



1806 TRAVIS HEIGHTS BLVD REMODEL/ADDITION

LEGAL DESCRIPTION:
LOT 11 BLK 21
TRAVIS HEIGHTS

ZONING: SF-3-NP

PROJECT SUMMARY:

TOTAL SITE: 6,847 SF

REMODEL AREA: 1,160 SF
ADDITION AREA: 708 SF
NEW DECK (100%): 721 SF

ZONING: SF-3-NP
WATERSHED: BLUNN CREEK
FLOODPLAIN: NO

BUILDING AREA

BLDG COVERAGE: 1,160 SF
NEW BLDG CVRG: 1,278 SF
18.67%

ALLOWABLE FAR: 2,739 SF

EXISTING FAR: 1,160 SF
EXISTING % FAR: 16.94 %

PROPOSED FAR: 1,868 SF
PROPOSED % FAR: 27.28 %

IMPERVIOUS COVER

ALLOWABLE I.C.: 3,081 SF

EXISTING I.C.: 2,502 SF
36.54%

PROPOSED I.C.: 2,601 SF
37.98 %

EXISTING FOOTPRINT: 1,160 SF
ADTL. FOOTPRINT: 118 SF
CONC. DRIVE/STAIRS: 636 SF
NEW DECK 754SF@50% 377 SF
SET STONE WALL/EDGE 192 SF
EXISTING CONC. WALL 100 SF
2 AC PADS: 18 SF

NEW IMPERVIOUS: 2,601 SF

NOTES:

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00 LOCATION/SUMMARY
01 RENDERINGS

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SP3 FRONT YARD TOTALS

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A1.2 ROOF PLAN
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A1.4 CEILING MTRLS
A1.5 LIGHTING
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S4.0 ROOF DETAILS
S4.1 TRUSS DETAILS
S5.0 BRACING/DECKING
S5.1 HEADER/STUD DTLS

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

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DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

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SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R608.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'-0" ABOVE THE FLOOR, AND SHOWER OR TUB ENCLOSURES).

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

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CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

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WATERPROOF ALL WATER/PLASH AREAS TO A MINIMUM OF 60" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE 3/4" FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.



RB ARCHITECT, PLLC



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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE 8 / 14 / 20

REV1 10 / 15 / 20

SCALE

SHEET NAME

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SITE SUMMARY

SCALE: 1" = 10'-0"

LOCATION MAP

SCALE: N/A



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PER NFPA 72 CHAPTER 11.

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INSTALL POLYISOCYANURATE (FOAM TYPE
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AND PLATE LINE, OPENINGS IN PLATES,
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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE 8 / 14 / 20
REV1 10 / 15 / 20

SCALE

SHEET NAME

1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

GENERAL NOTES:

HIGH PERFORMANCE WINDOWS:

New Glazing to achieve Austin Energy Code requirements:
U-Value of 0.35 / SHGC Factor of 0.25.

INSULATION: New Walls: Minimum of R19
New Roof: Minimum of R38
Floor Insulation: Minimum of R13.

SAFETY GLAZING: Safety Glazing to be installed as per IRC section R308.4. (Noted locations: glass in doors, windows 24" or less from a door jamb, glazing less than 5'-0" above tub floor if applicable, and at tub/shower enclosures.)

SMOKE DETECTOR SYSTEM:

General Contractor is responsible that the dwelling unit to be equipped with an APPROVED SMOKE DETECTOR system at corresponding locations, in accordance with 2015 IRC Section R314.

General Contractor to verify Smoke Detectors are located at least 36" away from horizontal path of mechanical air flow. Per 2007 NFPA 72 Chapter 11.

CARBON MONOXIDE ALARM:

General Contractor is responsible that the dwelling unit to be equipped with an Approved CARBON MONOXIDE ALARM at corresponding locations, in accordance with 2015 IRC Section R315.

