

# FIESTA GARDENS

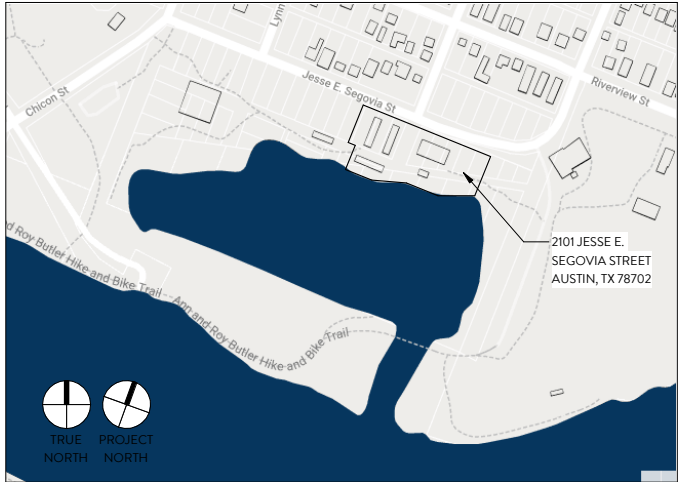
2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

ISSUED DATE 2020-08-20  
PROJECT NUMBER 19043



VICINITY MAP



SYMBOL LEGEND

	ELEVATION		ROOM NAME
	BUILDING SECTION		DOOR NUMBER
	WALL SECTION		WINDOW TYPE
	SECTION DETAIL		PARTITION TYPE
	DETAIL		PLUMBING FIXTURE TYPE
			TOILET ACCESSORY TYPE

PROJECT TEAM

<b>OWNER</b>	<b>CITY OF AUSTIN PARKS AND RECREATION DEPARTMENT</b> 200 SOUTH LAMAR BLVD. AUSTIN, TEXAS 78704  ELLEN COLFAX 512-974-9472 ELLEN.COLFAX@AUSTINTEXAS.GOV	<b>LANDSCAPE ARCHITECT</b>	<b>CO'DESIGN</b> 1200 YAUPON VALLEY ROAD AUSTIN, TEXAS 78746  CATHERINE O'CONNOR 512-328-5231 YAUPON@AUSTIN.RR.COM
<b>ARCHITECT</b>	<b>CLAYTON &amp; LITTLE</b> 2201 N LAMAR BLVD AUSTIN, TEXAS 78705  MARC TOPPEL 210-782-8028 MARC@CLAYTONANDLITTLE.COM	<b>ACCESSIBILITY REVIEWER</b>	<b>IHS DESIGN STUDIO</b> 33005 S. LAMAR BLVD., STE. D109 PMB 314 AUSTIN, TEXAS. 78704  LESLIE MARRERO, RAS 512-589-5844 LESMARRERO@GMAIL.COM
<b>CIVIL ENGINEER</b>	<b>JOSE GUERRA, INC.</b> 2401 SOUTH IH-35 AUSTIN, TEXAS 78741  GLENN FREY 512-445-2090 x116 GFREY@GUERRA.COM	<b>COST ESTIMATOR</b>	<b>INTEGRATED CM SOLUTIONS</b> 7600 CHEVY CHASE DR., SUITE 300 AUSTIN, TEXAS 78732  STAN JACKSON 504-982-1650 STAN@INTEGRATEDCMSOLUTIONS.COM
<b>STRUCTURAL ENGINEER</b>	<b>AEC   WAY ENGINEERING</b> 3800 NORTH LAMAR BLVD., SUITE 330 AUSTIN, TEXAS 78756  KARINA TRIBBLE 512-472-2111 KTRIBBLE@AECOLLAB.COM	<b>PUBLIC ENGAGEMENT</b>	<b>CULTURAL STRATEGIES</b> 3300 BEE CAVE ROAD, #650-1136 AUSTIN, TX 78746 (MAILING)  1700 SOUTH LAMAR BLVD SUITE #338 AUSTIN, TX 78704 (PHYSICAL)  SEBASTIAN PUENTE 512-501-4971 x701 SPUENTE@CULTURAL-STRATEGIES.COM
<b>MEP ENGINEER</b>	<b>INTEGRAL GROUP</b> 310 COMAL ST., SUITE 302 AUSTIN, TEXAS 78702  JON GERVAIS 737-241-1183 JGERVAIS@INTEGRALGROUP.COM		

GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
- THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
- IN CASE OF CONFLICTS BETWEEN ARCHITECTS AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

ZONING & CODE ANALYSIS

<b>LEGAL DESCRIPTION</b>	13.17AC SAND BEACH RESERVE BLK 5-6 *8 & 6-1/2 & 8 & 9 BERGMAN VALLEY VIEW TRT 1-12 *PLUS VAC STREETS RIVERVIEW GARDENS
<b>PARCEL ID</b>	282818
<b>ZONING</b>	P-NP
<b>BUILDING CODES</b>	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE UNIFIED DEVELOPMENT CODE
<b>BUILDING DESCRIPTION</b>	NEW SINGLE-STORY ADDITION TO HOUSE SERVICE SPACES FOR EXISTING HISTORIC DINING HALL; FOUR EXISTING HISTORIC BUILDINGS/STRUCTURES ON THE PROPERTY WILL BE MAINTAINED AND RESTORED FOR USE BY THE PUBLIC AND CITY OF AUSTIN STAFF.
<b>LEGAL JURISDICTION</b>	AUSTIN, TEXAS, TRAVIS COUNTY
<b>OCCUPANCY CLASSIFICATION</b>	GROUP A-2
<b>TYPE OF CONSTRUCTION</b>	V-B
<b>FIRE SPRINKLER</b>	NOT INSTALLED

DRAWING INDEX

GENERAL	ARCHITECTURAL	STRUCTURAL
G1.00 PROJECT DATA	D1.01 PH 1 SITE - DEMO. PLAN D1.10 PH 1 DINING HALL - DEMO. FLOOR PLAN D1.11 PH 1 DINING HALL - DEMO. ROOF PLAN D1.15 PH 1 DINING HALL - DEMO. CEILING PLAN D1.20 PH 1 MERCADO - DEMO. FLOOR PLAN D1.21 PH 1 MERCADO - DEMO. ROOF PLAN D1.25 PH 1 MERCADO - DEMO. CEILING PLAN D1.30 PH 1 BANDSTAND - DEMO. FLOOR PLAN D1.35 PH 1 BANDSTAND - DEMO. CEILING PLAN D1.40 PH 1 GRANDSTAND - DEMO. FLOOR PLAN D1.45 PH 1 GRANDSTAND - DEMO. CEILING PLAN D2.10 PH 1 DINING HALL - DEMO. ELEVATIONS D2.20 PH 1 MERCADO - DEMO. ELEVATIONS D2.21 PH 1 MERCADO - DEMO. ELEVATIONS D2.30 PH 1 BANDSTAND - DEMO. ELEVATIONS D2.40 PH 1 GRANDSTAND - DEMO. ELEVATIONS	S2.10 PH 1 DINING HALL - FOUNDATION PLAN S2.11 PH 1 DINING HALL - ROOF FRAMING PLAN S2.20 PH 1 MERCADO - FOUNDATION PLAN S2.21 PH 1 MERCADO - ROOF FRAMING PLAN S2.30 PH 1 BANDSTAND - FOUNDATION PLAN S2.31 PH 1 BANDSTAND - ROOF FRAMING PLAN S2.40 PH 1 GRANDSTAND - FOUNDATION PLAN
CIVIL		PLUMBING
C1.00 GENERAL NOTES C2.00 EROSION CONTROL PLAN PH 1 C2.10 EROSION CONTROL PLAN PH 2 C2.11 EROSION CONTROL DETAILS C3.00 TREE PROTECTION NOTES AND DETAILS C4.00 DEMOLITION PLAN PH 1 C4.10 DEMOLITION PLAN PH 2 C5.00 SITE PLAN PH 1 C5.10 SITE PLAN PH 2		P1.01 PH 1 PLUMBING SITE PLAN P1.02 PH 2 PLUMBING SITE PLAN
		MECHANICAL
		M2.10 PH 1 DINING HALL - MECHANICAL FLOOR PLAN M2.11 PH 1 DINING HALL - ROOF MECHANICAL PLAN M2.22 PH 2 MERCADO - MECHANICAL FLOOR PLAN M2.23 PH 2 MERCADO - MECHANICAL ROOF PLAN
		ELECTRICAL
		E1.00 TBD
		LANDSCAPE
		L0.01 VEGETATION REMOVAL PLAN PHASE 1

