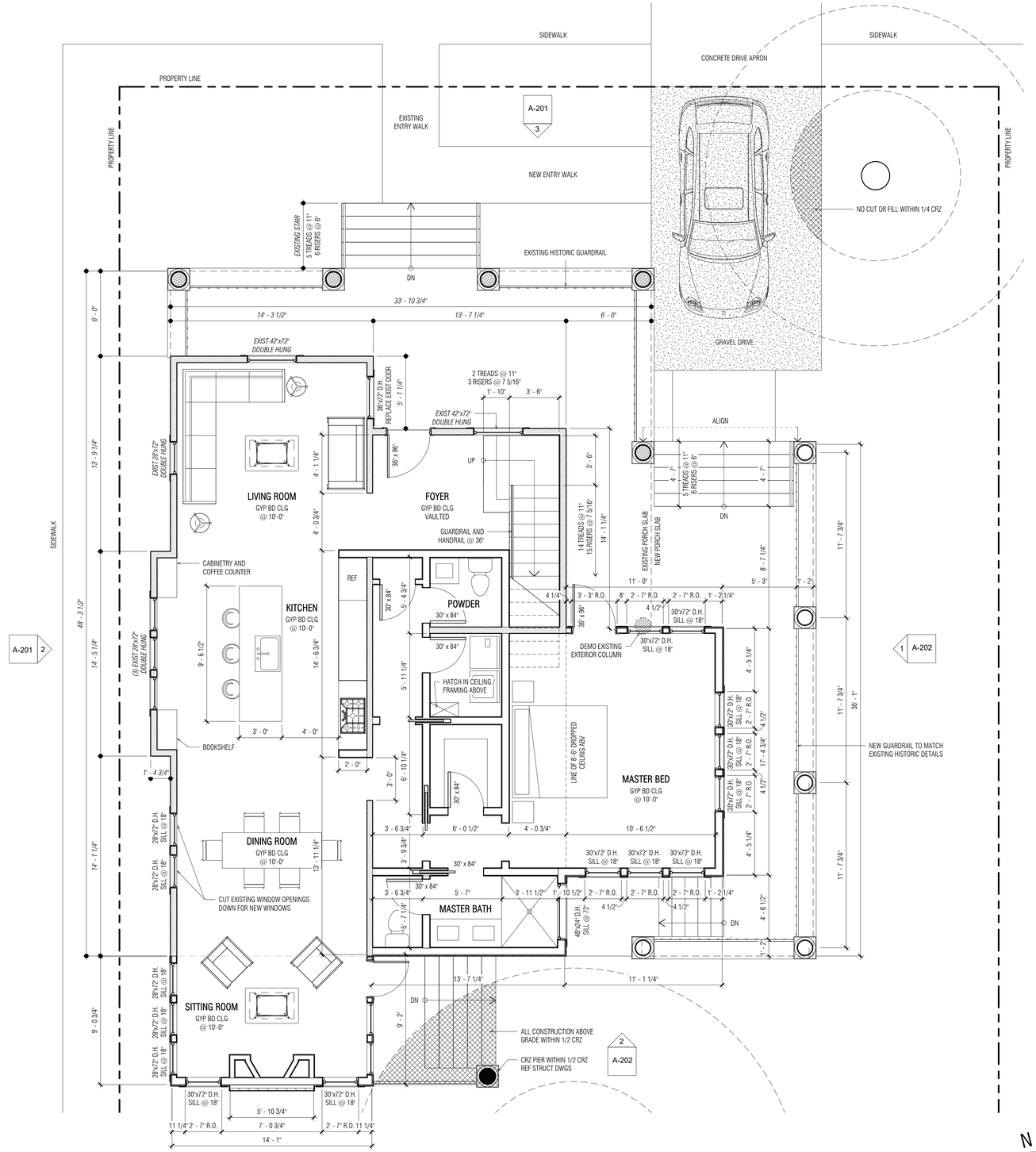
Date: 27 Aug 2020
Scale: 1/4" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress



3' - 0" EXISTING CONSTRUCTION DIMENSION
TO FACE OF EXISTING STRUCTURE U.N.O.

3' - 0" NEW CONSTRUCTION DIMENSION
TO FACE OF FRAMING U.N.O.