VISITABILITY NOTES:

EXTERIOR ROUTE:

POINT OF ORIGIN: FRONT SIDEWALK
ELEVATION 590'-0"

VISITABLE ENTRANCE: FRONT ENTRY DOOR
LANDING ELEV: 589'-0"

VISITABLE ROUTE: WALK FROM FRONT SIDEWALK
TO FRONT DOOR: 70'-0" LENGTH
MAX. SLOPE 1:12 / 8.3%

VISITABLE DOORWAY: 1) 36" WIDE x 6'-8" TALL DOOR
(MIN. 32" CLEAR WIDTH)
2) BEVELED THRESHOLD
w/ 1/2" MAX RISE
(SEE DETAIL BELOW)

INTERIOR COMPLIANCE:

BATHROOM ROUTE: FRONT ENTRY DOOR TO BATH 1,
KITCHEN, FRONT LIVING/DINING, AND
BEDROOMS.

1) MINIMUM CLEAR WIDTH OF 32".
2) THRESHOLDS AND TRANSITIONS TO BE RAMPED OR
BEVELED.

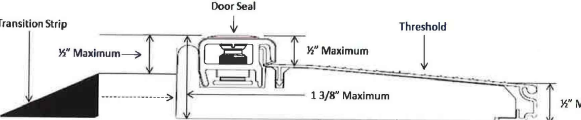
VISITABLE BATHROOM:

1) MINIMUM CLEAR OPENING OF 30" AT DOOR.
2) LATERAL 2"x6" WOOD BLOCKING SHALL BE INSTALLED FLUSH
WITH STUD EDGES OF BATHROOM WALLS. CENTERLINE OF
BLOCK AT 34" A/F/F/ EXCEPT FOR PORTION OF THE WALL
LOCATED DIRECTLY BEHIND THE LAVATORY.

ELECTRICAL:

1) LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO
HIGHER THAN 48" ABOVE FINISHED FLOOR LEVEL. (TO TOP OF
DEVICE/SWITCH)

2) OUTLETS AND RECEPTALS MINIMUM OF 15" ABOVE
INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.



TYPICAL VISITABLE THRESHOLD
CoA DETAIL: C12013-0002

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NEW REMODEL

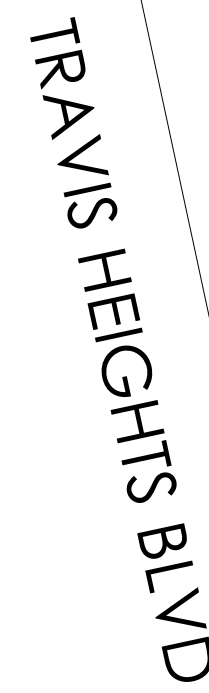
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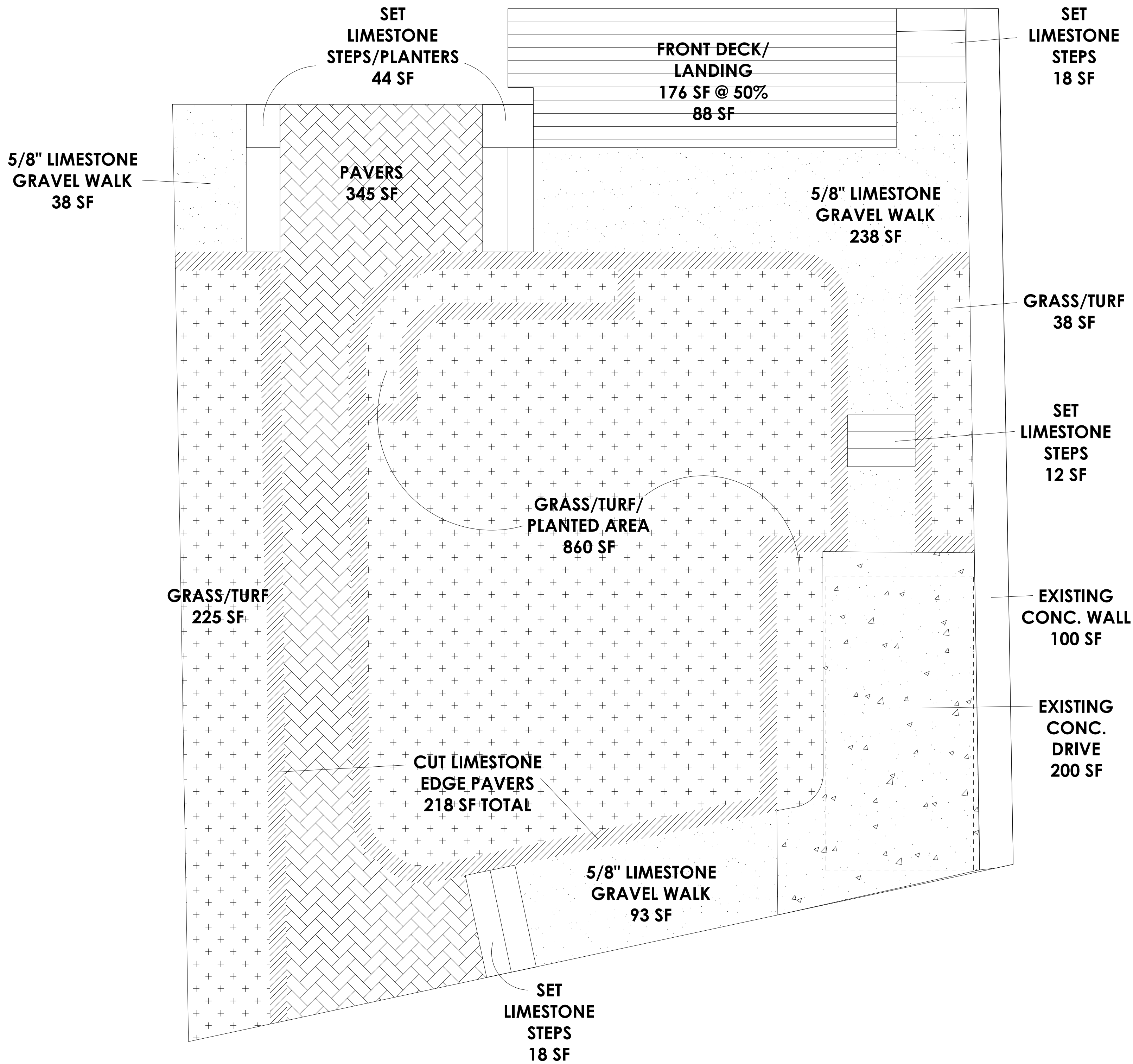
SP1