PRELIMINARY  
NOT FOR CONSTRUCTION

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ISSUED DATE 2020-08-20  
PROJECT NUMBER 19043

SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION



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SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

GENERAL NOTES

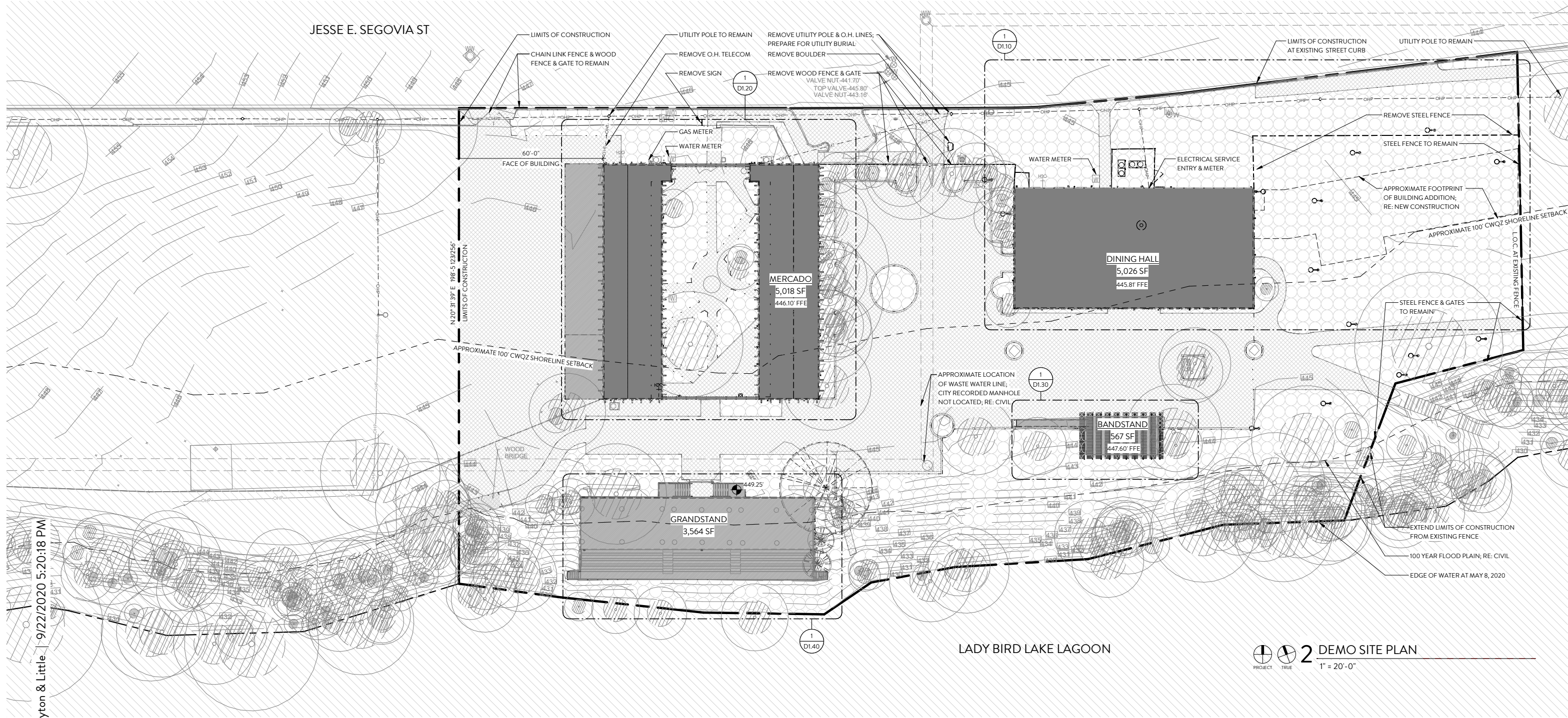
1. RE: ENLARGED PLANS FOR EXTENT OF BUILDING DEMOLITION
2. RE: CIVIL FOR REGARDING, HARDSCAPE REMOVAL, INCLUDING SIDEWALK, DRIVEWAYS, & CURBS.
3. ALL TREES SHOWN ARE ONLY 4" CALLIPER AND WIDER; RE: LANDSCAPE FOR TREE REMOVAL AND MODIFICATION
4. REMOVE ALL LIGHT POLES WITHIN LIMITS OF CONSTRUCTIONS; RE: MEP
5. AT LANDSCAPE WALLS, REMOVE PAINT FROM ALL STUCCO; PREPARE FOR NEW

EXISTING BUILDING AREAS

IMPERVIOUS	
BUILDING	10,044 SF
COVERED	5,689 SF
HARDSCAPE	28,219 SF
	43,952 SF
PERVIOUS	
VEGETATED	38,788 SF
	38,788 SF
GRAND TOTAL	82,741 SF
PERCENT IMPERVIOUS	53.1%

DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- BUILDING
- COVERED
- HARDSCAPE
- NOT IN SCOPE
- VEGETATED



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FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.01

PH 1 SITE - DEMO.  
PLAN

2 DEMO SITE PLAN  
1" = 20'-0"



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SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.10

