



ITEM FOR ENVIRONMENTAL COMMISSION AGENDA

COMMISSION MEETING DATE:	December 2, 2020
NAME & NUMBER OF PROJECT:	SP-2020-0228D Brushy Creek Regional Utility Authority Raw Water Pump Station
NAME OF APPLICANT OR ORGANIZATION:	Karen Bondy, General Manager Brushy Creek Regional Utility Authority
LOCATION:	9416 Lime Creek Road, Leander, Texas 78641
COUNCIL DISTRICT:	Council District does not apply in Extraterritorial Jurisdiction
ENVIRONMENTAL REVIEW STAFF:	Jonathan Garner, Environmental Program Coordinator, Development Services Department, (512) 974-1665, Jonathan.Garner@austintexas.gov
WATERSHED:	Lake Travis Watershed, Water Supply Rural Classification, Drinking Water Protection Zone
REQUEST:	<p>Variance requests are as follows:</p> <ol style="list-style-type: none">1. Request to vary from LDC 25-8-301 to construct private driveways crossing slopes in excess of 15 percent gradient.2. Request to vary from LDC 25-8-302(A) to construct a surface parking lot on slopes in excess of 15 percent gradient.3. Request to vary from LDC 25-8-302(B) to construct a building on slopes in excess of 25 percent gradient, and exceed impervious cover allowance on slopes with a gradient of more than 15 percent.4. Request to vary from LDC 25-8-342 to allow fill in excess of four feet in the Drinking Water Protection Zone.5. Request to vary from LDC 25-8-453(D)(1) to allow impervious cover in excess of 20 percent Net Site Area.
STAFF RECOMMENDATION:	Staff recommends these variances, having determined the findings of fact have been met.
STAFF CONDITION:	<p>Staff recommends the following conditions:</p> <ol style="list-style-type: none">1. Restoration of disturbed areas within the 40% Natural Area Buffer shall be subject to ECM Appendix A criteria;2. Provide robust temporary and permanent erosion and sedimentation controls downgradient of the proposed development beyond the minimum standard;3. Provide dense screening vegetation in compliance with ECM 2.9.0 for all pervious areas between the building and mechanical equipment and the right-of-way.

Staff Findings of Fact



Development Services Department
Staff Recommendations Concerning Required Findings

Project Name:	Brushy Creek Regional Utility Authority Raw Water Pump Station
Ordinance Standard:	Watershed Protection Ordinance
Variance Request:	<ol style="list-style-type: none">1. Request to vary from LDC 25-8-301 to construct private driveways crossing slopes in excess of 15 percent gradient.2. Request to vary from LDC 25-8-302(A) to construct a surface parking lot on slopes in excess of 15 percent gradient.3. Request to vary from LDC 25-8-302(B) to construct a building on slopes in excess of 25 percent gradient, and exceed impervious cover allowance on slopes with a gradient of more than 15 percent.4. Request to vary from LDC 25-8-342 to allow fill in excess of four feet in the Drinking Water Protection Zone.5. Request to vary from LDC 25-8-453(D)(1) to allow impervious cover in excess of 20 percent Net Site Area.

Include an explanation with each applicable finding of fact.

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes. Brushy Creek Regional Utility Authority (BCRUA) is a non-profit local government corporation and a partnership of the cities of Cedar Park, Leander, and Round Rock that treats and distributes water from the Lower Colorado River Authority (LCRA) to residents and businesses of the partner cities. The Lower Colorado River Authority (LCRA) was the original owner of the property, and in planning the expansion of services, the subject property was the largest and least sloped property that LCRA would convey to BCRUA (see aerial exhibit, page 32). Due to the unique engineering and other features associated with treatment of raw water, the facility must be located within certain proximity to Lake Travis. There is not another available property along Lake Travis in this vicinity that is larger in area or flatter in topography that would allow the proposed raw water pump station to be relocated. Conversely, relocating the raw water pump station significantly away from Lake Travis to provide for larger site area and flatter topography would require more extensive engineering, a larger carbon footprint for operations, and tunneling that has

potential to cause greater overall environmental disturbance; both during construction and long-term operations and maintenance.

2. The variance:

- a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes. All the proposed construction on the site requiring the variances is necessitated by the scale of the property and the site constraints of the existing topography (see Overall Existing Conditions exhibit, page 33). The relative small area of the site is due to the parceling of the site by LCRA, and is the only property along Lake Travis that was conveyed to BCRUA for this facility.

Despite the topographic challenges of the property, the site plan provides for greater overall environmental protection by reducing the amount of parking spaces, drive/fire lanes, and fill to construct these features to only the minimum required for the functioning of the facility or that allowed by Travis County fire regulations (see Dimensioned Site Plan exhibit, page 34).

The location of the parking lot and the building take advantage of natural topography and are located on the least sloped areas of the site; maintaining natural drainage patterns to the best extent feasible and minimizing the total amount of fill required to provide a level construction area.

This facility will capture and treat rainwater from the building to add to the raw water processing, and all other impervious cover will be conveyed and treated in biofiltration media in the water quality ponds allowing for infiltration draw down of the water quality pond rather than only treatment and release into Lake Travis.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes. The pump station building, electric transformer yard, surface parking lot, two drive/fire lanes, and sidewalk are the minimum site construction features for the functioning of the facility. The raw water pipelines are located under the building and tunneled into the lake at an elevation about 200 feet below the shoreline of Lake Travis. The water quality and storm water detention controls are located on the site in a way that takes advantage of the natural topography for both overland drainage and outfall disbursement. The building will be constructed with stem walls that minimize the depth of backslope away from the building foundation to less than four feet.

The surface parking and drive/fire lanes are the only site features that require the excess fill material, to the extent as needed to satisfy the

maximum allowed gradient set by Travis County fire regulations (see Fill Exhibit, page 35). The surface parking lot and the building are sited on the least sloped areas of the site, and only propose the amount of square footage necessary for the functioning of the facility to meet the projected water demands and provide safe accommodations for the employees (see Slope Exhibit, page 36).

This property was the largest and least sloped property that LCRA would convey to BCRUA. Because the property is small and severely sloped, the Net Site Area calculation significantly reduces the available uplands for the purposes of calculating impervious cover. The size of the building is necessitated by the operational requirements of the proposed public water supply, and the parking lot and driveways are the minimum necessary for the number of employees required for the functioning of the facility.

However, with the construction of this project, three existing floating raw water intake structures on barges will be removed from Lake Travis, and the half-acre roof of the pump station will be used to capture rainwater that will be used in the processing of the raw water for the available public drinking water supply. If rainwater harvesting credits were allowed to offset the proposed impervious cover, the project's proposed impervious cover could be calculated as 34 percent Net Site Area rather than 90 percent Net Site Area. Additionally, with the construction of this project, an adjacent 2,500 s.f. portion of existing impervious cover on Lime Creek Road will be treated for water quality on-site rather than draining directly into Lake Travis untreated.

- c) Does not create a significant probability of harmful environmental consequences.

Yes. During construction of the site features, existing and proposed slopes will be structurally contained or restored to the extent feasible, and additional temporary and permanent erosion controls beyond the minimum requirement will be used. The site will treat adjacent untreated impervious cover from Lime Creek Road, the building roof runoff will be captured, treated, and included in the processing of the raw water for water supply, and the water quality pond proposes biofiltration media that provides for additional infiltration benefits.

- 3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes. The proposed development will be treating stormwater runoff from the impervious cover on-site, providing permanent erosion and sedimentation controls to minimize or eliminate erosion downgradient of the proposed development from entering Lake Travis, and will be providing water quality treatment and detention for a 2,500 s.f. area of off-site impervious cover from Lime Creek Road. The site will comply with the 40 percent natural area buffer located in the uplands and downgradient of the proposed site construction. This

buffer preserves and/or restores natural vegetation, soils, and topography to serve receive overland drainage from the developed areas for water quality benefits, and provides a natural vegetative buffer and setting for the developed area to fit more naturally into the landscape and be screened from lake users (see Restoration Exhibit, page 37).

