



everyone assures your group plenty  
... whatever age groups. Each  
something to remember about your  
Gardens. One group per evening  
make your reservations in ample  
disappointment.







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## PROJECT GOALS





## PROJECT GOALS

The Fiesta Gardens Rehabilitation focuses on preserving and restoring character-defining architectural features of the historic structures while rehabilitating to meet current codes and enhance the use of the site.

The project scope was conceived by the Austin Parks and Recreation Department (PARD) and incorporates elements of the 2014 Holly Shores Master Plan and on going maintenance needs. In 2019, PARD selected a team lead by Clayton Korte to develop the program and design.

Programmatically the focus will remain unchanged: Fiesta Gardens will continue to provide a special events rental venue for family celebrations such as reunions, fiestas de quinceañera, parties and weddings. The complex will also continue to serve the surrounding park areas during festivals.





## SITE HISTORY



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- Texas  
 BOA  
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 Special  
 DINNER  
 MENUS  
 DA  
 th  
 Shopping  
 IN THE  
 MEXICAN  
 MARKET  
 Unique Plants  
 TROPICAL  
 GREENHOUSE

Something for everyone assures your group plenty to do . . . to see . . . whatever age groups. Each person will have something to remember about your party at Fiesta Gardens. One group per evening date. So please make your reservations in ample time to avoid disappointment.

- 
- A black and white photograph capturing a lively outdoor dance performance. A large group of people, including children and adults, are arranged in a circle, holding hands and moving in a synchronized fashion. The dancers are dressed in traditional or folk costumes, featuring white blouses, dark skirts or trousers, and patterned vests. In the foreground, four small, woven baskets filled with dark, round objects, possibly seeds or beads, are placed on the ground. The background features a large, curved structure and a tall, checkered tower, suggesting a festive or cultural event.



# Austin May Adopt Relocation Policy for Displaced Residents

The Town Lake Development Plan, a large quantity of federal money and a heavy dose of history have combined to produce a new city policy for dealing with displaced property owners.

The incident which brought all these ingredients to a froth occurred on Bergman Street, a

the Fiesta area. This was due to the local Bi-Centennial Commission's focus on Austin's water including lakes, streams, creeks and lagoons.

The purchase of the Bergman Street properties, since 1968 a lost project included in the massive CIP, suddenly gained a high

The owner can do his own relocating.

The city will recommend to city council Thursday at a 7 p.m. public hearing for the Fiesta Gardens residents that Austin officially adopt a relocation policy for all displaced property owners.

"We've probably recognized

anyway. We're just a little ahead of the game," Morahan said.

According to his estimates, Morahan said the average cost per property owner in the Fiesta Gardens area will be \$4,000. That is in addition to the value of their property.

Morahan said the initial task

contracted to the Urban Renewal Agency, long accustomed to such procedures because they spend federal money almost exclusively.

Morahan also recommended that relocation benefits be retroactive to January 1, 1974 to include residents of the



MODERN USE

- Family reunions, weddings, memorial services, and quinceañeras.
- Festivals:
  - Cinco de Mayo Austin
  - Dragon Boat Festival
  - Texas Craft Brewers Festival
  - Texas Veg Fest
  - Austin Celtic Festival
  - Hot Sauce Festival
  - Austin Pride Festival
  - SXSW Music Festival
  - Ice Cream Festival
  - Dia de los Muertos Music Festival
- Parks and Recreation Department (PARD) offices and maintenance and equipment depot

HISTORIC DESIGNATION

- In 2019, complex was listed in the National Register of Historic Places for its significance in the areas of Community Planning and Development, Social History, and Entertainment and Recreation
- Designation provides funding opportunities and guides future restoration







## STAKEHOLDER INPUT

Earth



MASTER PLAN INTRODUCTION

- 2012: City of Austin hired team to prepare Park Improvement Master Plan
- Includes 9.3 acres of newly dedicated parkland at Holly Street Power Plant, 91 acres of existing parkland
- 2012 - 2014: team worked with surrounding neighborhood communities, city staff, stakeholders to create a plan to generate public interest, support, and funding for development, improvement

EXCERPT REGARDING FIESTA GARDENS

*“Fences around Fiesta Gardens and along Jesse E. Segovia Street will be taken down, and the PARD operations relocated from Fiesta Gardens, which will be opened to the public for community use focused on youth and senior programs. All of these changes will make the lagoon a more welcoming area better integrated with the surrounding park and life of the neighborhood.”*