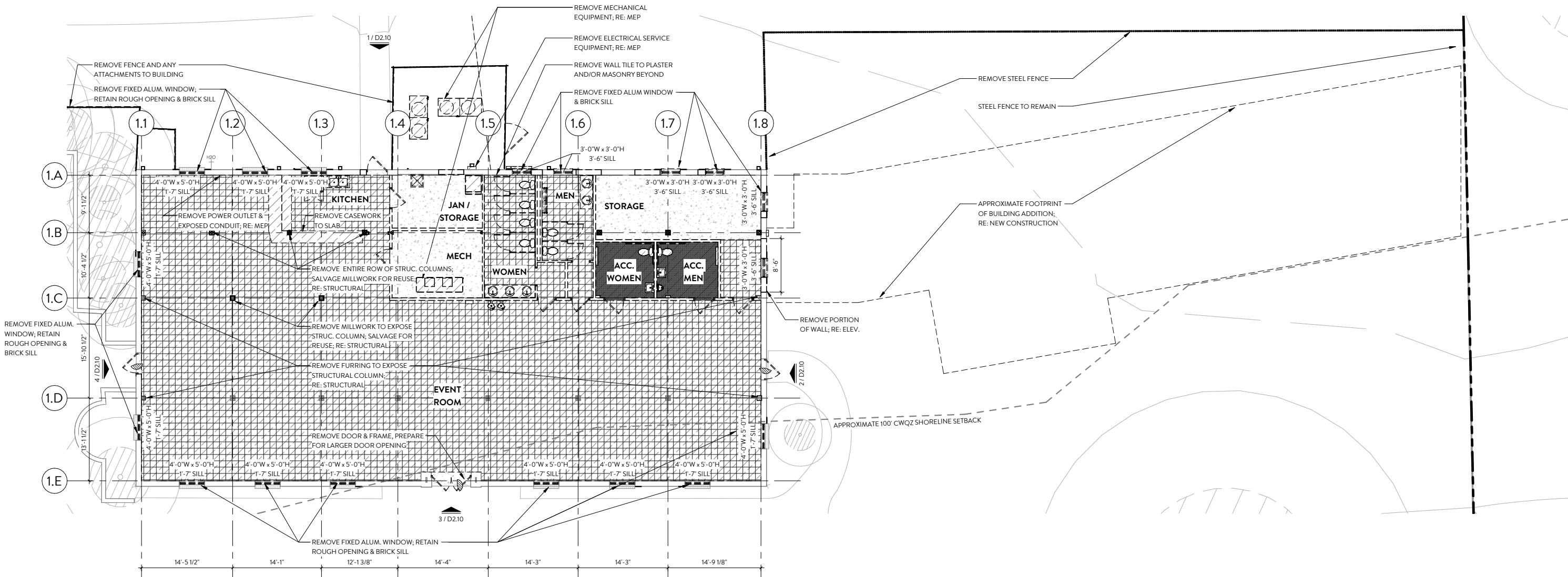
PH 1 DINING HALL -  
DEMO. FLOOR  
PLAN

GENERAL NOTES

1. REMOVE ALL INTERIOR DOORS AND FRAMES
2. REMOVE ALL INTERIOR WALLS AND PARTITIONS TO ROOF DECK
3. ALL CMU EXTERIOR WALLS AND STUD FRAMED PARAPETS ARE TO REMAIN, UNLESS NOTED OTHERWISE FOR NEW OPENINGS
4. REMOVE ALL FLOOR TILE TO SLAB, PREPARE FOR NEW APPLIED FLOORING
5. REMOVE ALL PLUMBING FIXTURES; RE: MEP
6. REMOVE ALL KITCHEN EQUIPMENT; RETURN TO OWNER
7. REMOVE ALL TOILET ACCESSORIES; RETURN TO OWNER
8. REMOVE ALL LOOSE FURNITURE; RETURN TO OWNER
9. POWER OUTLETS ARE TO REMAIN AT EXTERIOR WALLS AND INTERIOR COLUMNS, UNLESS NOTED OTHERWISE
10. RE: LANDSCAPE FOR TREE REMOVAL
11. RE: MEP FOR SITE ELECTRICAL REMOVAL
12. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED



1 DINING HALL - DEMOLITION FLOOR PLAN  
1/8" = 1'-0"



GENERAL NOTES

- 1. REMOVE METAL PARAPET COPING; PREPARE FOR NEW
- 2. REMOVE MODIFIED BITUMEN ROOFING TO FACE OF INSULATION AND/OR EXTERIOR SHEATHING
- 3. MOVE VENT PIPES & INTAKE HOODS; RE: MEP
- 4. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

DEMOLITION LEGEND

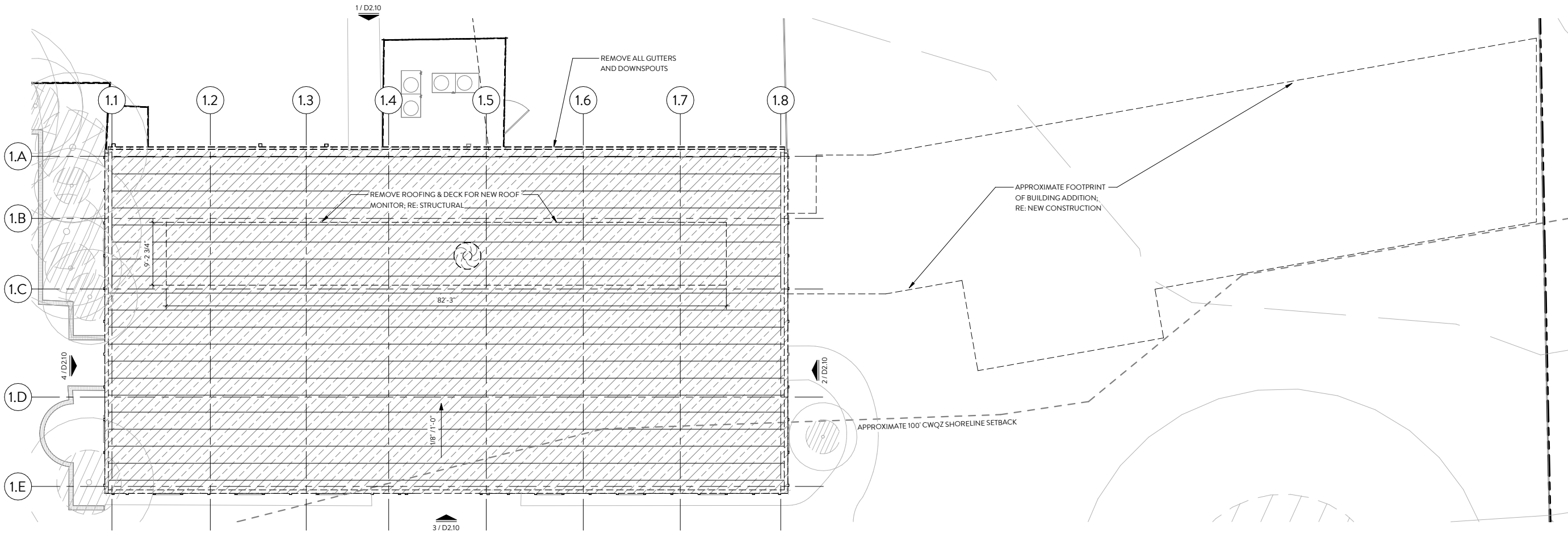
- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
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- EXISTING CONSTRUCTION TO BE REMOVED

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SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION



1 DINING HALL - DEMOLITION ROOF PLAN  
1/8" = 1'-0"

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.11

PH 1 DINING HALL -  
DEMO. ROOF PLAN



GENERAL NOTES

- 1. REMOVE ALL CEILINGS; EXPOSED WOOD RAFTERS & CEMENTITIOUS WOOD FIBER ROOF DECK TO REMAIN, UNLESS NOTED OTHERWISE
- 2. REMOVE ALL DUCTING & REGISTERS; RE: MEP
- 3. REMOVE ALL PENDANT LIGHTS AND FANS; CONDUIT TO REMAIN
- 4. REMOVE ALL BACK OF HOUSE & EXTERIOR LIGHTS & POWER, UNLESS NOTED OTHERWISE; RE: MEP
- 5. REMOVE ALL WOOD BRACKETS; SALVAGE FOR REUSE
- 6. EXISTING STRUCTURE IS TO REMAIN, UNLESS NOTED OTHERWISE; RE: STRUCTURAL
- 7. REMOVE PORTION EXISTING CONCRETE SLAB AS REQUIRED FOR FOOTING OF NEW STRUCTURE; RE: STRUCTURAL
- 8. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

DEMOLITION LEGEND

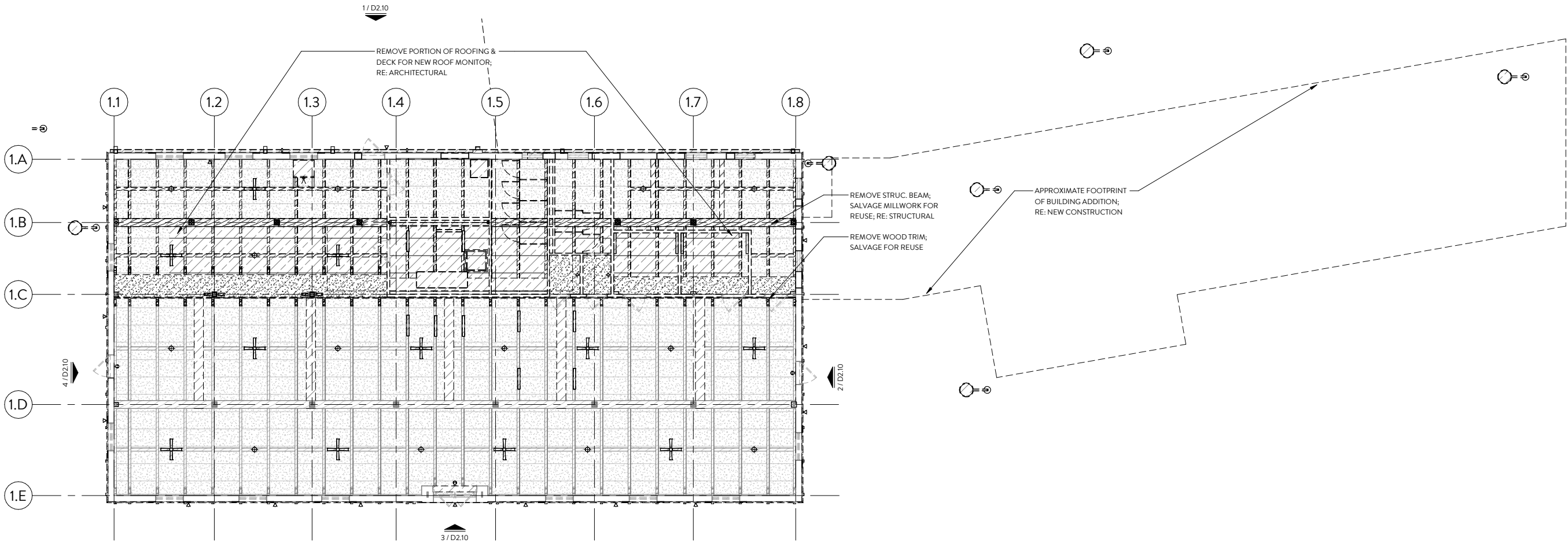
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- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