EXISTING WALL

NEW EXTERIOR WALL
- 2x6* STUD FRAMING w/ R-19 SPRAY FOAM INSULATION
  *MATCH EXISTING STUD DIMENSIONS WHERE ALIGNMENT IS REQUIRED
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)
- 1/2" OSB EXTERIOR SHEATHING
- WATERPROOFING MEMBRANE
- EXTERIOR WOOD SIDING

NEW 2x4 INTERIOR WALL
- 2x4 STUD FRAMING
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)

NEW 2x6 INTERIOR WALL
- 2x6 STUD FRAMING
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT JOSHUA MACKLAS 24792 STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-101

Ground Floor Plan

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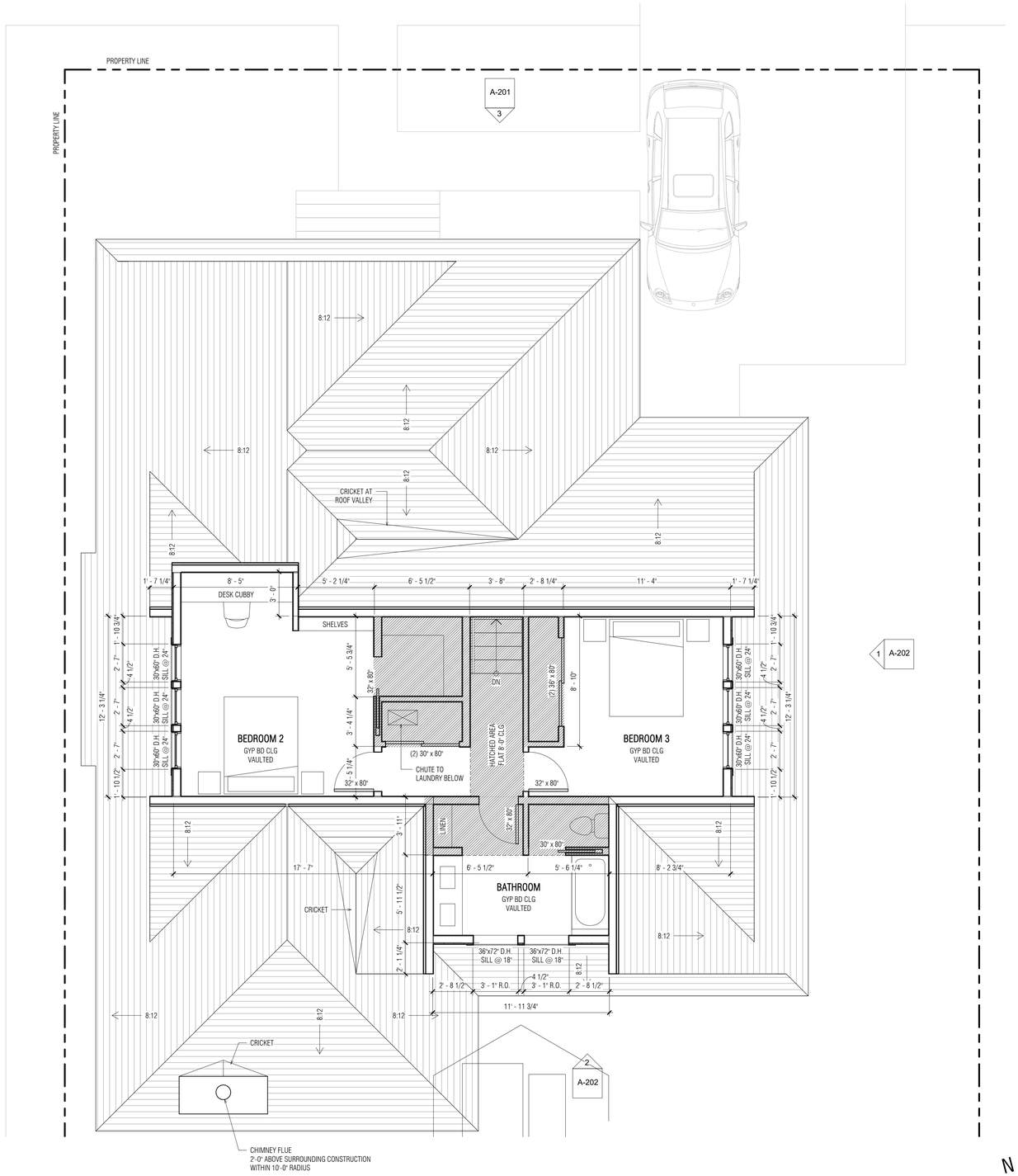
Date: 27 Aug 2020
Scale: 1/4" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress



3' - 0"
EXISTING CONSTRUCTION DIMENSION
TO FACE OF EXISTING STRUCTURE U.N.O.

3' - 0"
NEW CONSTRUCTION DIMENSION
TO FACE OF FRAMING U.N.O.