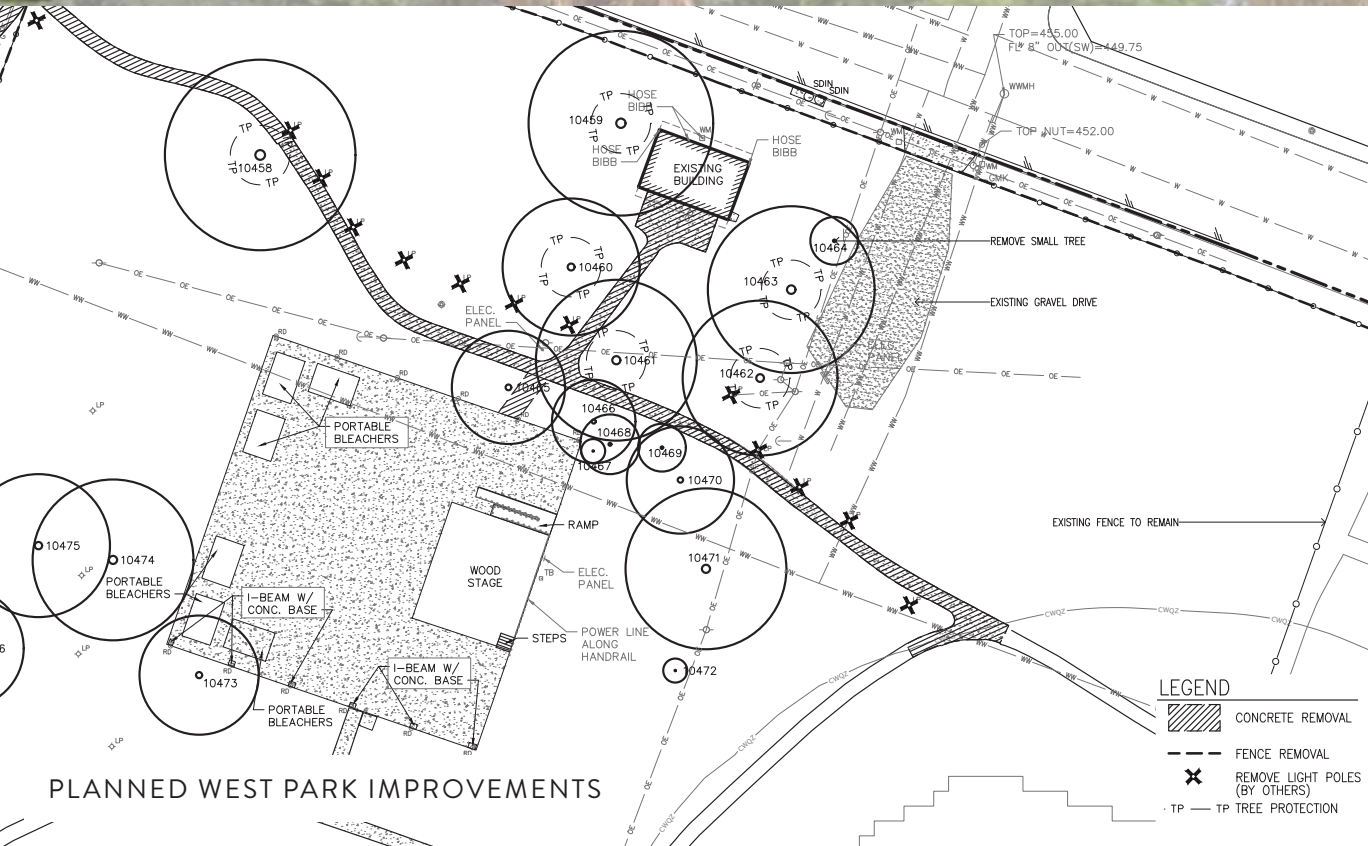
LEGEND

- 1. Existing Parking
- 2. New Lake Channels
- 3. Enhance Lake Edge Habitat
- 4. Boat Launch
- 5. ADA Accessible Paths
- 6. Retain Existing Jonny Degollado Pavilion
- 7. Sloped Event Lawn
- 8. Opened & Enhanced Fiesta Gardens
- 9. Playground
- 10. Picnic Garden
- 11. Concessions
- 12. Canoe Launch
- 13. Steps and Deck
- 14. Wetland Habitat



The existing Fiesta Gardens Complex consists of the Fiesta Gardens Building, which is used as a public rental venue for events and parties, and the two “Mercado” Buildings, constructed in the 1960s, which are used by the Parks Department for maintenance and storage purposes. They have a unique location in the heart of the park, overlooking

the Lagoon, yet this area is surrounded by high fences and is most of the time inaccessible to the community. The Master Plan proposes that these buildings be unfenced, opened to the public for community use and linked to the adjacent parkland and to the Lagoon edge.