B. The Land Use Commission may grant a variance from a requirement of Section 25-8-422 (*Water Supply Suburban Water Quality Transition Zone*), Section 25-8-452 (*Water Supply Rural Water Quality Transition Zone*), Section 25-8-482 (*Barton Springs Zone Water Quality Transition Zone*), Section 25-8-368 (*Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long*), or Article 7, Division 1 (*Critical Water Quality Zone Restrictions*), after determining that::

1. The criteria for granting a variance in Subsection (A) are met;

N/A.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

N/A.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

N/A.

Staff Determination: Staff determines that the findings of fact have been met. Staff recommends the following conditions:

1. Restoration of disturbed areas within the 40% Natural Area Buffer shall be subject to ECM Appendix A criteria;
2. Provide robust temporary and permanent erosion and sedimentation controls downgradient of the proposed development beyond the minimum standard;
3. Provide water quality and detention for an area of offsite impervious cover such that the total amount of impervious cover treated is comparable to only having 20 percent impervious cover onsite
4. Provide dense screening vegetation in compliance with ECM 2.9.0 for all pervious areas between the building and mechanical equipment and the right-of-way.

Environmental Reviewer
(DSD)


Jonathan Garner

Date: 11/9/20

Environmental Review
Manager (DSD)


Mike McDougal

Date: 11/9/20

Environmental Officer
(WPD)


Chris Herrington

Date: 11/10/20

Application Form

Variance to LDC 25-8-301



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Karen Bondy, General Manager
Street Address	Brushy Creek Regional Utility Authority 221 E Main Street
City State ZIP Code	Round Rock, Texas 78664
Work Phone	512-215-9151
E-Mail Address	kbondy@bcrua.org

Variance Case Information

Case Name	Brushy Creek Regional Utility Authority Raw Water Pump Station
Case Number	SP-2020-0228D
Address or Location	9416 Lime Creek Road, Leander, Texas 78641
Environmental Reviewer Name	Jonathan Garner
Environmental Resource Management Reviewer Name	Michael Markowski
Applicable Ordinance	Watershed Protection Ordinance
Watershed Name	Lake Travis
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input checked="" type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	The west property line is within 300 feet of the Elevation 681 contour of Lake Travis.
Water and Waste Water service to be provided by	City of Cedar Park (water), No sanitary wastewater will be generated. Greywater from floor drains will be pumped from a holding tank.
Request	The variance request is as follows (Cite code references): 25-8-301, to construct private driveways crossing slopes in excess of 15 percent gradient.

Impervious cover	Existing	Proposed
square footage:	<u>1,100 s.f.</u>	<u>33,787 s.f.</u>
acreage:	<u>0.025 ac</u>	<u>0.776 ac</u>
percentage:	<u>1.50 %</u>	<u>46.04 %</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	BCRUA is a non-profit local government corporation that provides treated water to the cities of Cedar Park, Leander and Round Rock. The partnership between these three cities provides a regional water supply for the community. The Raw Water Pump Station (RWPS) site contains 1.685 acres and is located east of the Sandy Creek arm of Lake Travis on Lime Creek Road. This site is the largest and flattest area that LCRA would convey to BCRUA in 2014. By comparison, the proposed RWPS buildings occupy over 0.6 acres. Over 60% of the site is steeper than 15% slope and over 20% of the site is steeper than 35% slope. The elevation ranges from 792 at Lime Creek Road to 745 at the southwest corner of the site. The existing land use includes part of Travis County's Sandy Creek Park and PEC electric distribution lines and transformer. The adjacent site to the south contains the City of Cedar Park's water treatment plant. The vegetation is a mix of grasses, understory vegetation and mostly Ashe juniper trees with some live oak trees. None of the live oaks are heritage trees. The Upper Glen Rose limestone formation is exposed on the site. There are no CEFs on the site as determined by the Environmental Resource Inventory prepared last year. About 6% of the western edge of the site is within 300 feet of the Elevation 681 contour at Lake Travis and therefore is within the Water Quality Transition Zone. No part of the site is within the Critical Water Quality Zone.	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<p>§ 25-8-301 - CONSTRUCTION OF A ROADWAY OR DRIVEWAY</p> <p>About 0.03 acres (1,260 s.f.) of fire lanes must be constructed on slopes greater than 15% on the north and south sides of the proposed RWPS building to comply with Travis County fire regulations.</p>
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Brushy Creek Regional Utility Authority Raw Water Pump Station

Ordinance: 25-8-301 - CONSTRUCTION OF A ROADWAY OR DRIVEWAY

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / ~~No~~ BCRUA used its best efforts to locate and acquire a property larger in size with flatter terrain in 2014. This site is the largest and flattest site available that LCRA would convey to BCRUA. This project is a raw water pump station, which has unique engineering and other features and requires close proximity to Lake Travis. On behalf of the cities of Cedar Park, Leander and Round Rock, the BCRUA is working diligently with the LCRA to provide the community with water. Similarly situated property with flatter terrain would not be subject to the same limitations imposed by Section 25-8-301.

2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / ~~No~~ The variance is necessitated by the operational requirements of the proposed regional public water supply use.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / ~~No~~ The minimum extent of fire lanes which comply with Travis County fire regulations are proposed.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / ~~No~~ All proposed slopes will be structurally contained or restored using permanent erosion control and soil retention blankets.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes / ~~No~~ Structural water quality control (bio-filtration) is proposed for the site that complies with the City of Austin Environmental Criteria Manual.

- B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / ~~No~~ No variances for Part B are requested.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / ~~No~~ No variances for Part B are requested.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / ~~No~~ No variances for Part B are requested.

****Variance approval requires all above affirmative findings.**

Application Form
Variance to LDC 25-8-302(A)



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Karen Bondy, General Manager
Street Address	Brushy Creek Regional Utility Authority 221 E Main Street
City State ZIP Code	Round Rock, Texas 78664
Work Phone	512-215-9151
E-Mail Address	kbondy@bcrua.org

Variance Case Information

Case Name	Brushy Creek Regional Utility Authority Raw Water Pump Station
Case Number	SP-2020-0228D
Address or Location	9416 Lime Creek Road, Leander, Texas 78641
Environmental Reviewer Name	Jonathan Garner
Environmental Resource Management Reviewer Name	Michael Markowski
Applicable Ordinance	Watershed Protection Ordinance
Watershed Name	Lake Travis
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input checked="" type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	The west property line is within 300 feet of the Elevation 681 contour of Lake Travis.
Water and Waste Water service to be provided by	City of Cedar Park (water), No sanitary wastewater will be generated. Greywater from floor drains will be pumped from holding tank.
Request	The variance request is as follows (Cite code references): 25-8-302(A), to construct a surface parking lot on slopes in excess of 15 percent gradient.

