

1 SITE PLAN

SCALE: 1" = 40'-0"

LEGAL DESCRIPTION

WEST 27 FEET OF LOT 13 AND THE EAST 50 FEET OF LOT 14, BLOCK 28, PEMBERTON HEIGHTS, SECTION 8, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 4, PAGE 29, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

SURVEY PREPARED BY:
WATERLOO SURVEYORS INC.
2208 W. ANDERSON LN.
AUSTIN, TEXAS 78757
512-481-9602

PREPARED ON: 04-21-2020
SURVEY PREPARED BY:
THOMAS P. DIXON

REGISTERED PROFESSIONAL
LAND SURVEYOR STATE OF TEXAS
NO. 4324

TREE PROTECTION NOTES

1. PROVIDE MINIMUM 5' (FIVE FEET) HIGH CHAIN LINK MESH FENCING AROUND 1/2 CRITICAL ROOT ZONES AS SHOWN IN DRAWING. POSTS FOR THE FENCING SHALL BE SPACED A MAXIMUM OF 8' (EIGHT FEET APART)
2. DETERMINING CRITICAL ROOT ZONES: AS AN EXAMPLE, A TREE WITH A 20" (TWENTY INCH) DIAMETER TRUNK HAS A CRITICAL ROOT ZONE OF 20' (TWENTY FEET) AND A 1/2 CRITICAL ROOT ZONE OF 10' (TEN FEET).
3. TREES SHALL BE PROTECTED PRIOR TO ANY MOBILIZATION ON SITE.
4. NO WORK SHALL BE DONE WITHIN THE 1/2 CRITICAL ROOT ZONES OF THESE TREES, INCLUDING STAGING OR STORING OF ANY MATERIALS.
5. A CERTIFIED ARBORIST SHALL BE RETAINED BY THE GENERAL CONTRACTOR TO MONITOR THE HEALTH OF ALL TREES FOR THE ENTIRE DURATION OF CONSTRUCTION.

SAFETY NOTES

PROVIDE SMOKE DETECTOR SYSTEM (HARDWIRED, INTERCONNECTED, BATTERY BACK-UP) AT EACH SLEEPING ROOM AND VICINITY IN ACCORDANCE WITH IRC R314.

PROVIDE CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF SLEEPING ROOMS IN ACCORDANCE WITH IRC R315.

NOTES

1. SEE CIVIL FOR ALL GRADING, DRAINAGE, WATER RETENTION AND DRAIN INLET/OUTLET LOCATIONS.
2. NEW ELECTRICAL SERVICE TO HOUSE SHALL BE BURIED.
3. VERIFY ALL HARDSCAPE INCLUDING DRIVES, PARKING AREAS, WALLS, STEPS AND WALKS WITH LANDSCAPE ARCHITECT.
4. VERIFY POOL AND SPA INCLUDING EQUIPMENT LOCATIONS WITH LANDSCAPE ARCHITECT.
5. THE CONTRACTOR IS ENCOURAGED TO HIRE A WATERPROOFING CONSULTANT TO DIRECT THE MEANS AND METHODS OF WATERPROOFING ALL PORTIONS OF THE PROJECT.

Bruce Remodel

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of exterior wall.			

a. 1st Level Conditioned Area	1,514	389	1,903
b. 2nd Level Conditioned Area	1,014	604	1,618
c. Attic Level Conditioned Area	0	273	273
d. Basement	0	0	0

e. Covered Parking (garage or carport)			
Garage	699	0	699
Carport	0	0	0
f. Covered patio, deck, porch, and/or balcony area(s)			
Front Porch	0	320	320
Rear Porch	0	226	226
g. Other covered or roofed area (storage closet)	0	0	0

Total Building Coverage	2,213	935	3,148
(exclude b, c, d from total)			
40% maximum allowable for SF-3 per Zoning Ordinance			Lot Area = 10,748
Maximum Allowable = 4,299			
Total Building Coverage (sqft)	3,148	% of the Lot Size	29.29%

h. Uncovered wood deck (counted at 50%)	0	0	0
i. Driveway	1,102	0	1,102
j. Sidewalks	132	17	149
k. Uncovered Patio	0	0	0
l. AC Pad	27	16	43
m. Other			
Exterior Stairs	0	125	125
Pool Coping	0	0	0
Pool Equipment	0	0	0
Eaves (in excess of 2')	0	0	0
n. Pool and Spa water surface (to be excluded)	0	0	0

Total Site Coverage	1,281	1,093	4,567
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Total Impervious Coverage			
45% maximum allowable for SF-3 per Zoning Ordinance			Lot Area = 10,748
Maximum Allowable = 4,837			
Total Impervious Coverage (sqft)	4,567	% of the Lot Size	42.49%