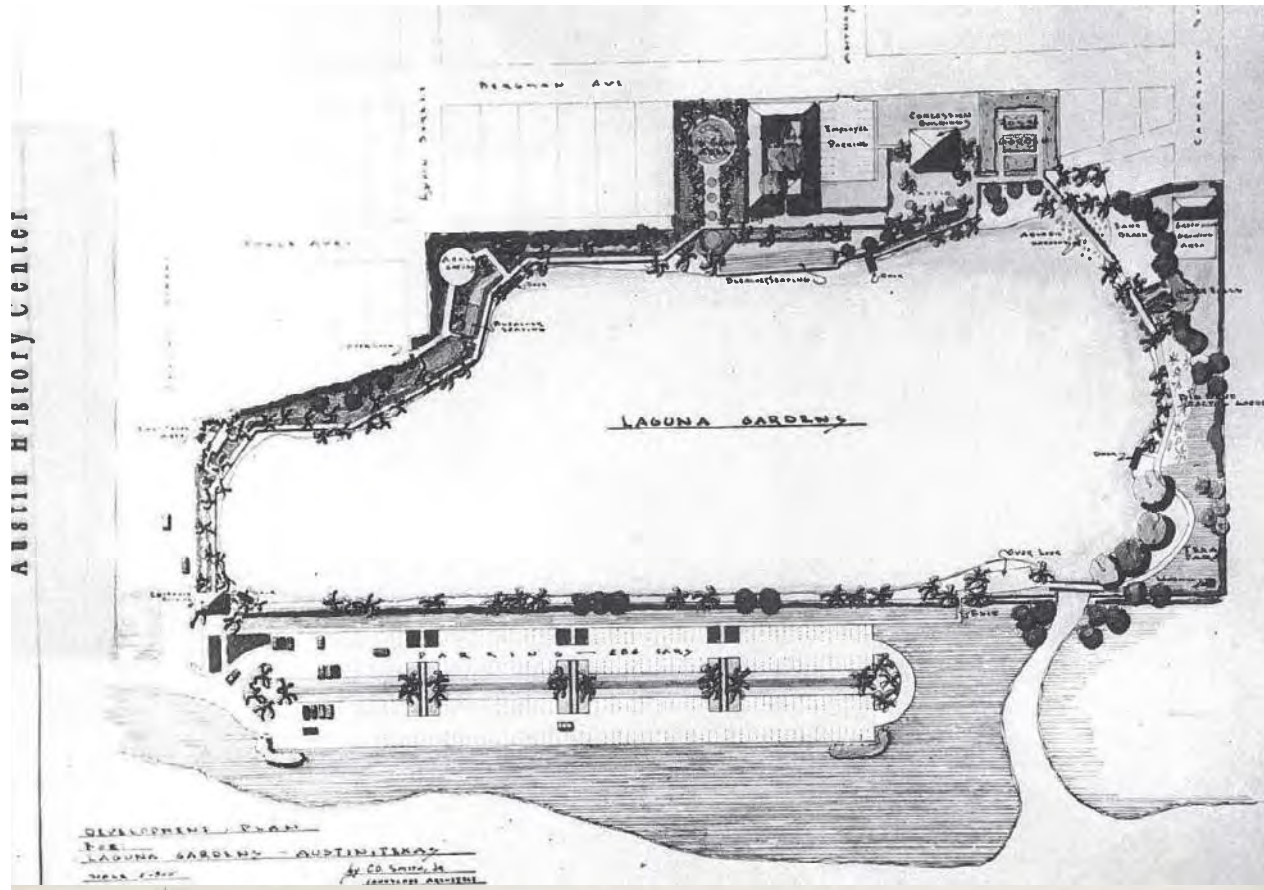






CHARACTER DEFINING FEATURES





## SITE DESIGN

### ORIGINAL VISION

- Entertainment venue featuring series of connected landscapes surrounding a man-made lagoon
- Landscape featured two styles, formal and picturesque

### FORMAL LANDSCAPE ELEMENTS

- Mercado & plaza
- Rose garden & gazebo
- Azalea Garden
- Fruit tree garden adjacent to Mercado

### PICTURESQUE LANDSCAPE ELEMENTS

- Path along lagoon
- Specialty gardens along path (planned, but not all are documented to have been built)

### OTHER LANDSCAPE ELEMENTS

- Sand beach
- Bleacher seating (3)
- Gravel parking lots
- Overlook as south parking lot
- Boat docks (3)







## DINING HALL

- Large rectangular assembly space with primary doors and windows facing away from street
- Medium-textured exterior stucco was originally off-white
- Wood timbers (vigas) extend from all but street facing exterior and were originally stained wood that extended further
- The interior features decorative wood beams and posts that divide the room.
- A significant portion was dedicated to restrooms, storage, mechanical room, and kitchen, which have since been reconfigured