EXISTING WALL

NEW EXTERIOR WALL
- 2x6* STUD FRAMING w/ R-19 SPRAY FOAM INSULATION
  *MATCH EXISTING STUD DIMENSIONS WHERE ALIGNMENT IS REQUIRED
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)
- 1/2" OSB EXTERIOR SHEATHING
- WATERPROOFING MEMBRANE
- EXTERIOR WOOD SIDING

NEW 2x4 INTERIOR WALL
- 2x4 STUD FRAMING
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)

NEW 2x6 INTERIOR WALL
- 2x6 STUD FRAMING
- 5/8" PTD GYP BD INTERIOR FINISH (TYP)

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT
JOSHUA MACKLER
24793
STATE OF TEXAS

27 Aug 2020

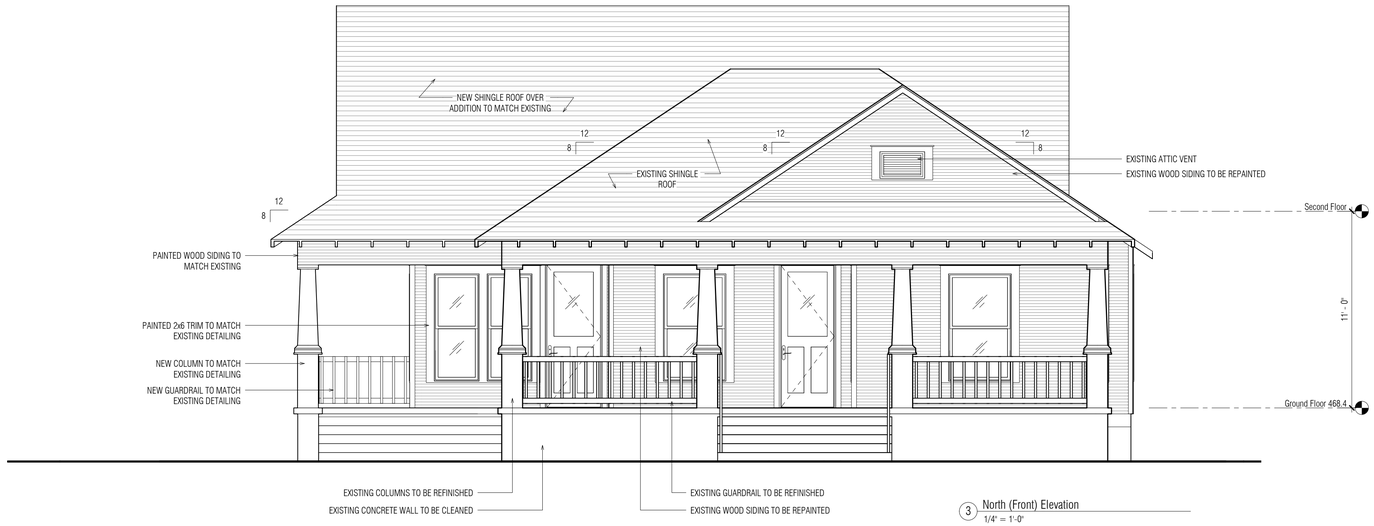
No.	Description	Date

A-102

Second Floor Plan

copyright FORRM Architects 2020

Date: 27 Aug 2020
Scale: 1/4" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress



3 North (Front) Elevation
1/4" = 1'-0"

NOTE:
SEE PAGES A-300 AND A-301 FOR ZONING COMPLIANCE INCLUDING SETBACKS AND BUILDING HEIGHT CALCULATIONS

2 West Elevation
1/4" = 1'-0"

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT
JOSHUA MACKAY
24793
STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-201

Building Elevations

copyright FORRM Architects 2020

Date: 27 Aug 2020
Scale: 1/4" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress

2 South Elevation
1/4" = 1'-0"

NOTE:
SEE PAGES A-300 AND A-301 FOR ZONING COMPLIANCE INCLUDING SETBACKS AND BUILDING HEIGHT CALCULATIONS

1 East Elevation
1/4" = 1'-0"

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM
Architecture in Austin, TX + New York, NY