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SCHEMATIC DESIGN - PH. 1  
DEMOLITION



1 DINING HALL - DEMOLITION CEILING PLAN  
1/8" = 1'-0"

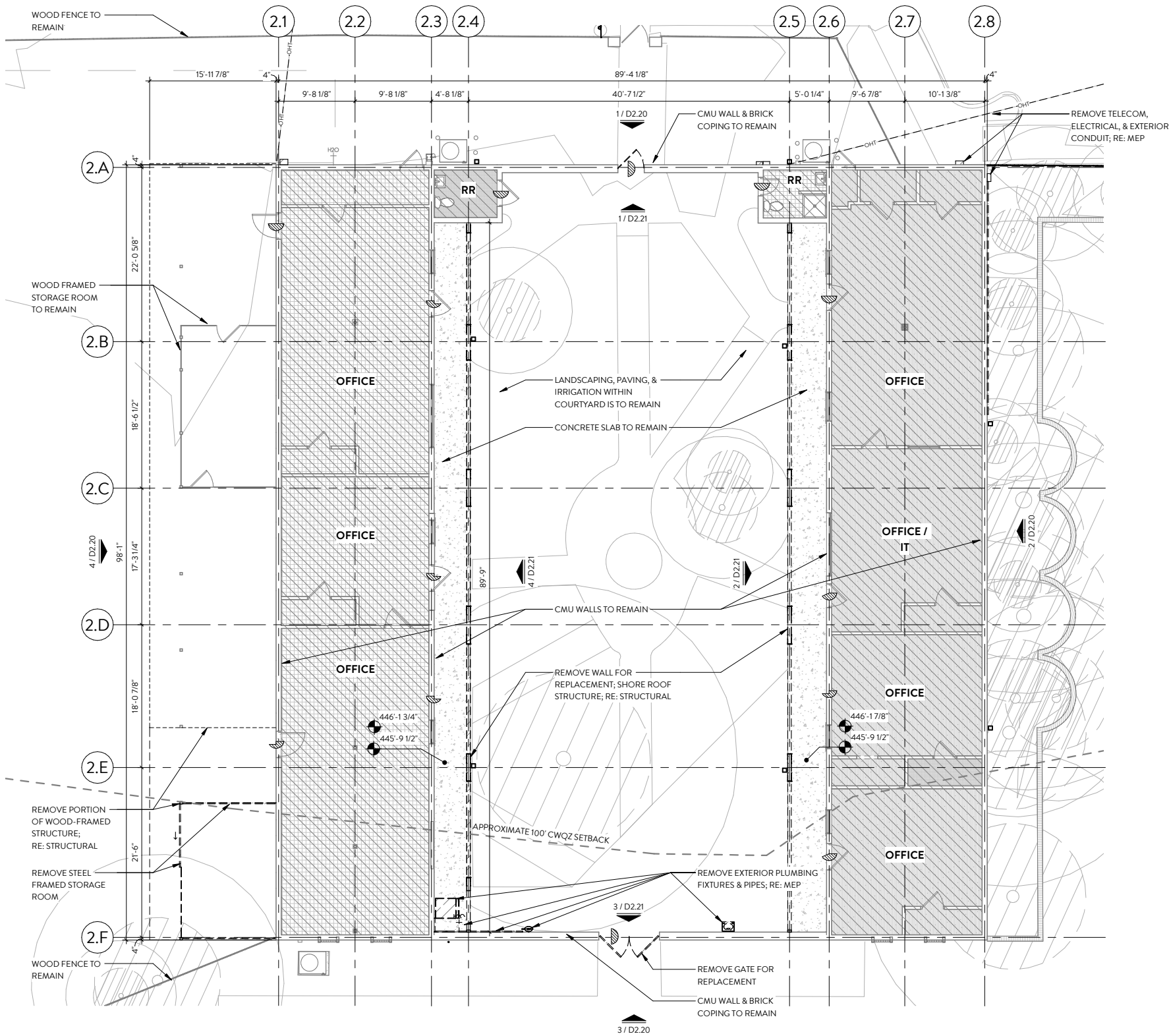
FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.15

PH 1 DINING HALL -  
DEMO. CEILING  
PLAN





1 MERCADO - PHASE 1 DEMOLITION FLOOR PLAN  
1/8" = 1'-0"

DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

- ALL INTERIOR MEP TO REMAIN, UNLESS NOTED OTHERWISE; RE: MEP
- ALL INTERIOR PARTITIONS, DOORS, FINISHES, & CASEWORK ARE TO REMAIN, UNLESS NOTED OTHERWISE
- ALL EXTERIOR DOORS, WINDOWS, & ASSOCIATED TRIM ARE TO REMAIN, UNLESS NOTED OTHERWISE
- RE: LANDSCAPE FOR TREE REMOVAL
- RE: MEP FOR SITE ELECTRICAL REMOVAL
- ALL MECHANICAL EQUIPMENT IS TO REMAIN, UNLESS NOTED OTHERWISE; RE: MEP FOR MECHANICAL REPAIR
- PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

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SCHEMATIC DESIGN - PH. 1  
DEMOLITION