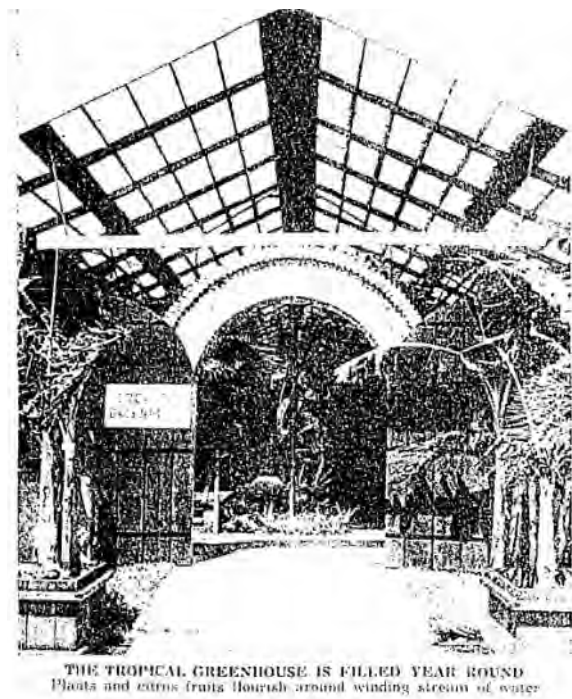






## MERCADO

- Organized around central arcade & courtyard
- East & west sides have enclosed rooms with doors and windows facing inward
- North and south sides have simple courtyard walls, masonry arched gates, small brick-framed niches.
- Clad in medium-textured stucco with wood decorative vigas
- Wood timbers extend from all exterior walls and were originally stained wood that extended further
- Original gable structure most likely did not feature a permanent garden
- Historic paving layout is unknown; current pathway is rustic limestone
- Existing garden and path installed by City of Austin maintenance staff







## BANDSTAND

- Elevated concrete stage with stair, ramp access
- Original steel roof structure removed between 1973-1980; current structure is wood trellis
- Performers face Dining Hall across Plaza
- Lagoon is partially visible through open back







## GRANDSTAND

- Simple steel structure on concrete piers follows landscape
- Thin round-tube structure supports wood framed metal roof
- Wood bleachers, steps painted
- Faces lagoon, south peninsula, and Lady Bird Lake



“The large lagoon is surrounded by palm trees, banana trees and a profusion of flowers and other plants. An excursion boat, frequently used to pick up visitors at lakeside hotels, offers tours of the lagoon and transportation to the grandstand area. Billy Garcia, a bare-foot boy with cheeks of tan, is making a big splash here in a spectacular water ski show featured at a unique new tourist attraction, ‘Fiesta Gardens’.”—Jimmy Banks, Dallas Morning News.



CHARACTER DEFINING FEATURES : GRANDSTAND | **FIESTA GARDENS**

2101 JESSE E. SEGOVIA ST. | AUSTIN, TEXAS 78702

HISTORIC PRESERVATION OFFICE | PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 30, 2020 | 16 OF 59





EXISTING CONDITIONS









## SITE

### STRUCTURES

- Stucco finishes have non-original paint color and partial cracking across plaza
- Fencing uninviting

### PARKING & ACCESS

- Limited to 2 van-accessible spots
- Gravel parking lot and driveway is used by PARD staff
- No dedicated trash or loading areas

### LIGHTING & POWER

- Overhead utility lines and street lighting
- Outdoor lighting is insufficient and varies in quality
- Power outlets are insufficient

### DRAINAGE & WATERSHED

- Portions of site and buildings are within Lady Bird Lake restricted development areas