Impervious cover	Existing	Proposed
square footage:	<u>1,100 s.f.</u>	<u>33,787 s.f.</u>
acreage:	<u>0.025 ac</u>	<u>0.776 ac</u>
percentage:	<u>1.50 %</u>	<u>46.04 %</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	BCRUA is a non-profit local government corporation that provides treated water to the cities of Cedar Park, Leander and Round Rock. The partnership between these three cities provides a regional water supply for the community. The Raw Water Pump Station (RWPS) site contains 1.685 acres and is located east of the Sandy Creek arm of Lake Travis on Lime Creek Road. This site is the largest and flattest area that LCRA would convey to BCRUA in 2014. By comparison, the proposed RWPS buildings occupy 0.63 acres. Over 60% of the site is steeper than 15% slope and over 20% of the site is steeper than 35% slope. The elevation ranges from 792 at Lime Creek Road to 745 at the southwest corner of the site. The existing land use includes part of Travis County's Sandy Creek Park and PEC electric distribution lines and transformer. The adjacent site to the south contains the City of Cedar Park's water treatment plant. The vegetation is a mix of grasses, understory vegetation and mostly Ashe juniper trees with some live oak trees. None of the live oaks are heritage trees. The Upper Glen Rose limestone formation is exposed on the site. There are no CEFs on the site as determined by the Environmental Resource Inventory prepared last year. About 6% of the western edge of the site is within 300 feet of the Elevation 681 contour at Lake Travis and therefore is within the Water Quality Transition Zone. No part of the site is within the Critical Water Quality Zone.	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<p>§ 25-8-302 - CONSTRUCTION OF A BUILDING OR PARKING AREA</p> <p>(A) A person may not construct:</p> <p>(1) a building or parking structure on a slope with a gradient of more than 25 percent;</p> <p>A maximum depth of 32' along the west side of the main RWPS building must be constructed on slopes greater than 25%. This equals 0.16 acres, or about 27% of the main building area.</p>
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Brushy Creek Regional Utility Authority Raw Water Pump Station

Ordinance: 25-8-302 (A) - CONSTRUCTION OF A BUILDING OR PARKING AREA

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / No BCRUA used its best efforts to locate and acquire a property larger in size with flatter terrain in 2014. This site is the largest and flattest site available that LCRA would convey to BCRUA. This project is a raw water pump station, which has unique engineering and other features and requires close proximity to Lake Travis. On behalf of the cities of Cedar Park, Leander and Round Rock, the BCRUA is working diligently with the LCRA to provide the community with water. Similarly situated property with flatter terrain would not be subject to the same limitations imposed by Section 25-8-302(A).

2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / ~~No~~ The variance is necessitated by the operational requirements of the proposed regional public water supply use.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / ~~No~~ The building is positioned as close to Lime Creek Road and away from the steepest slopes on the site as possible. Only six parking spaces and the approach for a truck loading dock are located between the building and the right of way of Lime Creek Road.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / ~~No~~ The main RWPS building will be structurally contained adjacent to the slopes exceeding 15%.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes / ~~No~~ All rainfall runoff from the roof of the main RWPS building will be harvested and pumped to the BCRUA water treatment plant.

- B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / ~~No~~ No variances for Part B are requested.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / ~~No~~ No variances for Part B are requested.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / ~~No~~ No variances for Part B are requested.

****Variance approval requires all above affirmative findings.**

Application Form

Variance to LDC 25-8-302(B)



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Karen Bondy, General Manager
Street Address	Brushy Creek Regional Utility Authority 221 E Main Street
City State ZIP Code	Round Rock, Texas 78664
Work Phone	512-215-9151
E-Mail Address	kbondy@bcrua.org

Variance Case Information

Case Name	Brushy Creek Regional Utility Authority Raw Water Pump Station
Case Number	SP-2020-0228D
Address or Location	9416 Lime Creek Road, Leander, Texas 78641
Environmental Reviewer Name	Jonathan Garner
Environmental Resource Management Reviewer Name	Michael Markowski
Applicable Ordinance	Watershed Protection Ordinance
Watershed Name	Lake Travis
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input checked="" type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	The west property line is within 300 feet of the Elevation 681 contour of Lake Travis.
Water and Waste Water service to be provided by	City of Cedar Park (water), No sanitary wastewater will be generated. Greywater from floor drains will be pumped from holding tank.
Request	The variance request is as follows (Cite code references): 25-8-302(B), to construct a building on slopes in excess of 25 percent gradient, and exceed impervious cover allowance on slopes with a gradient of more than 15 percent.

Impervious cover	Existing	Proposed
square footage:	<u>1,100 s.f.</u>	<u>33,787 s.f</u>
acreage:	<u>0.025 ac</u>	<u>0.776 ac</u>
percentage:	<u>1.50 %</u>	<u>46.04 %</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	BCRUA is a non-profit local government corporation that provides treated water to the cities of Cedar Park, Leander and Round Rock. The partnership between these three cities provides a regional water supply for the community. The Raw Water Pump Station (RWPS) site contains 1.685 acres and is located east of the Sandy Creek arm of Lake Travis on Lime Creek Road. This size is the largest and flattest area that LCRA would convey to BCRUA in 2014. By comparison, the proposed RWPS buildings occupy 0.63 acres. Over 60% of the site is steeper than 15% slope and over 20% of the site is steeper than 35% slope. The elevation ranges from 792 at Lime Creek Road to 745 at the southwest corner of the site. The existing land use includes part of Travis County's Sandy Creek Park and PEC electric distribution lines and transformer. The adjacent site to the south contains the City of Cedar Park's water treatment plant. The vegetation is a mix of grasses, understory vegetation and mostly Ashe juniper trees with some live oak trees. None of the live oaks are heritage trees. The Upper Glen Rose limestone formation is exposed on the site. There are no CEFs on the site as determined by the Environmental Resource Inventory prepared last year. About 6% of the western edge of the site is within 300 feet of the Elevation 681 contour at Lake Travis and therefore is within the Water Quality Transition Zone. No part	

	of the site is within the Critical Water Quality Zone.	
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Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<p>§ 25-8-302 - CONSTRUCTION OF A BUILDING OR PARKING AREA</p> <p>(B) A person may construct a building or parking structure on a slope with a gradient of more than 15 percent and not more than 25 percent if the requirements of this subsection are met.</p> <p>(1) Impervious cover on slopes with a gradient of more than 15 percent may not exceed 10 percent of the total area of the slopes.</p> <p>About 0.26 acres of the main RWPS building, or 54% of the main building area, must be constructed on slopes greater than 15%. Impervious cover on slopes steeper than 15% is 0.29 acres. Ten percent of the total area of the slopes is 0.025 acres.</p>
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Brushy Creek Regional Utility Authority Raw Water Pump Station

Ordinance: 25-8-302 - CONSTRUCTION OF A BUILDING OR PARKING AREA

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / ~~No~~ BCRUA used its best efforts to locate and acquire a property larger in size with flatter terrain in 2014. This site is the largest and flattest site available that LCRA would convey to BCRUA. This project is a raw water pump station, which has unique engineering and other features and requires close proximity to Lake Travis. On behalf of the cities of Cedar Park, Leander and Round Rock, the BCRUA is working diligently with the LCRA to provide the community with water. Similarly situated property with flatter terrain would not be subject to the same limitations imposed by Section 25-8-302(B).

2. The variance:

- a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / ~~No~~ The variance is necessitated by the operational requirements of the proposed regional public water supply use.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / ~~No~~ The building is positioned as close to Lime Creek Road and away from the steepest slopes on the site as possible. Only six parking spaces and the approach for a truck loading dock are located between the building and the right of way of Lime Creek Road.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / ~~No~~ The main RWPS building will be structurally contained adjacent to the slopes exceeding 15%.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes / ~~No~~ All rainfall runoff from the roof of the main RWPS building will be harvested and pumped to the BCRUA water treatment plant.

B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / ~~No~~ No variances for Part B are requested.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / ~~No~~ No variances for Part B are requested.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / ~~No~~ No variances for Part B are requested.