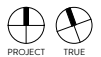
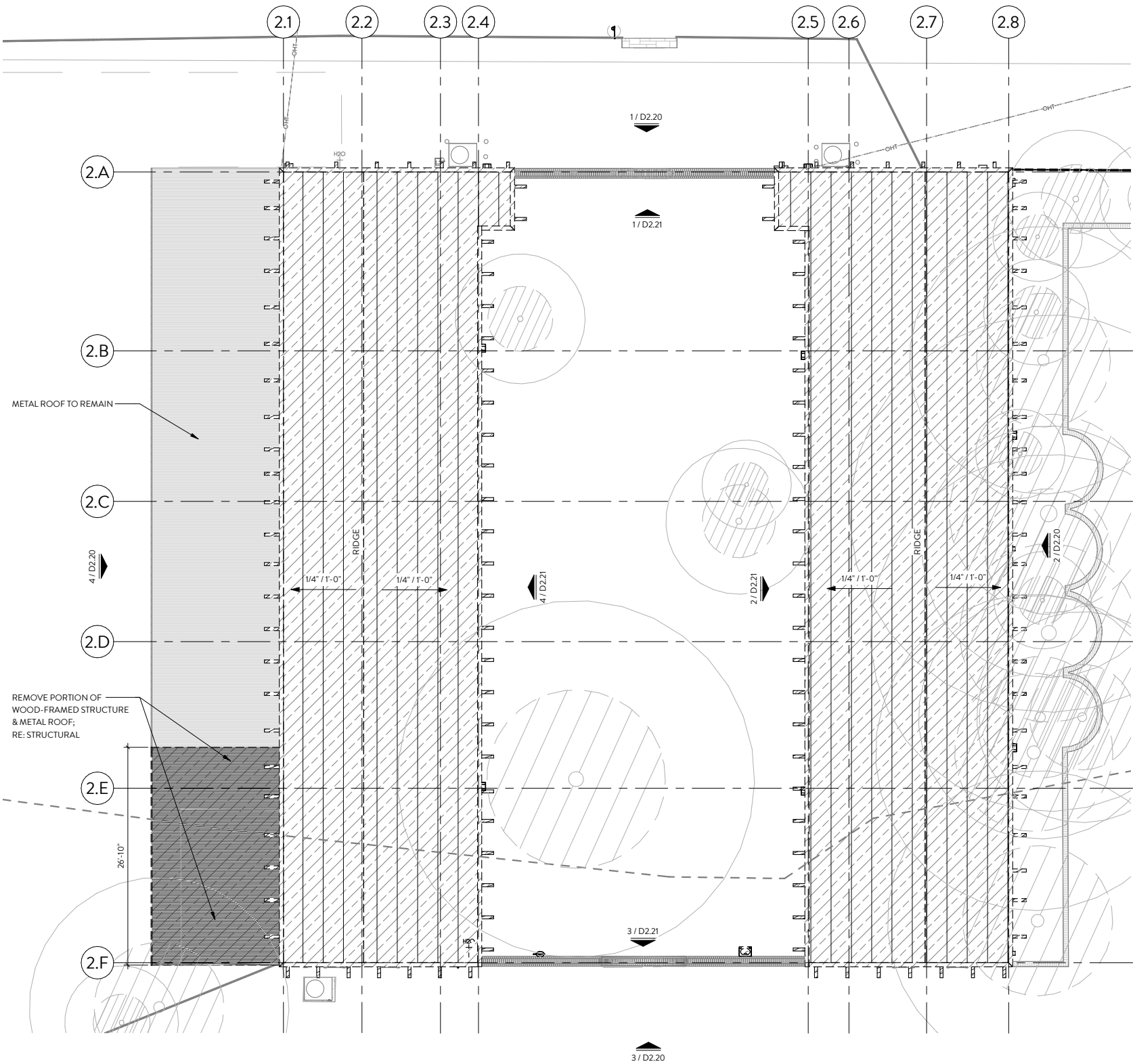
FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.20

PH 1 MERCADO -  
DEMO. FLOOR  
PLAN









1

MERCADO - DEMOLITION ROOF PLAN

1/8" = 1'-0"

#### DEMOLITION LEGEND

-  AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
- 

#### GENERAL NOTES

1. REMOVE METAL PARAPET COPING; PREPARE FOR NEW
2. REMOVE MODIFIED BITUMEN ROOFING TO FACE OF INSULATION AND/OR EXTERIOR SHEATHING
3. REMOVE ALL DOWNSPOUTS.
4. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

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#### SCHEMATIC DESIGN - PH. 1 DEMOLITION

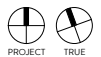
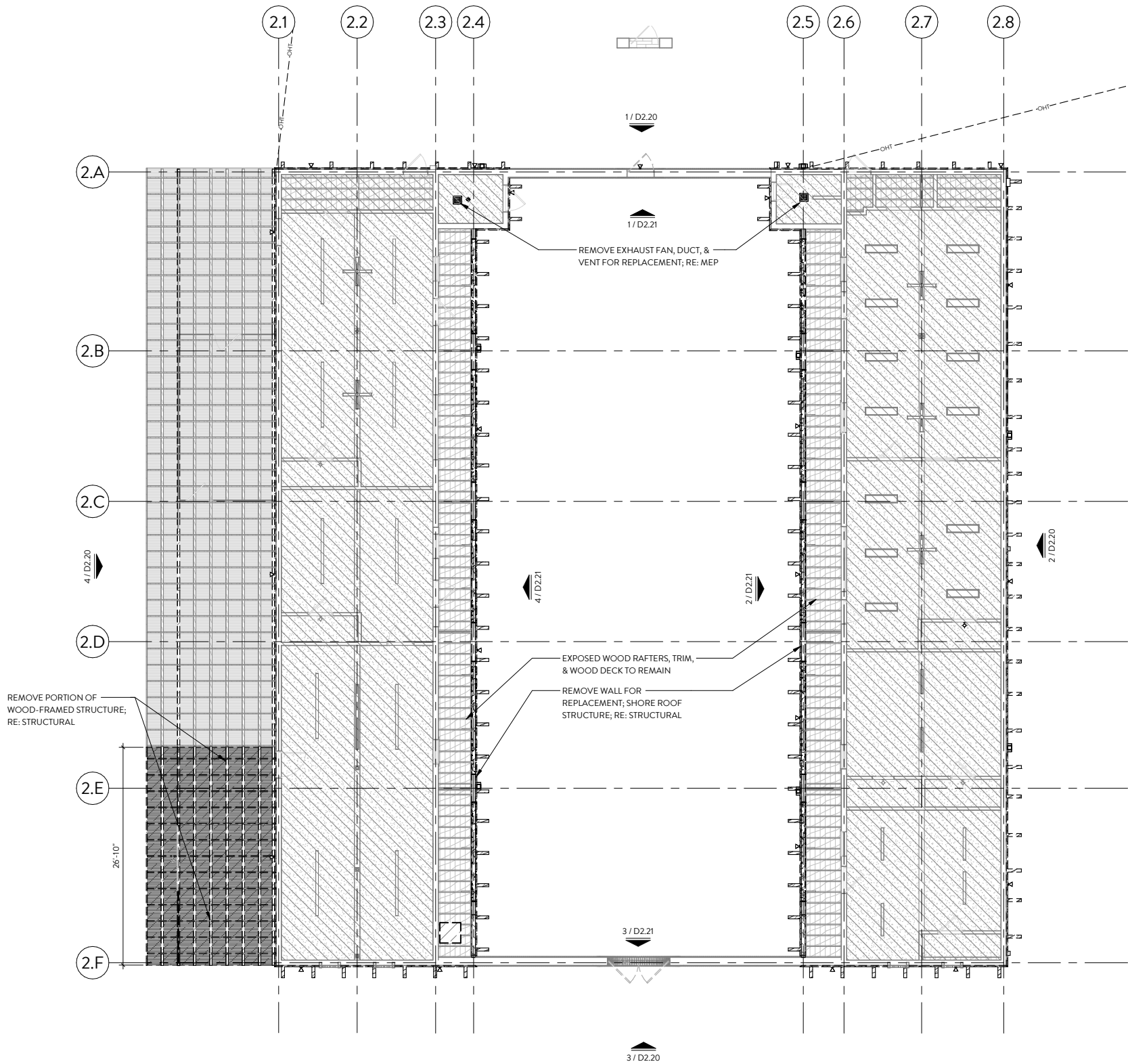
## FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

## D1.21

PH 1 MERCADO -  
DEMO. ROOF PLAN





1 MERCADO - PHASE 1 DEMOLITION CEILING PLAN  
1/8" = 1'-0"

#### DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

#### GENERAL NOTES

- REMOVE ALL EXTERIOR LIGHTS; RE: MEP
- ALL INTERIOR LIGHTS, POWER, & ELECTRICAL SERVICE IS TO REMAIN, UNLESS NOTED OTHERWISE
- PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH

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#### SCHEMATIC DESIGN - PH. 1 DEMOLITION

## FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

## D1.25

PH 1 MERCADO - DEMO. CEILING PLAN



DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

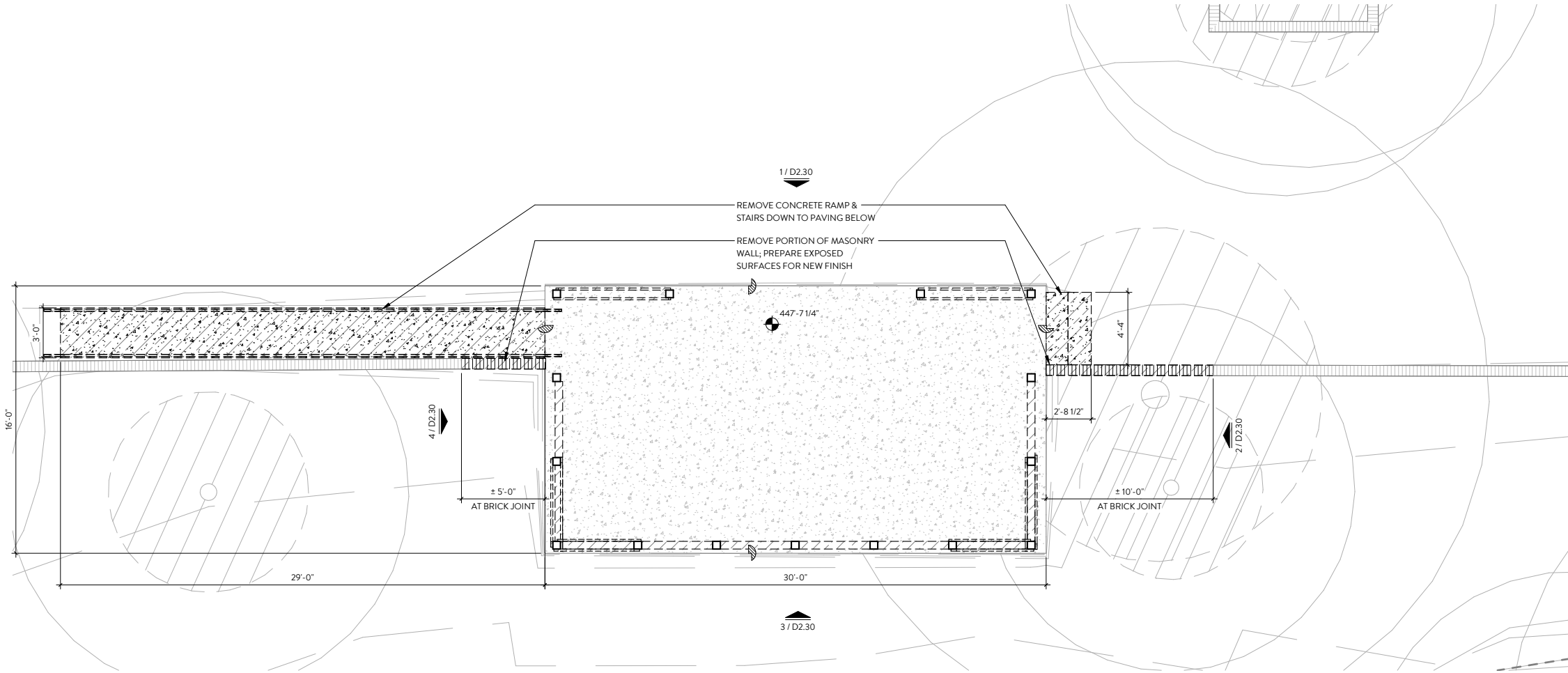
- 1. REMOVE ALL WOOD FRAMING & RAILING.
- 2. RE: LANDSCAPE FOR TREE REMOVAL
- 3. RE: MEP FOR SITE ELECTRICAL REMOVAL
- 4. CLEAN EXPOSED CONCRETE & PREPARE FOR NEW FINISH

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SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION



1 BANDSTAND - DEMO. FLOOR PLAN  
1/4" = 1'-0"

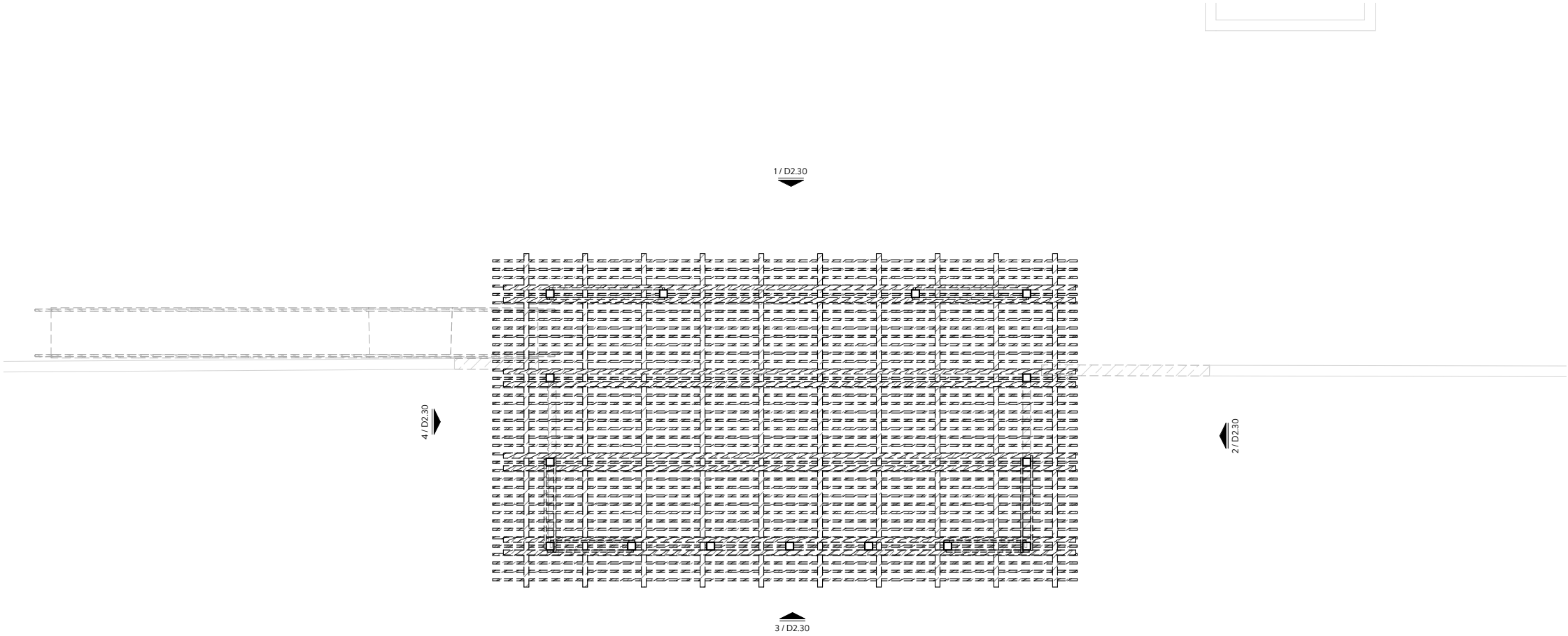
FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.30

PH 1 BANDSTAND -  
DEMO. FLOOR  
PLAN





DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

- REMOVE ALL WOOD FRAMING
- REMOVE POWER AND LIGHTING; RETAIN POWER FOR REPLACEMENT; RE: MEP

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**SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION**