## DINING HALL

### STRUCTURE

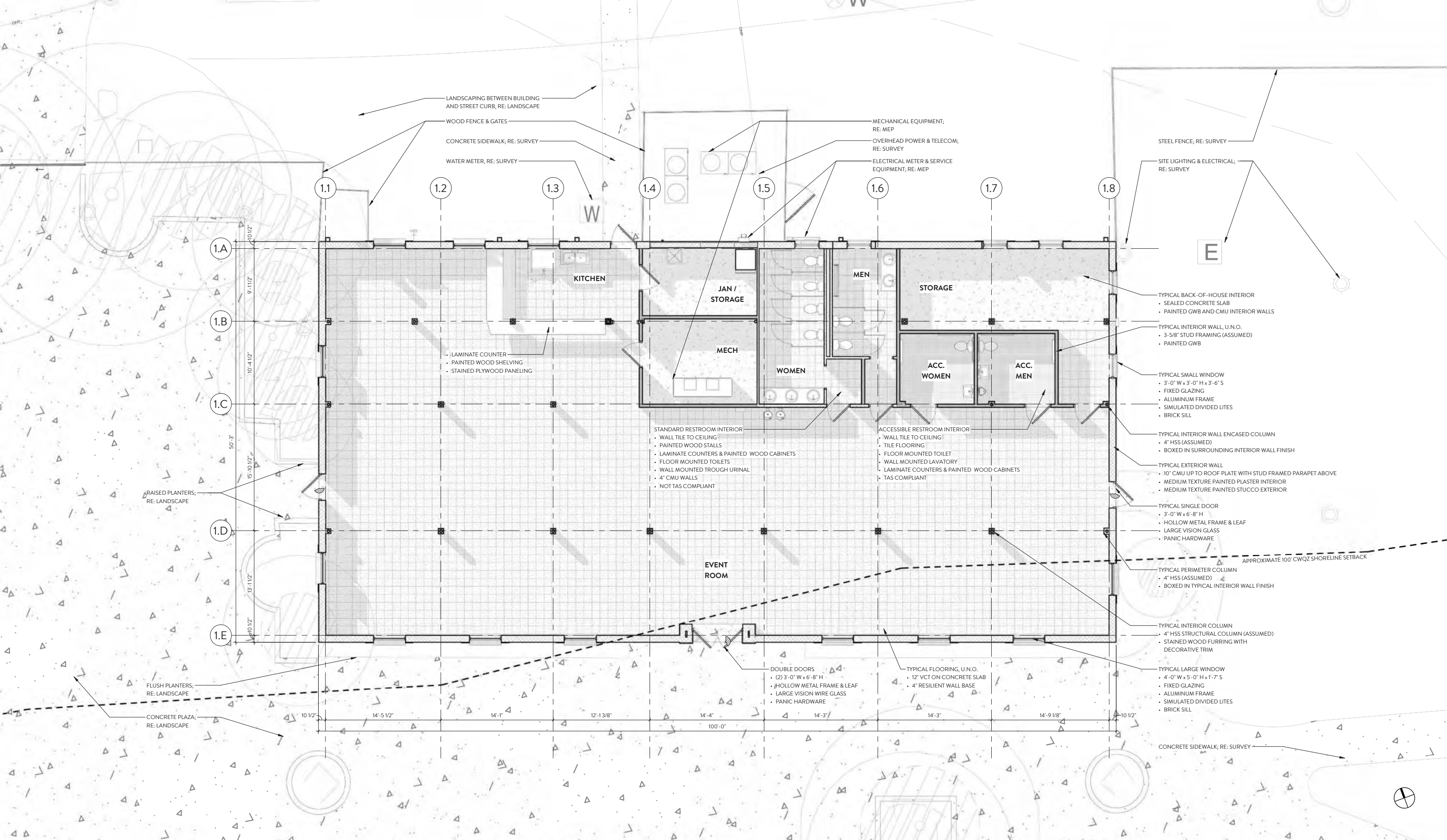
- Uninviting street presence
- Non-original paint and stucco in need of repair
- Limited layout and seating flexibility
- Restrooms open directly into the assembly room
- Entrances not well-defined
- Original windows replaced with aluminum windows
- Original vigas lost original impact

### M.E.P. SYSTEMS

- Mechanical yard feeds large air ducts that divide the space
- Overall restroom arrangement is not TAS compliant











## MERCADO

### LANDSCAPE

- Uninviting street presence with non-original stone gate & combination chain-link & wood fence
- The courtyard is beautifully planted and maintained

### STRUCTURE

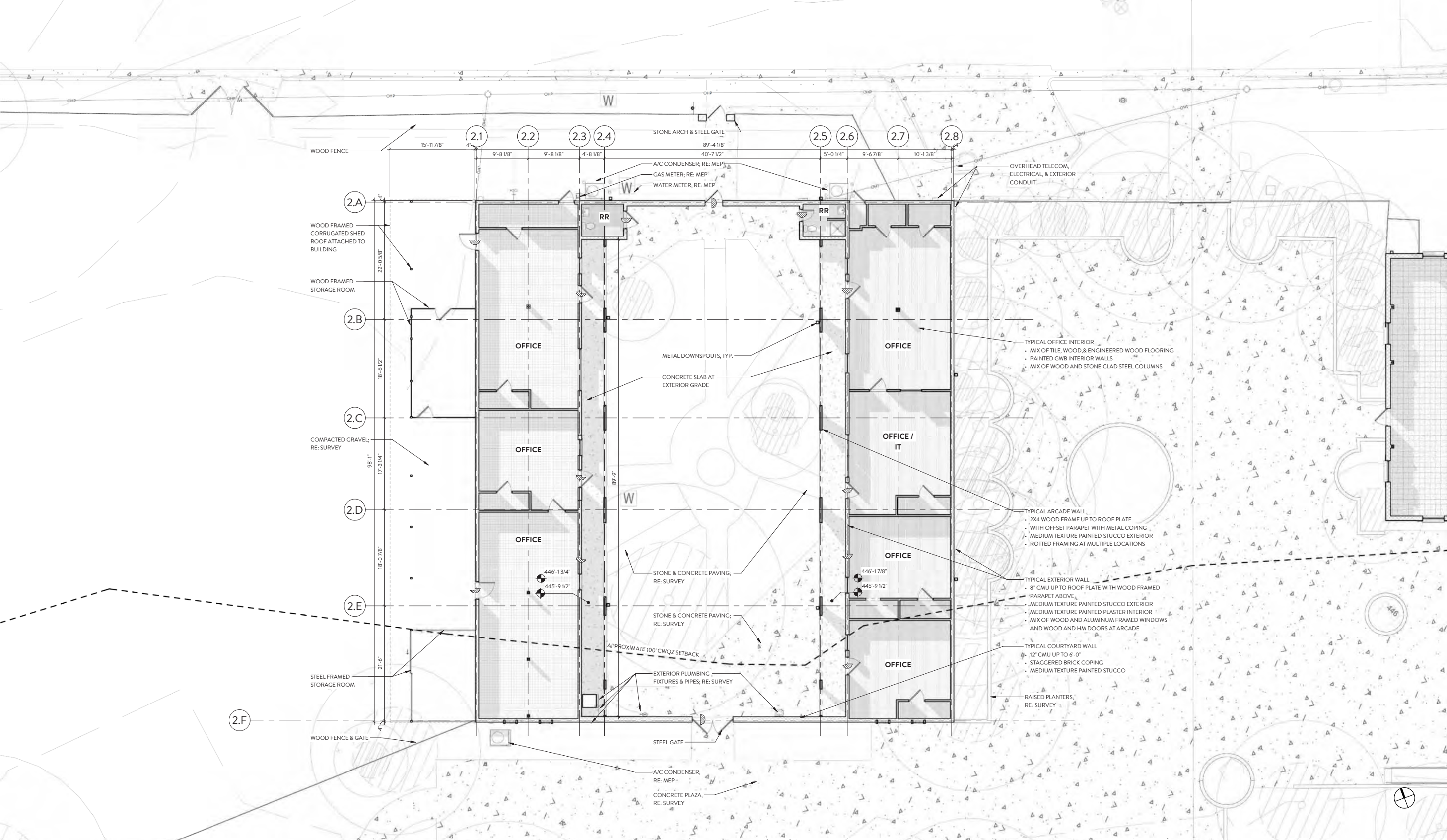
- Non-original paint and stucco in need of repair
- Extensive rot
- Not ADA accessible