Gross Floor Area	Existing Sq Ft	New/Added Sq Ft	Exemption	Total Sq Ft
1st Level Conditioned	1,514	389		1,903
2nd Level Conditioned	1,014	604		1,618
Area w/ Ceiling > 15'	0	0		0
Ground Floor Porches		558	558	0
Basement Level Conditioned	0	0	0	0
Attic	0	273		273
Garage Attached	699	0	-200	499
Garage Detached	0	0	0	0
Carport Attached	0	0	0	0
Carport Detached	0	0	0	0
Accessory Buildings	0	0	0	0

Total Gross Floor Area				4,293
40% maximum allowable				Lot Area = 10,748
Maximum Allowable = 4,299				
Total Gross Floor Area FAR (sqft)	4,293	% of the Lot Size		39.94%

Revisions Date

Notes

The Contractor is responsible for confirming and correcting dimensions at the job site; the means, methods, techniques, sequences, or procedures of construction; and for safety precautions in connection with the Project.

SAM BURCH
ARCHITECT



Bruce Remodel
1406 Ethridge Avenue
Austin, Texas

Permit Set

Site Plan

Issue Date
09-23-20
Scale
1"=40'-0"

A-2.0



SITE PLAN

SCALE: 1" = 40'-0"

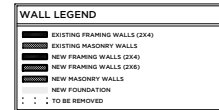
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Permit Set

First Floor Demo Plan

Issue Date 09-23-20	A-3.0
Scale 3/32"=1'-0"	

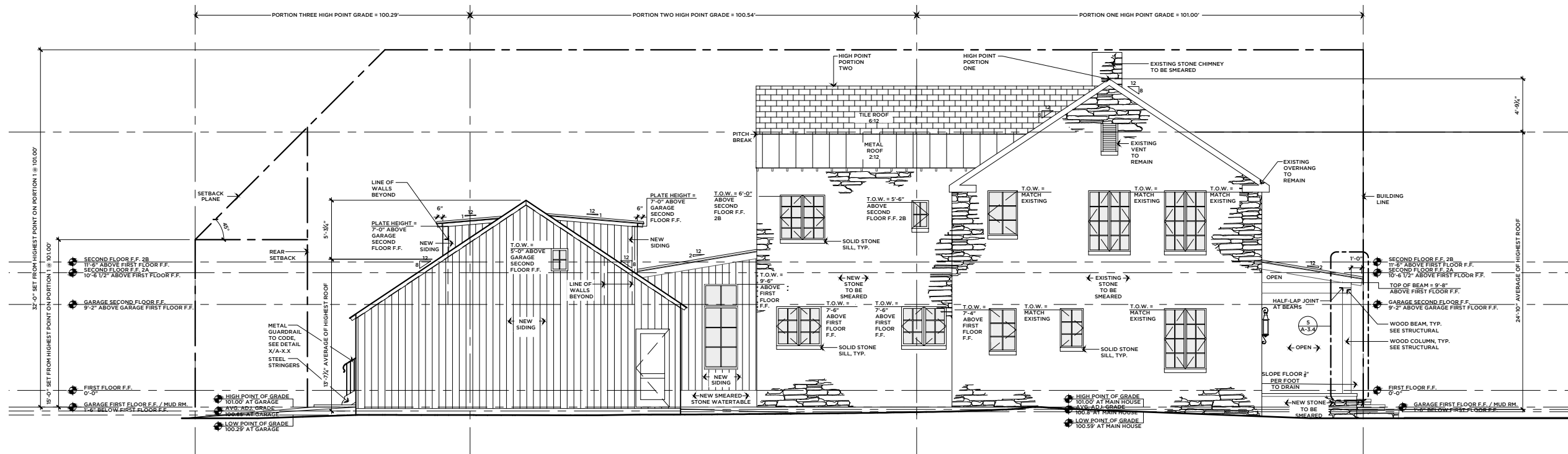


FIRST FLOOR DEMO PLAN

SCALE: $\frac{3}{32}'' = 1'-0''$



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR ELEVATIONS

SCALE: 3/32" = 1'-0"