**FIESTA GARDENS**  
2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

**D1.35**  
PH 1 BANDSTAND -  
DEMO. CEILING  
PLAN



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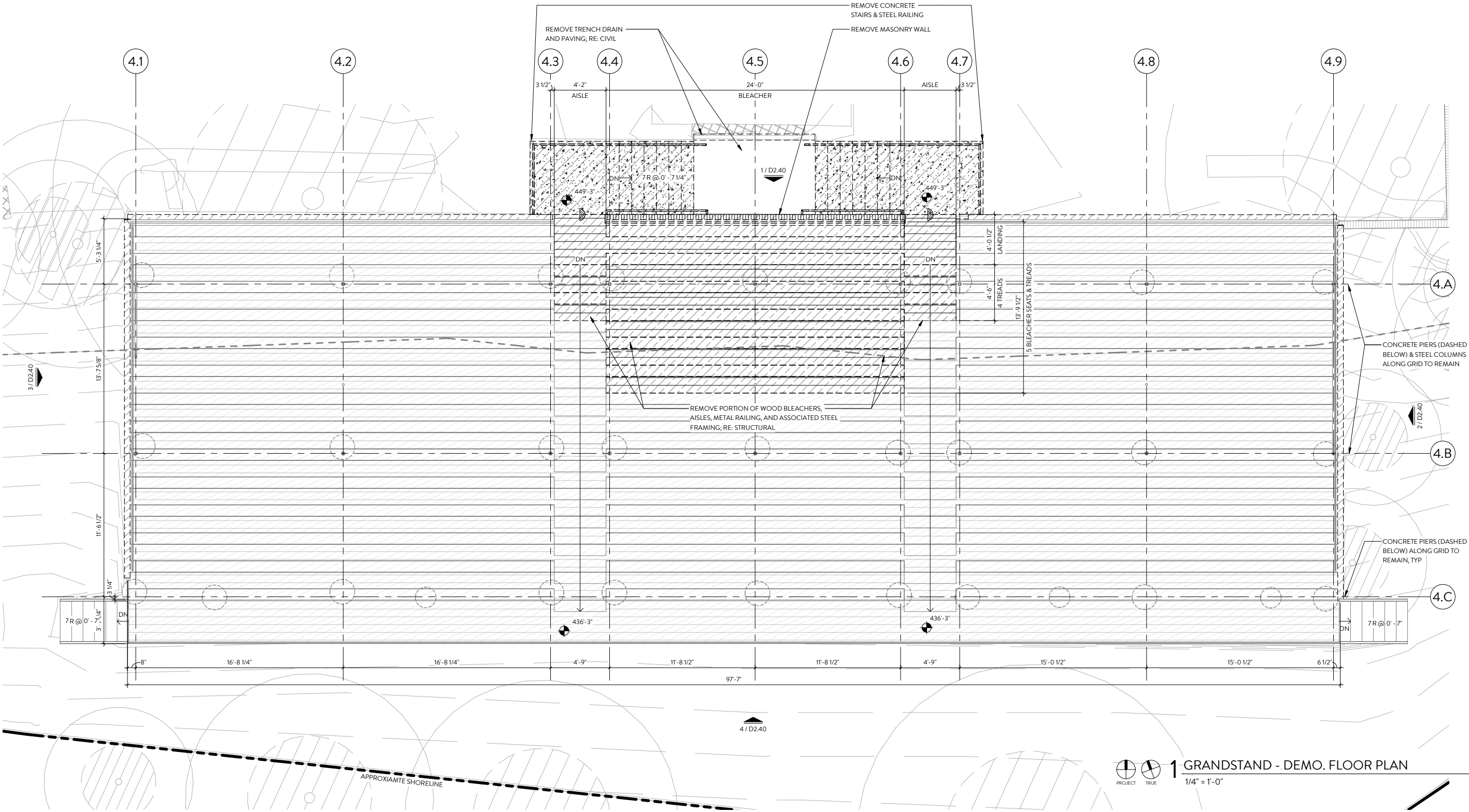
SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

1. REMOVE RUST FROM ALL STEEL SURFACES; PREPARE FOR NEW FINISH.
2. REMOVE PAINT FROM ALL WOOD SURFACES TO REMAIN; PREPARE FOR NEW FINISH.
3. REPAIR AND/OR REPLACE DAMAGED WOOD.
4. RE: LANDSCAPE FOR TREE REMOVAL
5. RE: MEP FOR SITE ELECTRICAL REMOVAL





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ISSUED DATE 2020-08-20  
PROJECT NUMBER 19043

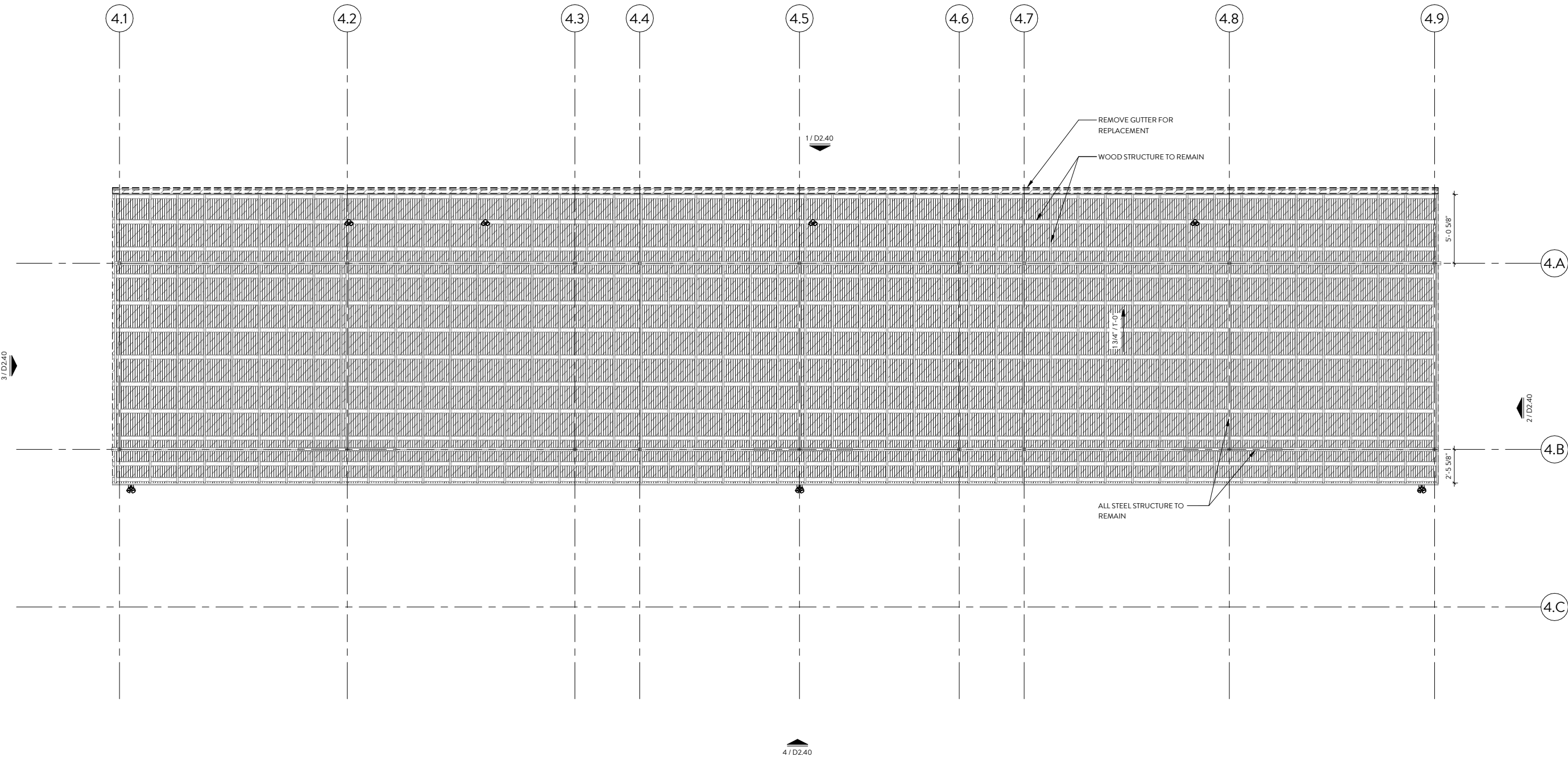
SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

DEMOLITION LEGEND

- AREA NOT IN SCOPE, UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

- REMOVE ALL LIGHTS; RE: MEP.
- REMOVE METAL ROOFING FOR REPLACEMENT
- REPAIR AND/OR REPLACE DAMAGED WOOD
- REMOVE RUST FROM ALL STEEL SURFACES; PREPARE FOR NEW FINISH.