SP2

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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1 FRONT YARD LAYOUT
SCALE: 1/4" = 1'-0"

1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

FRONT YARD SUMMARY:

TOTAL FRONT YARD: 2,626 SF

40% ALLOWABLE
IMPERVIOUS COVER: 1,050 SF

PERVIOUS COVER:

GRASS/TURF AREA:	1,126 SF
STONE PAVERS:	345 SF
LIMESTONE EDGE:	218 SF
GRAVEL WALKS:	369 SF
TOTAL PERVIOUS:	2,146 SF

IMPERVIOUS COVER:

EXISTING DRIVE:	200 SF
EXIST. CONC. WALL:	100 SF
SET LIMESTONE STEPS:	92 SF
FRONT DECK: @ 50%	88 SF
TOTAL IMPERVIOUS:	480 SF

TOTAL I.C.% 18%

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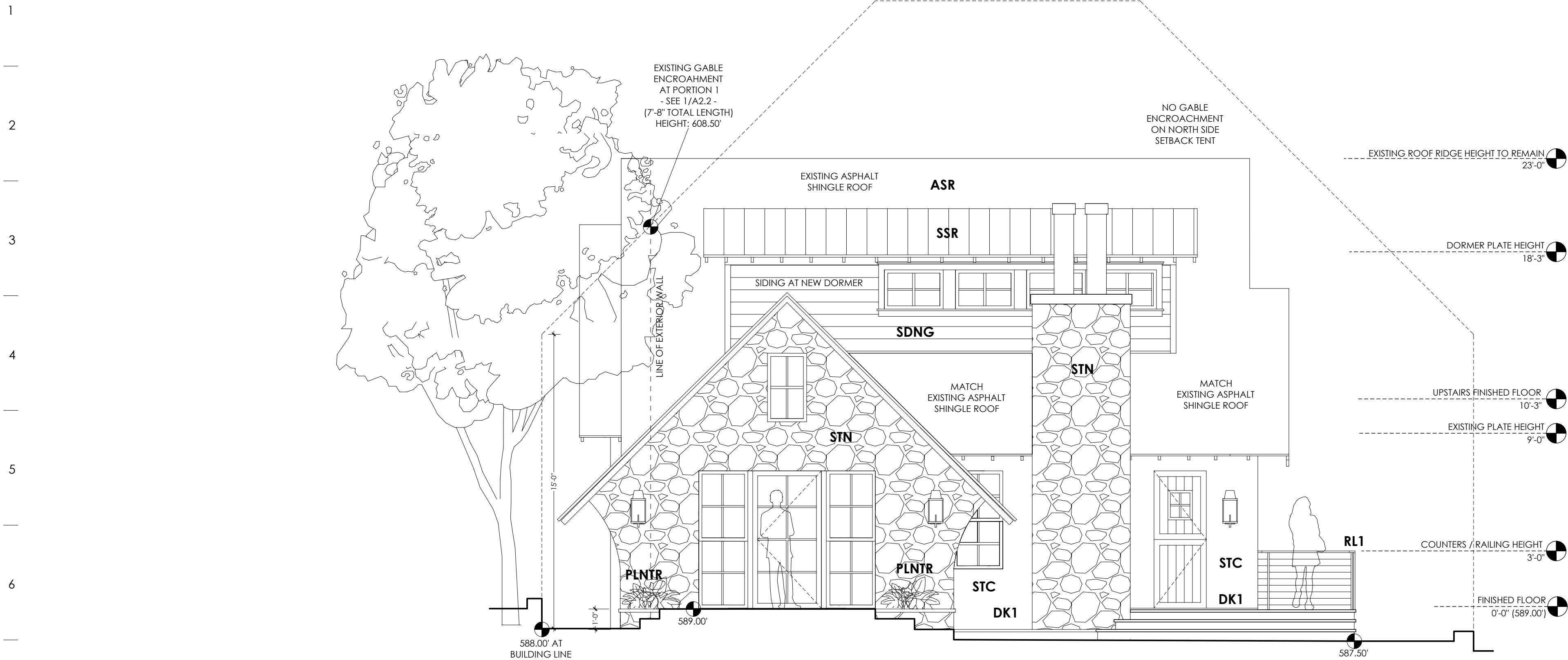
SCALE