### M.E.P. SYSTEMS

- Exposed plumbing and electrical conduits
- Electrical and HVAC provisions in need of replacement











## BANDSTAND

### LANDSCAPE

- Views behind structure limited

### ARCHITECTURE / STRUCTURE

- Non-original yellow paint
- Concrete stage in good condition, but high
- Wood shade structure in poor condition
- Ramp not original; stairs lack handrails

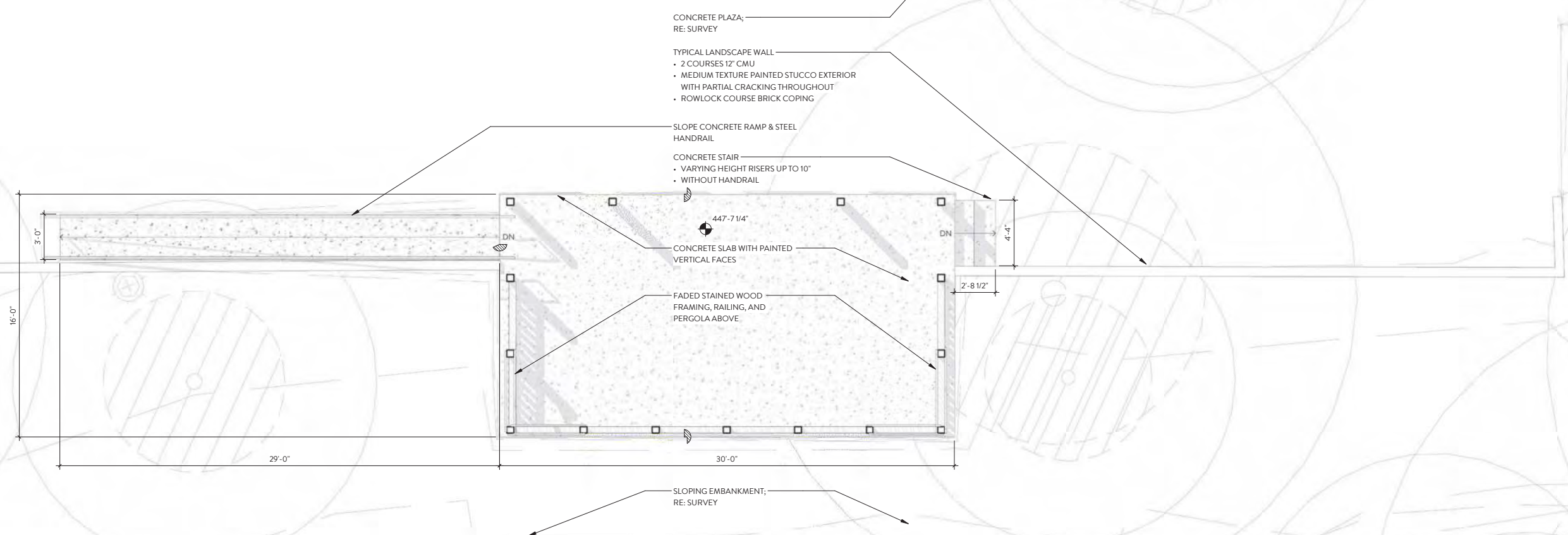
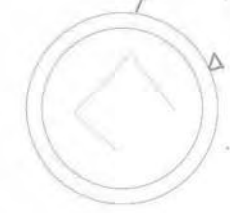
### M.E.P. SYSTEMS