Applicant Exhibits
Variance to LDC 25-8-342



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Karen Bondy, General Manager
Street Address	Brushy Creek Regional Utility Authority 221 E Main Street
City State ZIP Code	Round Rock, Texas 78664
Work Phone	512-215-9151
E-Mail Address	kbondy@bcrua.org

Variance Case Information

Case Name	Brushy Creek Regional Utility Authority Raw Water Pump Station
Case Number	SP-2020-0228D
Address or Location	9416 Lime Creek Road, Leander, Texas 78641
Environmental Reviewer Name	Jonathan Garner
Environmental Resource Management Reviewer Name	Michael Markowski
Applicable Ordinance	Watershed Protection Ordinance
Watershed Name	Lake Travis
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input checked="" type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	The west property line is within 300 feet of the Elevation 681 contour of Lake Travis.
Water and Waste Water service to be provided by	City of Cedar Park (water), No sanitary wastewater will be generated. Greywater from floor drains will be pumped from a holding tank.
Request	The variance request is as follows (Cite code references): 25-8-342, to allow fill in excess of four feet in the Drinking Water Protection Zone.

Impervious cover	Existing	Proposed
square footage:	<u>1,100 s.f.</u>	<u>33,787 s.f</u>
acreage:	<u>0.025 ac</u>	<u>0.776 ac</u>
percentage:	<u>1.50 %</u>	<u>46.04 %</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	BCRUA is a non-profit local government corporation that provides treated water to the cities of Cedar Park, Leander and Round Rock. The partnership between these three cities provides a regional water supply for the community. The Raw Water Pump Station (RWPS) site contains 1.685 acres and is located east of the Sandy Creek arm of Lake Travis on Lime Creek Road. This size is the largest and flattest area that LCRA would convey to BCRUA in 2014. By comparison, the proposed RWPS buildings occupy over 0.6 acres. Over 60% of the site is steeper than 15% slope and over 20% of the site is steeper than 35% slope. The elevation ranges from 792 at Lime Creek Road to 745 at the southwest corner of the site. The existing land use includes part of Travis County's Sandy Creek Park and PEC electric distribution lines and transformer. The adjacent site to the south contains the City of Cedar Park's water treatment plant. The vegetation is a mix of grasses, understory vegetation and mostly Ashe juniper trees with some live oak trees. None of the live oaks are heritage trees. The Upper Glen Rose limestone formation is exposed on the site. There are no CEFs on the site as determined by the Environmental Resource Inventory prepared last year. About 6% of the western edge of the site is within 300 feet of the Elevation 681 contour at Lake Travis and therefore is within the Water Quality Transition Zone. No part of the site is within the Critical Water Quality Zone.	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<p>§ 25-8-342 - FILL REQUIREMENTS (A)</p> <p>(A) Fill on a tract of land may not exceed four feet of depth.</p> <p>Most of the north fire lane and the west half of the south fire lane must exceed four feet of fill depth to comply with Travis County fire regulations. The area of fill greater than four feet of depth is 6,710 s.f.</p>
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Brushy Creek Regional Utility Authority Raw Water Pump Station

Ordinance: 25-8-342 - FILL REQUIREMENTS

- A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:
1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / No BCRUA used its best efforts to locate and acquire a property larger in size with flatter terrain in 2014. This site is the largest and flattest site available that LCRA would convey to BCRUA. This project is a raw water pump station, which has unique engineering and other features and requires close proximity to Lake Travis. On behalf of the cities of Cedar Park, Leander and Round Rock, the BCRUA is working diligently with the LCRA to provide the community with water. Similarly situated property with flatter terrain would not be subject to the same limitations imposed by Section 25-8-342.
 2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / No The variance is necessitated by the operational requirements of the proposed regional public water supply use.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / ~~No~~ The gradient of the south fire lane will be at the maximum allowed by Travis County fire regulations and will be structurally contained on two sides to minimize the amount of fill required. The north fire lane will be structurally contained on three sides.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / ~~No~~ All proposed slopes will be structurally contained or restored using permanent erosion control and soil retention blankets.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes / ~~No~~ Structural water quality control (bio-filtration) is proposed for the site that complies with the City of Austin Environmental Criteria Manual.

- B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / ~~No~~ No variances for Part B are requested.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / ~~No~~ No variances for Part B are requested.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / ~~No~~ No variances for Part B are requested.

****Variance approval requires all above affirmative findings.**

Applicant Exhibits
Variance to LDC 25-8-453(D)(1)



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Karen Bondy, General Manager
Street Address	Brushy Creek Regional Utility Authority 221 E Main Street
City State ZIP Code	Round Rock, Texas 78664
Work Phone	512-215-9151
E-Mail Address	kbondy@bcrua.org

Variance Case Information

Case Name	Brushy Creek Regional Utility Authority Raw Water Pump Station
Case Number	SP-2020-0228D
Address or Location	9416 Lime Creek Road, Leander, Texas 78641
Environmental Reviewer Name	Jonathan Garner
Environmental Resource Management Reviewer Name	Michael Markowski
Applicable Ordinance	Watershed Protection Ordinance
Watershed Name	Lake Travis
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input checked="" type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	The west property line is within 300 feet of the Elevation 681 contour of Lake Travis.
Water and Waste Water service to be provided by	City of Cedar Park (water), No sanitary wastewater will be generated. Greywater from floor drains will be pumped from a holding tank.
Request	The variance request is as follows (Cite code references): 25-8-453(D)(1), to allow impervious cover in excess of 20 percent Net Site Area.

Impervious cover	Existing	Proposed
square footage:	<u>1,100 s.f.</u>	<u>33,787 s.f.</u>
acreage:	<u>0.025 ac</u>	<u>0.776 ac</u>
percentage:	<u>1.50 %</u>	<u>46.04 %</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	BCRUA is a non-profit local government corporation that provides treated water to the cities of Cedar Park, Leander and Round Rock. The partnership between these three cities provides a regional water supply for the community. The Raw Water Pump Station (RWPS) site contains 1.685 acres and is located east of the Sandy Creek arm of Lake Travis on Lime Creek Road. This site is the largest and flattest area that LCRA would convey to BCRUA in 2014. By comparison, the proposed RWPS buildings occupy over 0.6 acres. Over 60% of the site is steeper than 15% slope and over 20% of the site is steeper than 35% slope. The elevation ranges from 792 at Lime Creek Road to 745 at the southwest corner of the site. The existing land use includes part of Travis County's Sandy Creek Park and PEC electric distribution lines and transformer. The adjacent site to the south contains the City of Cedar Park's water treatment plant. The vegetation is a mix of grasses, understory vegetation and mostly Ashe juniper trees with some live oak trees. None of the live oaks are heritage trees. The Upper Glen Rose limestone formation is exposed on the site. There are no CEFs on the site as determined by the Environmental Resource Inventory prepared last year. About 6% of the western edge of the site is within 300 feet of the Elevation 681 contour at Lake Travis and therefore is within the Water Quality Transition Zone. No part of the site is within the Critical Water Quality Zone.	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<p>§ 25-8-453 - UPLANDS ZONE</p> <p>(D) This subsection applies to a commercial, multifamily residential use, or mixed use.</p> <p>(1) Impervious cover may not exceed:</p> <p>(a) 20 percent</p> <p>The RWPS site is proposing 90.92% impervious cover (0.776 acres) based on a net site area of 0.854 acres.</p>
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Brushy Creek Regional Utility Authority Raw Water Pump Station

Ordinance: 25-8-453 - UPLANDS ZONE

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / No BCRUA attempted to acquire property larger in size with flatter terrain in 2014. BCRUA used its best efforts to locate and acquire a property larger in size with flatter terrain in 2014. This site is the largest and flattest site available that LCRA would convey to BCRUA. This project is a raw water pump station, which has unique engineering and other features and requires close proximity to Lake Travis. On behalf of the cities of Cedar Park, Leander and Round Rock, the BCRUA is working diligently with the LCRA to provide the community with water. Similarly situated property with flatter terrain would not be subject to the same limitations imposed by Section 25-8-453(D)(1).