SHEET NAME

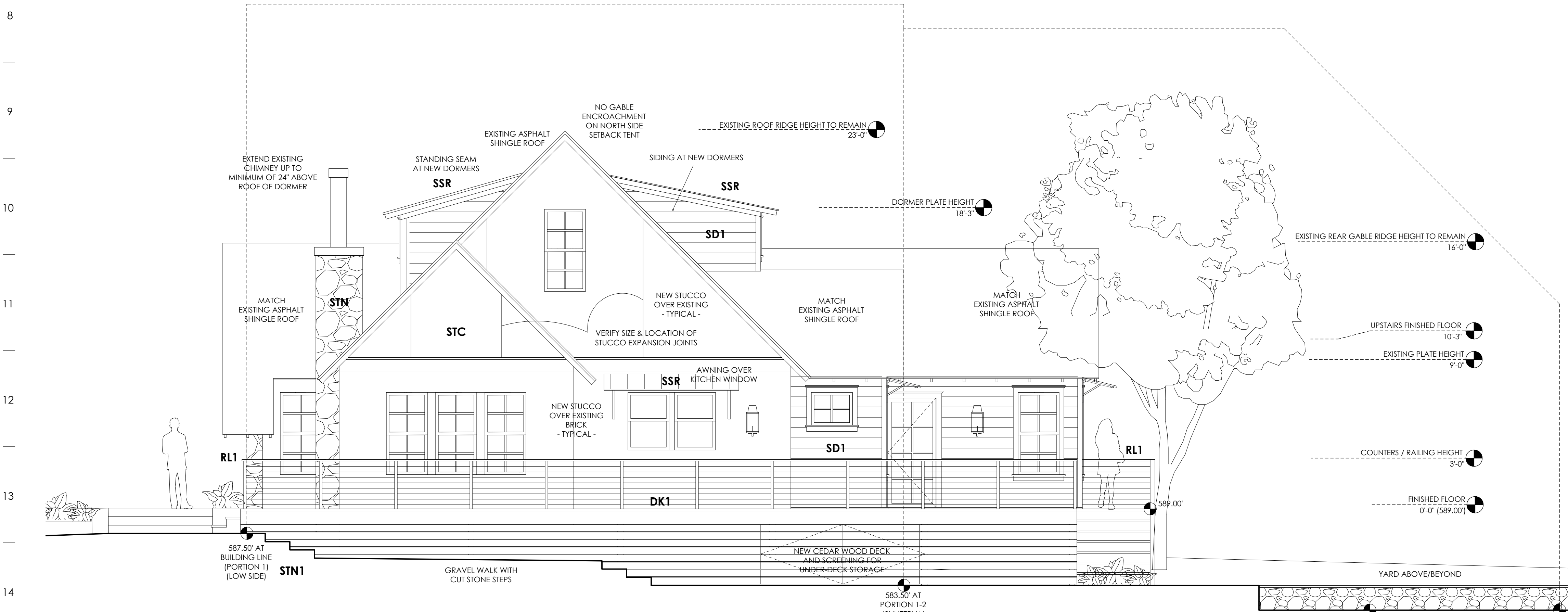
SP3

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |



1 EXISTING/NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 UPDATED SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

MATERIAL NOTES

EXTERIOR FINISHES:

** ALL EXPOSED WOOD TO BE
CLEAR HEART NO.2 OR BETTER
(KILN DRIED TO 16-18%)

- CNC** CONCRETE DRIVE/STAIRS
SALTED NON-SLIP FINISH
- DK1** 5/4" x 6" WR CEDAR
DECKING w/ GAP
(CLEAR SEALER - NATURAL FINISH)
- ASR** ASPHALT SHINGLE ROOF
(MATCH EXISTING)
- SSR** STANDING SEAM METAL
(1" SEAM - CHARCOAL)
- STC** NEW STUCCO EXTERIOR
(TYPICAL 3-COAT - HAND-TROULED)
- STN** EXISTING EXTERIOR STONE
TO BE WHITE-WASHED/
SLURRY-COATED
- SD1** LAP-SIDING
MATCH EXISTING AND/OR
REPLACE WITH EQUIVALENT
(PAINTED - COLOR TBD)
- RL1** 1/2" x 3" FLATBAR STEEL
VERTICAL POSTS w/
1/2" x 1/2" SQUARE BAR
TACK-WELDED TO OUTSIDE
OF FLATBAR POSTS
(RE: STRUCTURAL/MAX. 4" OPENING)

- WD1** 1"x10" WOOD SOFFIT
(EXISTING - MATCH)
PAINT-GRADE PINE/FIR
(REPAIR OR REPLACE AS NEEDED)
(REPLACEMENT/NEW SOFFIT MATERIAL
LOCATED WITHIN THE SETBACK TO BE
1HR FIRE RATED ASSEMBLY/MATERIAL)
- WD2** 1"x4" HANDRAIL TOPPER
VG/CLEAR HEART
WESTERN RED CEDAR
(CLEAR COAT SEALER - NATURAL FINISH)

- STN1** CUT STONE WALKS/STAIRS
(FLAGSTONE/LEUTERS/PAVERS)