- Limited power and lighting





APPROXIMATE 100' CWQZ SETBACK







## GRANDSTAND

### LANDSCAPE

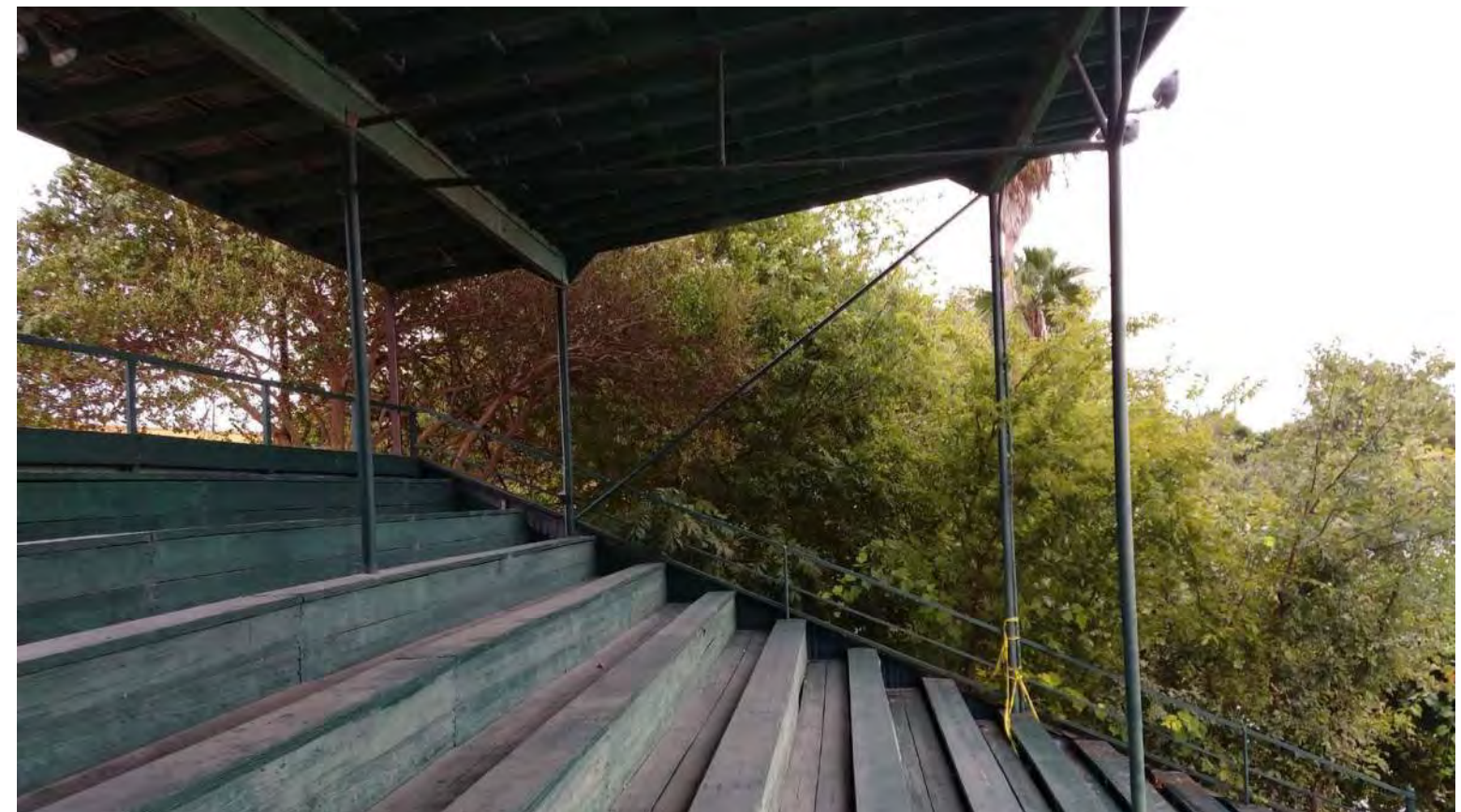
- Bald cypress trees are quickly growing at base
- Upper bleachers limit views across lake