Revisions Date

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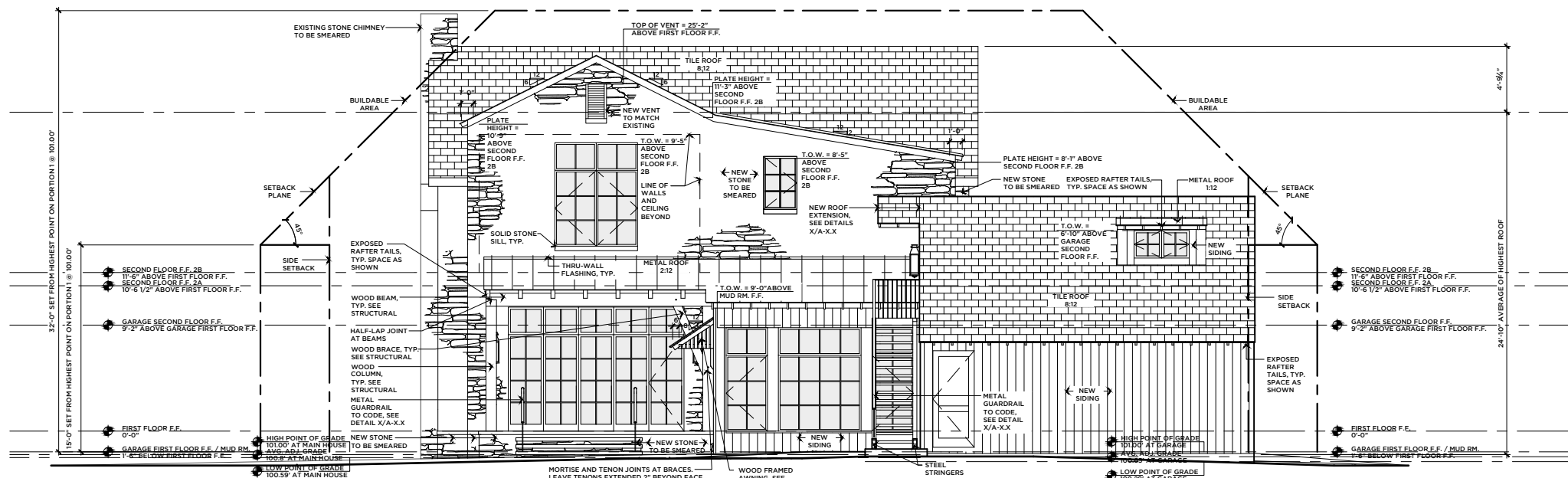


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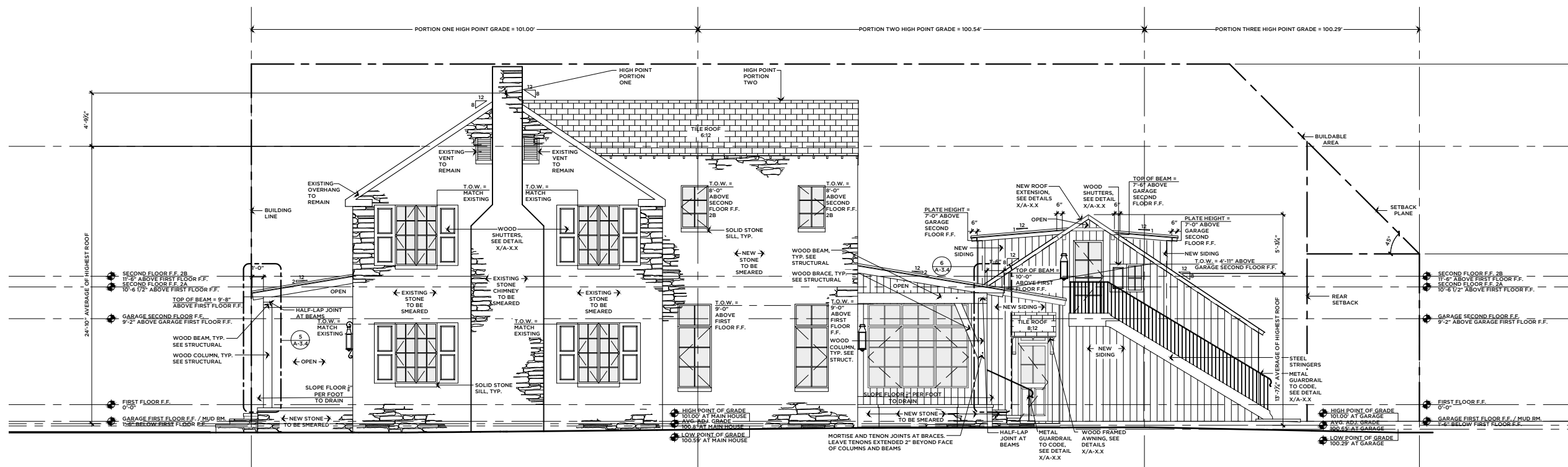
Permit Set

Exterior Elevations

Issue Date
09-23-20
Scale
3/32"=1'-0"
A-4.0



1 REAR ELEVATION
SCALE: 3/32" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

Revisions Date

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Bruce Remodel
1406 Ethridge Avenue
Austin, Texas

Permit Set

Exterior Elevations

Issue Date
09-23-20
Scale
3/32"=1'-0"
A-4.1

EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"