- PLNTR** LANDSCAPED BEDS
12" CUT LIMESTONE CAPS
w/ DRYSTACK CUT STONE
TO MATCH EXISTING -
(MORTAR AT BACK OF COURSE
IF NEEDED - PROVIDE ADEQUATE
WEED AND DRAINAGE)

- CASE TRIM:** 1x4 TO MATCH SIDING
(PAINT TO MATCH)
- CASE TOP ACCENT TRIM:**
- DOUBLE STEPPED CROWN CAP
(1x2 + RIPPED 1x4 STEPPED CASE CAPS OR
ALTERNATE CAP PROFILE TBD WITH OWNER)

- SILLS/STOOLS:**
2x THICKNESS w/ 1x4 APRON
SLOPE AWAY FROM WINDOW
(PAINT TO MATCH)

- FLASH ALL WINDOWS/DOORS
AS PER MANUFACTURER SPECS.**

- GUTTERS:**
5K-STYLE METAL GUTTERS
w/ ROUND DOWNSPOUTS AS
SHOWN ON ROOF PLAN (A1.2)
(BRONZE TO MATCH WINDOWS)

NOTES:

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL
FULLY COMPLY WITH THE LOCAL
GOVERNING CODES, INCLUDING ALL
ADDITIONAL STATE AND LOCAL CODE
REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY
FOR ANY WORK KNOWINGLY PERFORMED
CONTRARY TO SUCH LAWS, ORDINANCES, &
REGULATIONS. THE GC SHALL ALSO
PERFORM COORDINATION WITH ALL UTILITIES
AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS
SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS. THE GC SHALL FAMILIARIZE
ITSELF WITH THE CONSTRUCTION
DOCUMENTS AND NOTIFY THIS OFFICE OF
ANY DISCREPANCY THAT THEY MAY IDENTIFY
OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF
FINISHED MATERIALS.