2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / ~~No~~ The variance is necessitated by the operational requirements of the proposed regional public water supply use.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / ~~No~~ Only six parking spaces and the minimum amount of fire lanes required by Travis County fire regulations are proposed. The size of the RWPS main building is necessitated by the operational requirements of the proposed regional public water supply use.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / ~~No~~ All proposed slopes will be structurally contained or restored using permanent erosion control and soil retention blankets.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes / ~~No~~ All rainfall runoff from the roof of the main RWPS building will be harvested and pumped to the BCRUA water treatment plant. Structural water quality control (bio-filtration) is proposed for the site that complies with the City of Austin Environmental Criteria Manual.

- B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / ~~No~~ No variances for Part B are requested.

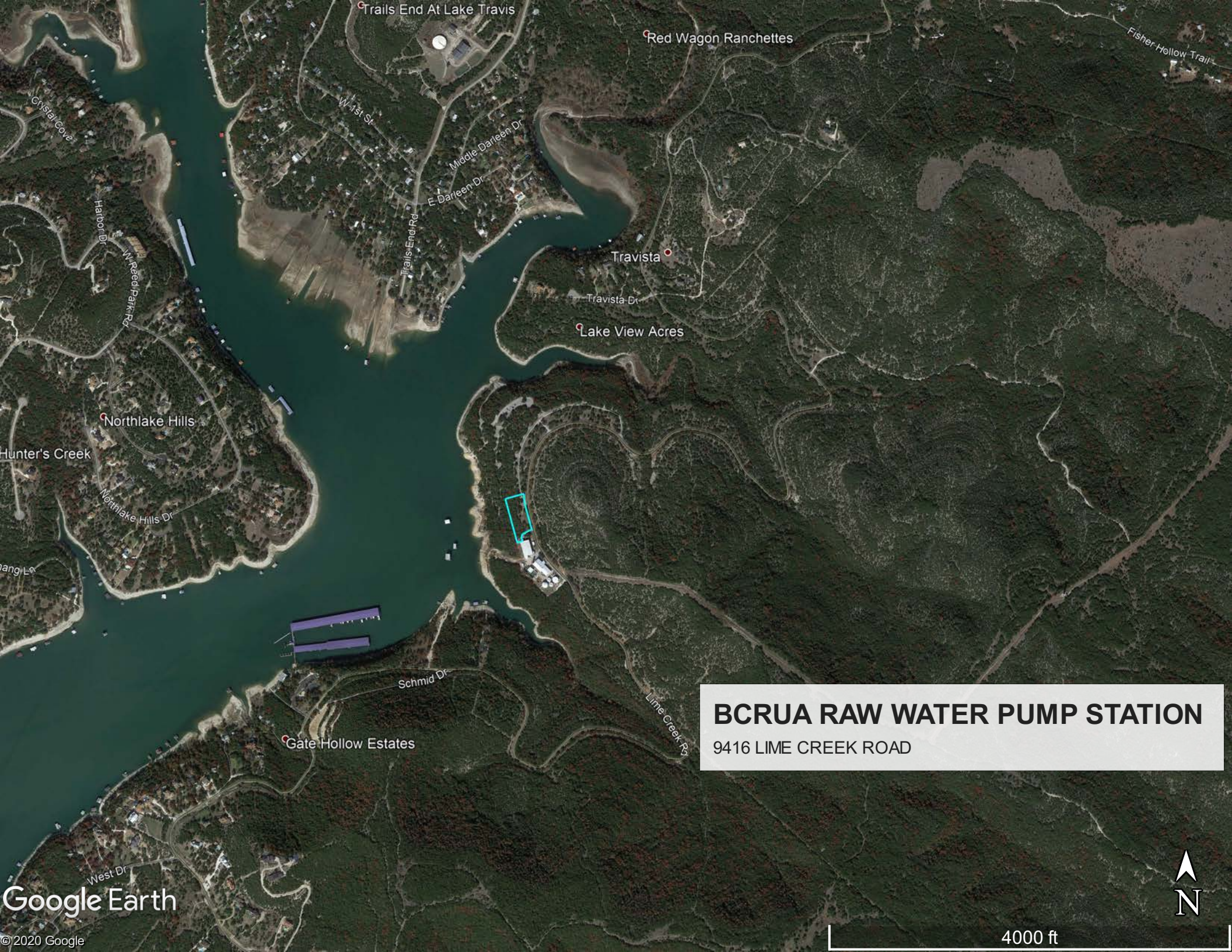
2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / ~~No~~ No variances for Part B are requested.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / ~~No~~ No variances for Part B are requested.

**Variance approval requires all above affirmative findings.

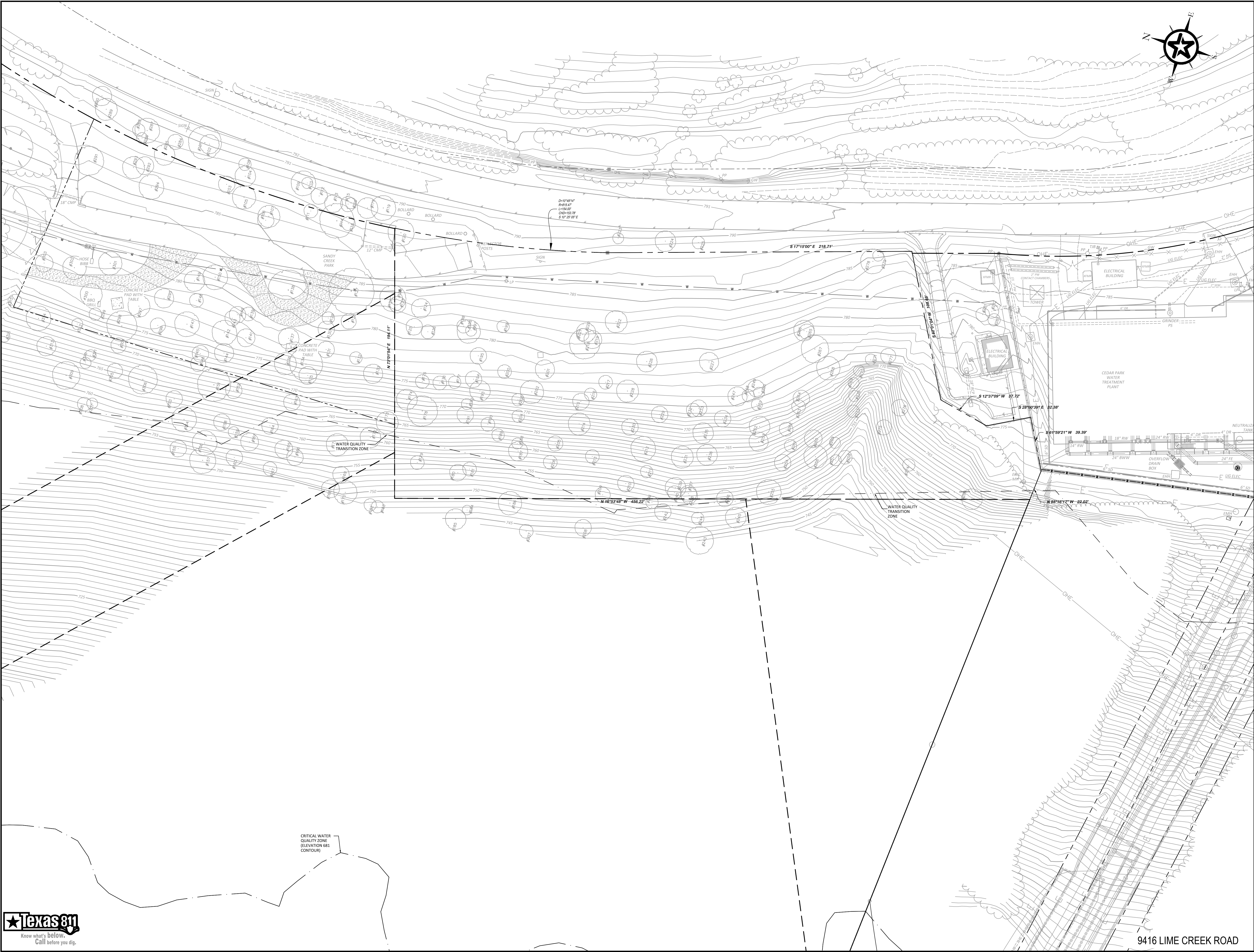


BCRUA RAW WATER PUMP STATION

9416 LIME CREEK ROAD




I:\BRUA\C-RWPS-COA-EXIST-SITE.DWG, EXIST SITE PLAN, 9/9/2020 12:46:19 PM, dsmith





0153060

GRAPHIC SCALE (FEET)