27 Aug 2020

No.	Description	Date

A-202

Building Elevations

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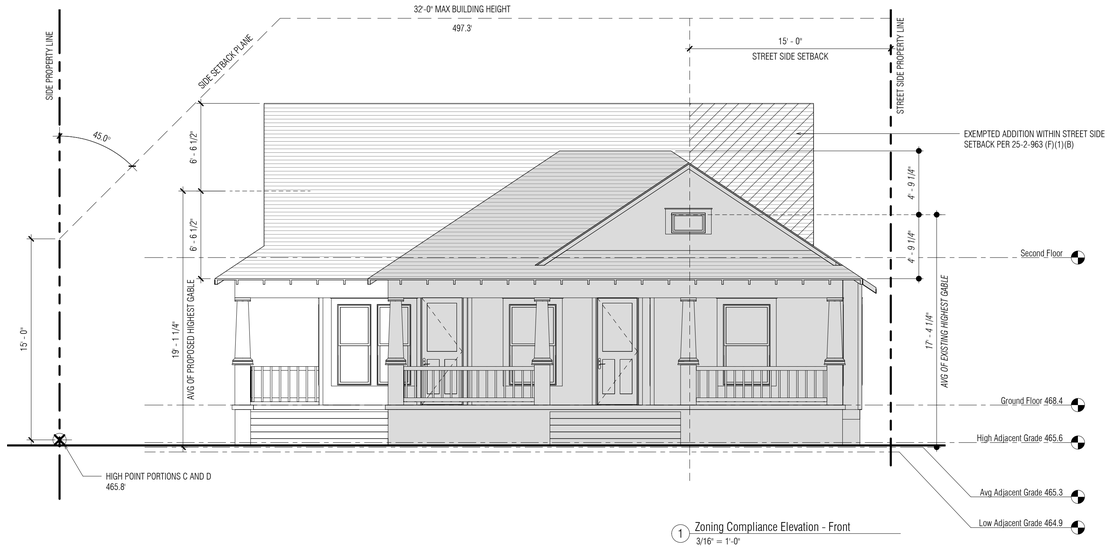
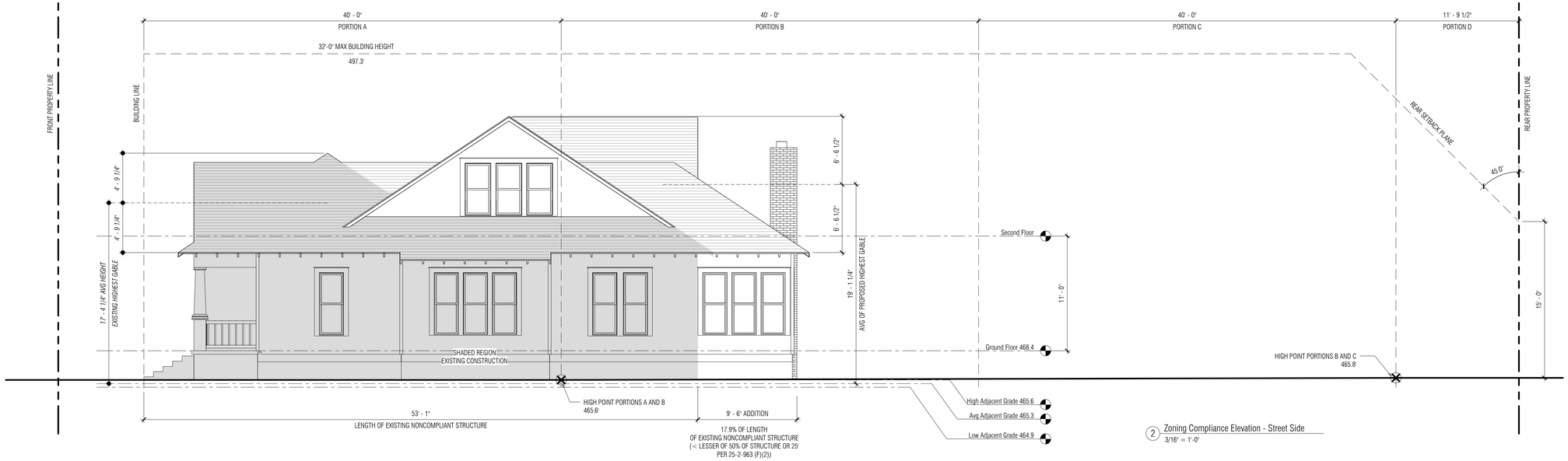
Date: 27 Aug 2020
Scale: 1/4" = 1'-0"
Drawn by: JM
Project Status: Permit Set Progress



1 Zoning Compliance Elevation - Front
3/16" = 1'-0"



2 Zoning Compliance Elevation - Street Side
3/16" = 1'-0"

WILLOW RESIDENCE

1601 Willow Street, Austin, Texas

FORRM

Architecture in Austin, TX + New York, NY

REGISTERED ARCHITECT
JOSHUA MACKLE
24797
STATE OF TEXAS

27 Aug 2020

No.	Description	Date

A-301

Subchapter F and Zoning Compliance

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Date: 27 Aug 2020
Scale: 3/16" = 1'-0"
Drawn by: Author
Project Status: Permit Set Progress