### STRUCTURE

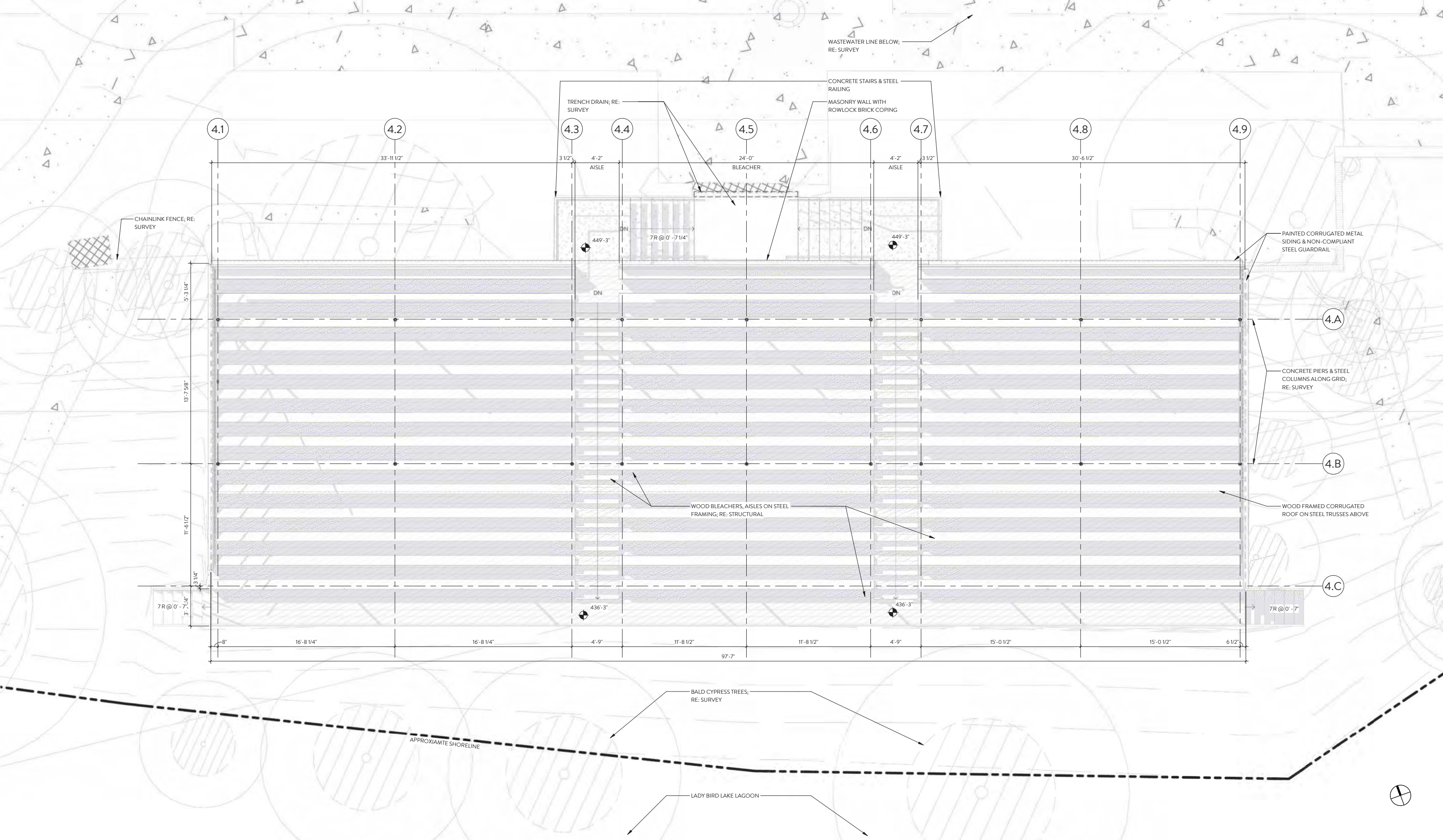
- Non-original paint colors throughout
- Paint older, failing
- No accessible seating or approach
- Steel structure is in good condition

### M.E.P. SYSTEMS

- Lighting is focused on security, not event use











## REHABILITATION STRATEGIES





## SITE - PHASE 1 & 2

### PROJECT FOCUS

- Restoration of historic features
- Improved connection to the surrounding community
- Compliance with current codes and sustainability needs
- Enhancement of overall use

### PHASED DESIGN AND CONSTRUCTION

- Phase 1
  - Architectural restoration and rehabilitation to enhance the use of the Dining Hall, patio, bandstand and grandstand
  - Mechanical upgrades to meet code compliance and sustainability goals
  - Landscape improvements to address site access, comfort, circulation, and drainage
  - Holistic site design to incorporate way finding signage and interpretive information, define pedestrian entry from the street, and enhance the patio space and surrounding landscape plantings
  - Preservation repairs to address the deteriorated conditions of the Mercado Building's exterior walls
- Phase 2 (not yet funded)
  - Architectural reconfiguration to facilitate use of the Mercado Building as an event venue for celebrations and community programs, pending new off-site facilities for PARD staff
  - Architectural, civil engineering and landscape design to integrate the PARD maintenance vehicle storage area into a new public parking area, additional park space, as well as support space for the Fiesta Gardens complex
  - Landscape and trail design for a new terrace at the water's edge near the base of the grandstands to provide space for performances





## RESTORATION OF HISTORIC FEATURES

- Rehabilitate the historic architecture and character defining features
- Rehabilitate landscape character; restore missing features
- Enhance “garden experience”
- Reveal visual connections to the waterfront to maintain historic views
- Differentiate new additions from historic structures in materiality; emphasis on “light touch”
- Consider programming, neighborhood events in keeping with historic concepts as “marketplace”
- Integrate stage at grandstand for programmed events