REV.	DESCRIPTION	DATE

 **Walker Partners**
engineers ★ surveyors


 **FREEZE & NICHOLS**
JOINT VENTURE T.B.P.E. Registration No. 19893


 **BRUSHY CREEK**
REGIONAL UTILITY AUTHORITY

RAW WATER PUMP STATION

OVERALL EXISTING CONDITIONS

9-4-2020
DATE


DAVID P. SMITH

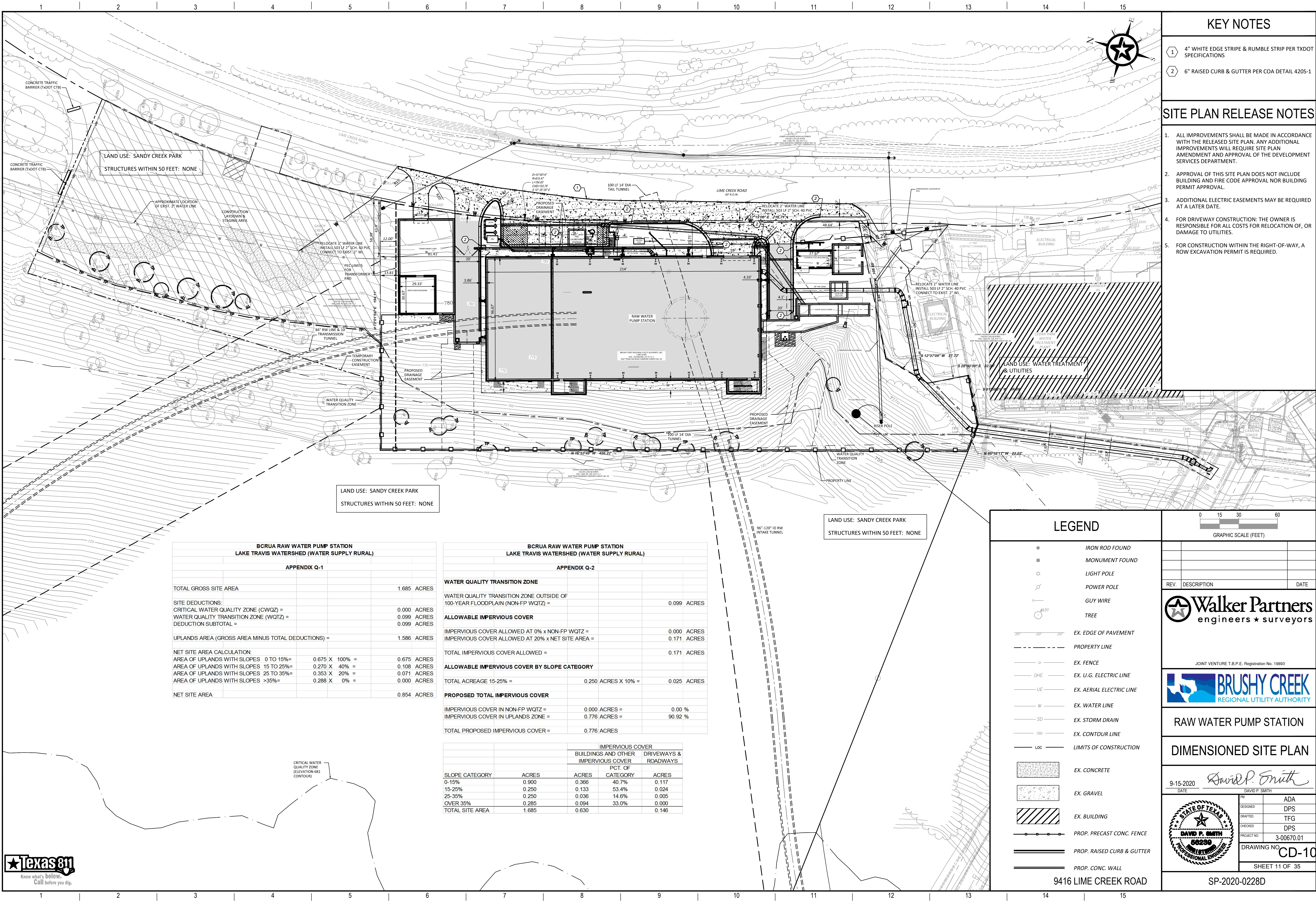
 **DAVID P. SMITH**
PROFESSIONAL ENGINEER

DESIGNED	ADA
DRAFTED	DPS
CHECKED	TFG
PROJECT NO.	DPS
DRAWING NO.	3-00670.01
CD-4	
SHEET 5 OF 35	

9416 LIME CREEK ROAD

SP-2020-0228D

1:BCRUA-C-RWPS-COA-DIM SITE.DWG, CD-10 DIMENSIONED SITE PLAN, 9/16/2020 9:39:16 AM, dsmith



KEY NOTES

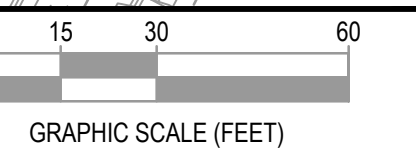
- 4" WHITE EDGE STRIPE & RUMBLE STRIP PER TXDOT SPECIFICATIONS
- 6" RAISED CURB & GUTTER PER COA DETAIL 420S-1

SITE PLAN RELEASE NOTES

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE DEVELOPMENT SERVICES DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.

LEGEND

- IRON ROD FOUND
- MONUMENT FOUND
- LIGHT POLE
- POWER POLE
- GUY WIRE
- TREE
- EX. EDGE OF PAVEMENT
- PROPERTY LINE
- EX. FENCE
- EX. U.G. ELECTRIC LINE
- EX. AERIAL ELECTRIC LINE
- EX. WATER LINE
- EX. STORM DRAIN
- EX. CONTOUR LINE
- LIMITS OF CONSTRUCTION
- EX. CONCRETE
- EX. GRAVEL
- EX. BUILDING
- PROP. PRECAST CONC. FENCE
- PROP. RAISED CURB & GUTTER
- PROP. CONC. WALL