THE GC SHALL VERIFY AND IS RESPONSIBLE
FOR ALL DIMENSIONS (INCLUDING ROUGH
OPENINGS) AND CONDITIONS ON THE JOB
AND MUST NOTIFY THIS OFFICE OF ANY
VARIATIONS FROM THESE DRAWINGS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR
CONSTRUCTION MEANS AND METHODS,
ACTS OR OMISSIONS OF THE CONTRACTOR
OR SUBCONTRACTOR, OR FAILURE OF ANY
OF THIS TO CARRY OUT WORK IN
ACCORDANCE WITH THE CDS. ANY DEFECT
OR DISCREPANCY FOUND WITH THE CDS
SHALL BE BROUGHT TO THE ATTENTION OF THIS
OFFICE BY WRITTEN NOTICE PRIOR TO
PROCEEDING WITH WORK. REASONABLE
TIME NOT ALLOWED THIS OFFICE TO
CORRECT THE DEFECT SHALL PLACE THE
BURDEN OF COST AND LIABILITY FROM SUCH
DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS
MUST BE IN ACCORDANCE WITH 2015 IRC
SECTION R608.4. (NOTED LOCATIONS: GLASS
IN DOORS, WINDOWS 24" OR LESS FROM
DOOR JAMS, GLAZING LESS THAN 5'0"
ABOVE FLOOR, AND SHOWER OR TUB
ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL
CONTRACTOR IS RESPONSIBLE THAT THE
DWELLING UNIT TO BE EQUIPPED WITH AN
APPROVED SMOKE DETECTOR SYSTEM AT
CORRESPONDING LOCATIONS, IN
ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR
SMOKE DETECTORS TO BE LOCATED AT LEAST
36" AWAY FROM HORIZONTAL PATH OF
MECHANICAL AIR FLOW,
PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL
CONTRACTOR IS RESPONSIBLE THAT THE
DWELLING UNIT TO BE EQUIPPED WITH AN
APPROVED CARBON MONOXIDE ALARM
AT CORRESPONDING LOCATIONS, IN
ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYSTYRENE/ISOCYANURATE FOAM TYPE
INSULATION - OR EQUIVALENT - AT FLOOR
AND PLATE LINES, OPENINGS IN PLATES,
CORNER JOINT CAVITIES AND AROUND
DOOR AND WINDOW ROUGH OPENING
CAVITIES.

WATERPROOF ALL WATER/SPASH AREAS TO
A MINIMUM OF 6" ABOVE FINISHED FLOOR.
INSULATE MEP LINES FOR SOUND CONTROL.
EXHAUST ALL VENTS AND FANS DIRECTLY
OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE
AWAY FROM THE STRUCTURE & FOUNDATION.
PROVIDE Silt FENCING AND/OR
MULCH SOCKS AT PERIMETER OF SITE.



RB ARCHITECT, PLLC



**hollingsworth
pack
austin**

PROJECT TEAM:

OWNERS:

KATHERINE & NORMAN TALIAFERRO
CONTACT: 913.940.2843
katherine@denpg.com

DESIGN:

BEN MAY DESIGN
512.507.4664
ben@benmaydesign.com

ARCHITECT:

BR ARCHITECT PLLC
ROEL BAZAN
512.791.2986
roelbazan48@gmail.com

STRUCTURAL ENGINEER:

HOLLINGSWORTH-PACK
CONTACT: CHRIS HEWITT
chris@holl-pack.com
512.275.6660

GENERAL CONTRACTOR:

JV GENERAL CARPENTRY
JUAN VARELA
512.576.4006
jvgeneralcarpentry@yahoo.com

PRICING SET

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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE 8 / 14 / 20
REV1 10 / 15 / 20

SCALE

SHEET NAME

A2.1