REV.	DESCRIPTION	DATE
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RAW WATER PUMP STATION

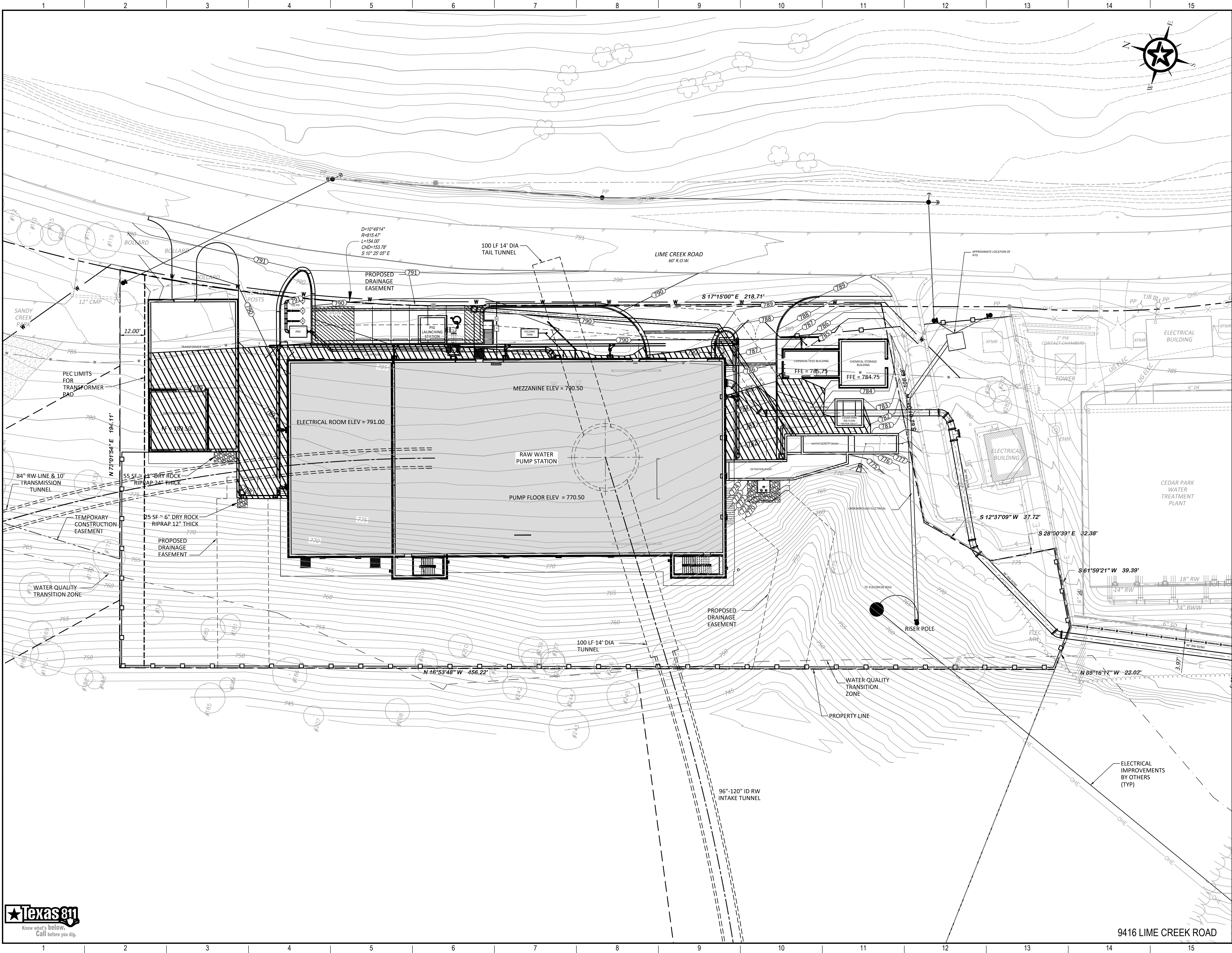
DIMENSIONED SITE PLAN

9-15-2020	DAVID P. SMITH
DATE	DAVID P. SMITH
DESIGNED	ADA
DRAFTED	DPS
CHECKED	TFG
PROJECT NO.	DPS
PROJECT NO.	3-00670.01
DRAWING NO.	CD-10
SHEET 11 OF 35	

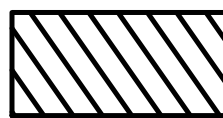
SP-2020-0228D

9416 LIME CREEK ROAD

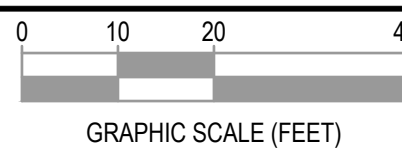
I:\BRU\A-C-RWPS COA-FILL EXHIBIT.DWG, FILL EXHIBIT, 9/9/2020 1:22:27 PM, dsmith



LEGEND



AREA OF FILL
4'-12" DEEP (6,710 S.F.)



REV.	DESCRIPTION	DATE
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 **Walker Partners**
engineers ★ surveyors


 **FREEZE
& NICHOLS**
JOINT VENTURE T.B.P.E. Registration No. 19893

 **BRUSHY CREEK**
REGIONAL UTILITY AUTHORITY

RAW WATER PUMP STATION

FILL EXHIBIT

9-4-2020 
DATE DAVID P. SMITH

	DESIGNED	ADA
	DRAFTED	DPS
	CHECKED	TFG
	PROJECT NO.	DPS
	DRAWING NO.	3-00670.01

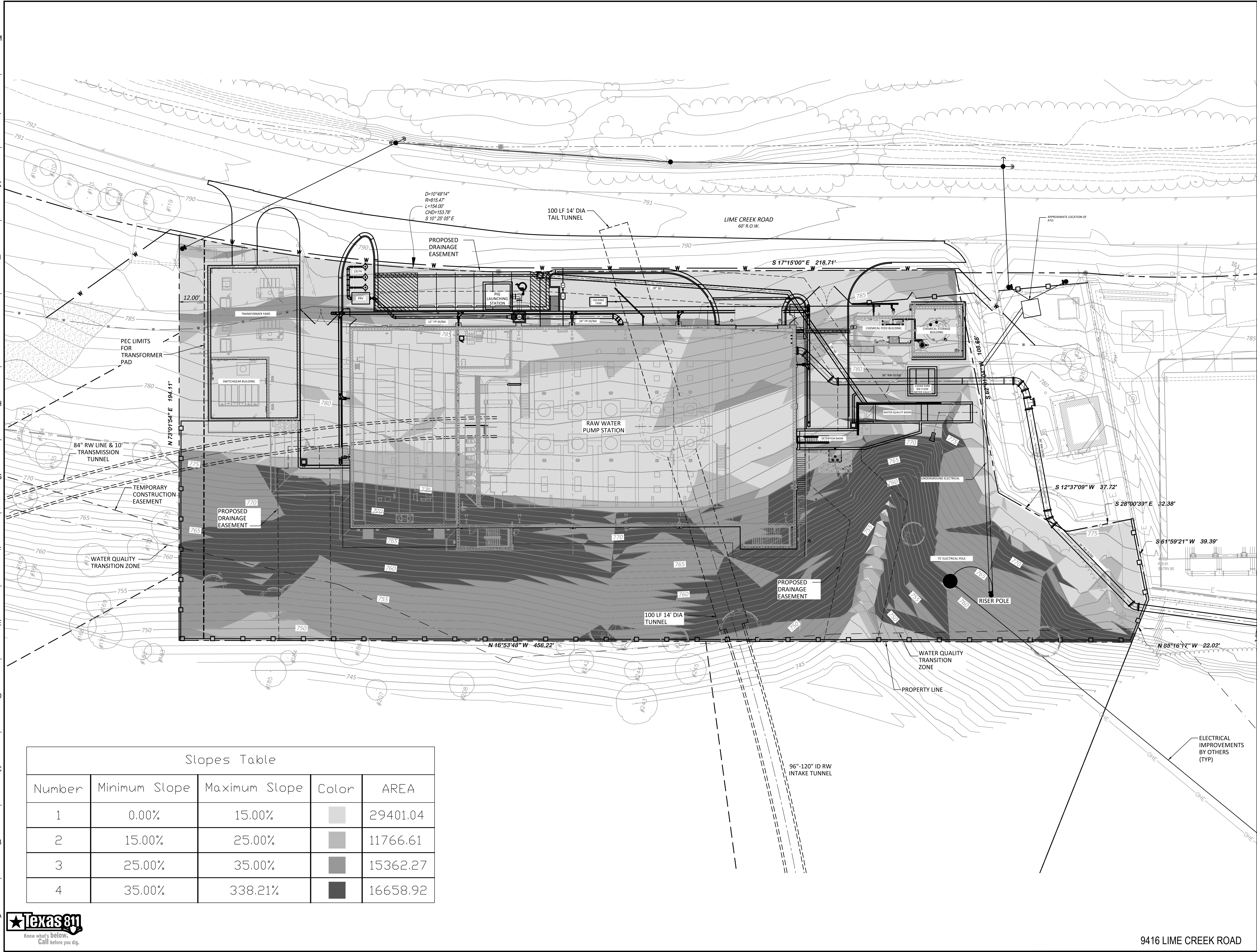
FILL-1

SHEET OF 35

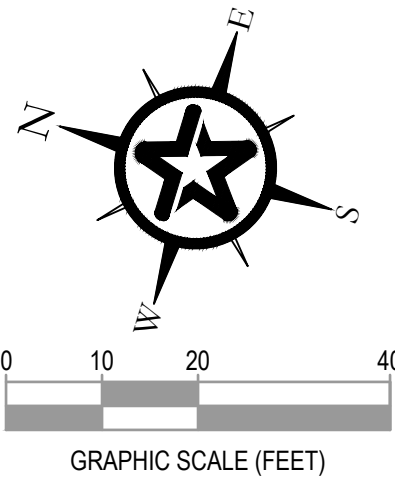
9416 LIME CREEK ROAD

SP-2020-0228D

I:\BCRUA\XG-SHEET-CD-24\XG-SHEET-CD-24.dwg, MODEL, 8/2/2020 3:38:21 PM, demith



Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	AREA
1	0.00%	15.00%		29401.04
2	15.00%	25.00%		11766.61
3	25.00%	35.00%		15362.27
4	35.00%	338.21%		16658.92





Walker Partners

engineers • surveyors



FREEZE & NICHOLS

JOINT VENTURE T.B.P.E. Registration No. 19893



BRUSHY CREEK

REGIONAL UTILITY AUTHORITY


RAW WATER PUMP STATION

SLOPE MAP

9-4-2020

David P. Smith

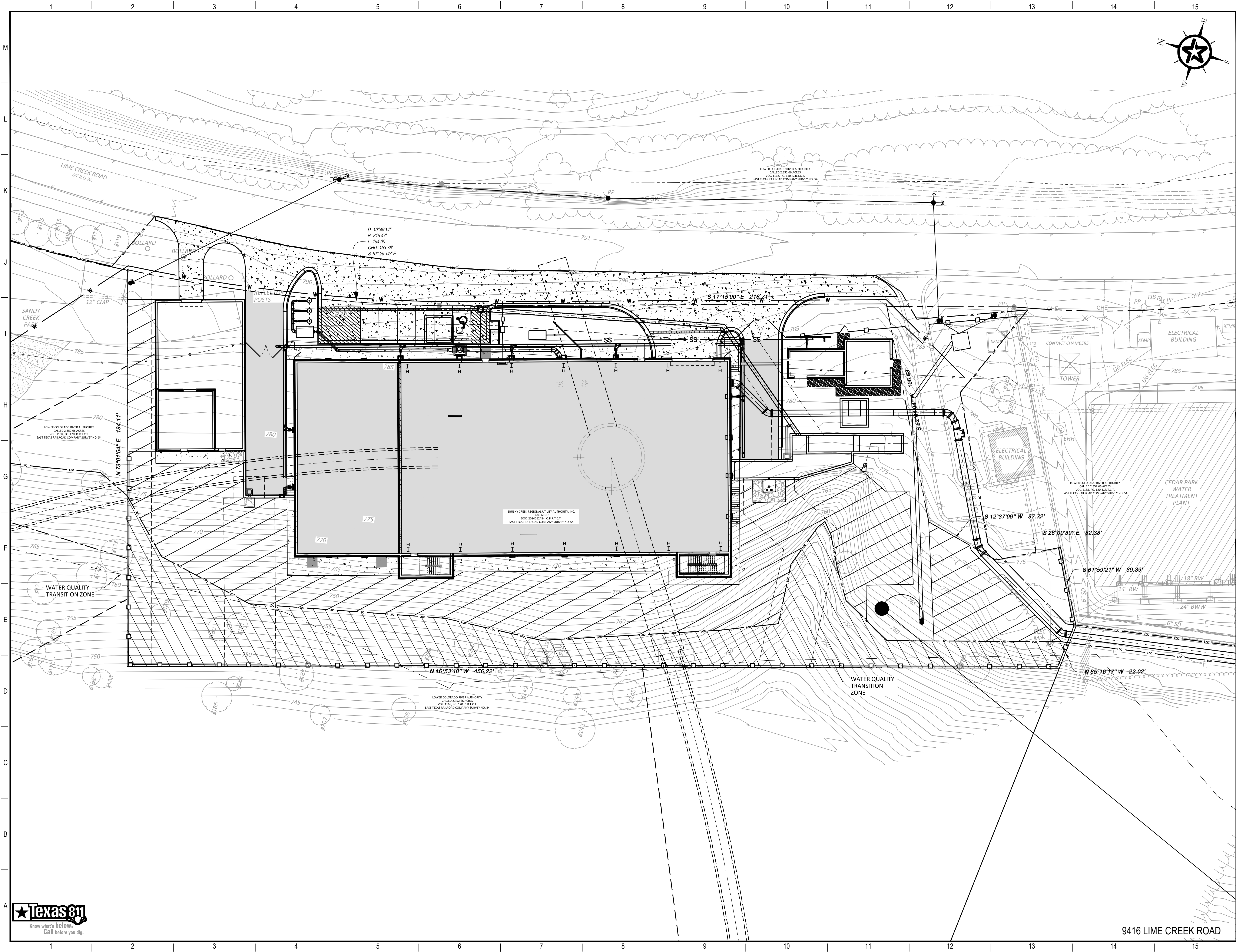
DAVID P. SMITH



PM	ADA
DESIGNED	DPS
DRAFTED	TFG
CHECKED	DPS
PROJECT NO.	3-00670.01
DRAWING NO.	CD-5
SHEET 6 OF 35	

SP-2020-0228D

I:\BCRIA\RESTORATION.DWG, RESTORATION EXHIBIT, 9/29/2020 9:56:02 AM, dsmith



RETAINED IN NATURAL STATE
11,821 S.F.

RESTORED TO NATURAL STATE
16,685 S.F.

LIMITS OF CONSTRUCTION

TOTAL AREA RETAINED IN OR RESTORED TO NATURAL STATE
= 28,506 S.F.

UPLANDS AREA OF SITE = 69,086 S.F.

REQUIRED AREA TO BE RETAINED OR RESTORED TO
NATURAL STATE = 0.40 x 69,086 S.F. = 27,634 S.F.

0102040

GRAPHIC SCALE (FEET)

REV.	DESCRIPTION	DATE

Walker Partners

engineers ★ surveyors

FREESE & NICHOLS

JOINT VENTURE T.B.P.E. Registration No. 19893

BRUSHY CREEK

REGIONAL UTILITY AUTHORITY

RAW WATER PUMP STATION

RESTORATION EXHIBIT

9-29-2020

DATE

DAVID P. SMITH

STATE OF TEXAS

DAVID P. SMITH

56289

REGISTERED PROFESSIONAL ENGINEER

DESIGNED

ADDA

DRAFTED

DPS

CHECKED

TFG

PROJECT NO.

DPS

PROJECT NO.

3-00670.01

DRAWING NO.

EX 1

SHEET --

OF 35

9416 LIME CREEK ROAD

SP-2020-0228D