PROJECT TRUE  
1/4" = 1'-0"

1 GRANDSTAND - DEMOLITION CEILING PLAN

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D1.45

PH 1 GRANDSTAND  
- DEMO. CEILING  
PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION

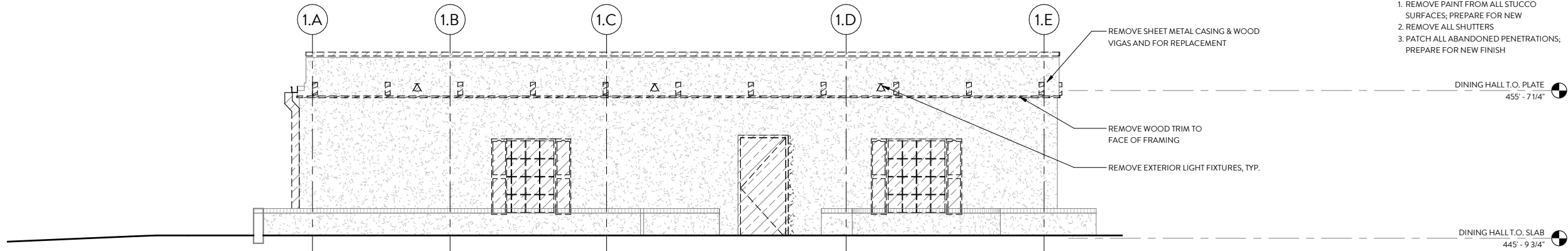
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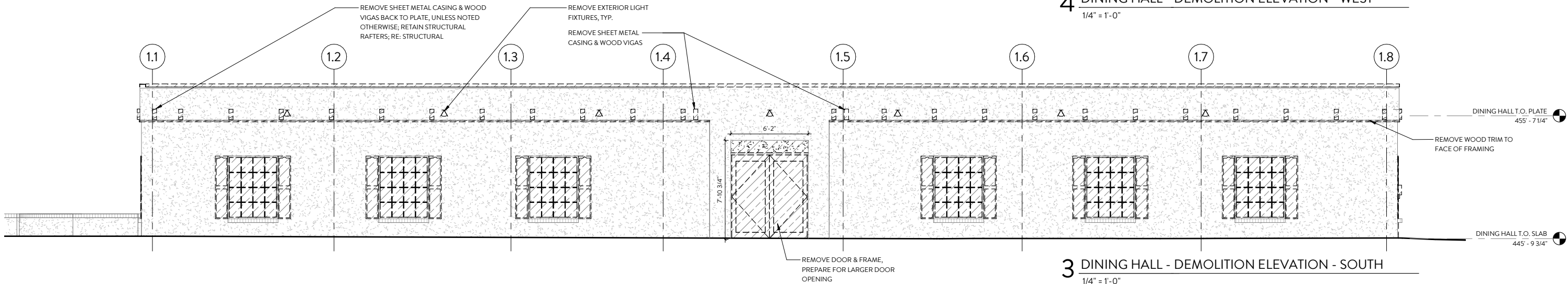
SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

GENERAL NOTES

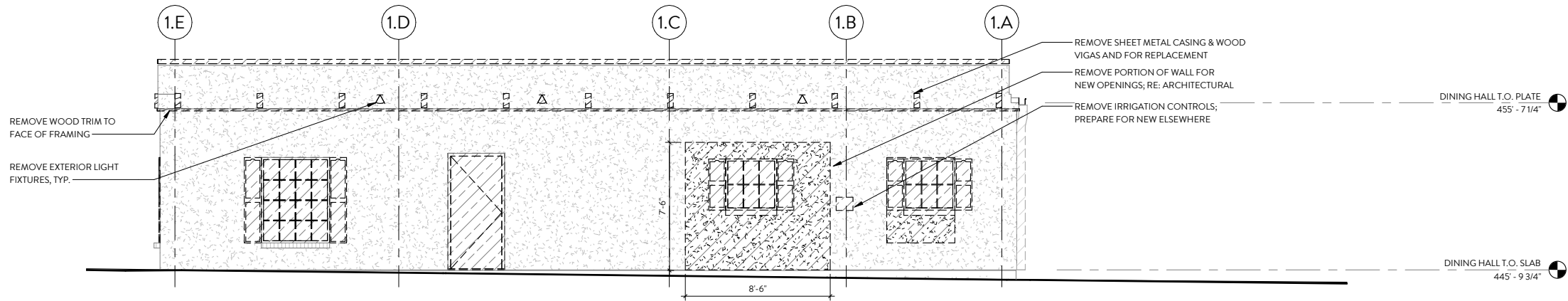
1. REMOVE PAINT FROM ALL STUCCO SURFACES; PREPARE FOR NEW
2. REMOVE ALL SHUTTERS
3. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH



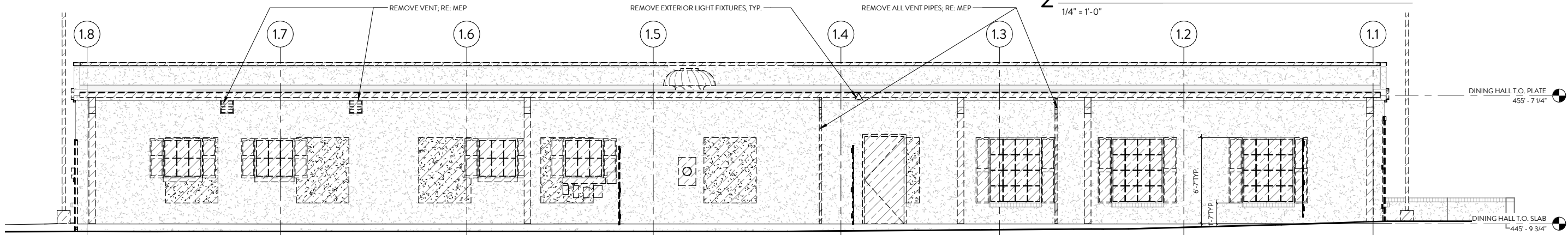
4 DINING HALL - DEMOLITION ELEVATION - WEST  
1/4" = 1'-0"



3 DINING HALL - DEMOLITION ELEVATION - SOUTH  
1/4" = 1'-0"



2 DINING HALL - DEMOLITION ELEVATION - EAST  
1/4" = 1'-0"



1 DINING HALL - DEMOLITION ELEVATION - NORTH  
1/4" = 1'-0"

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D2.10

PH 1 DINING HALL -  
DEMO.  
ELEVATIONS



PRELIMINARY  
NOT FOR CONSTRUCTION

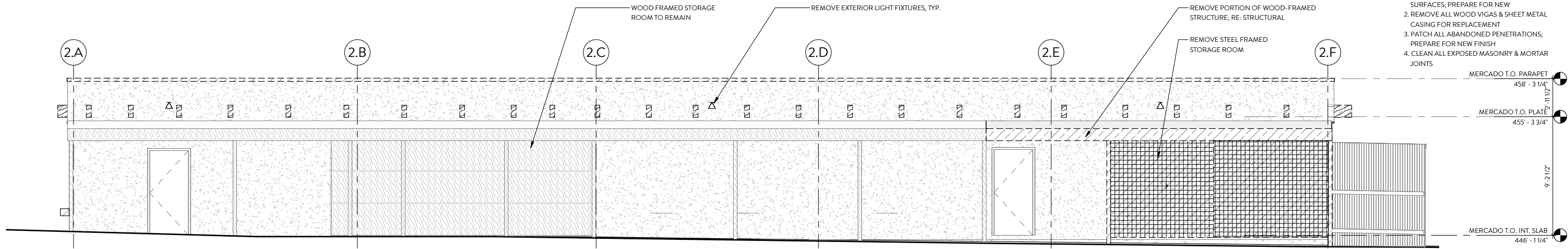
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ISSUED DATE 2020-08-20  
PROJECT NUMBER 19043

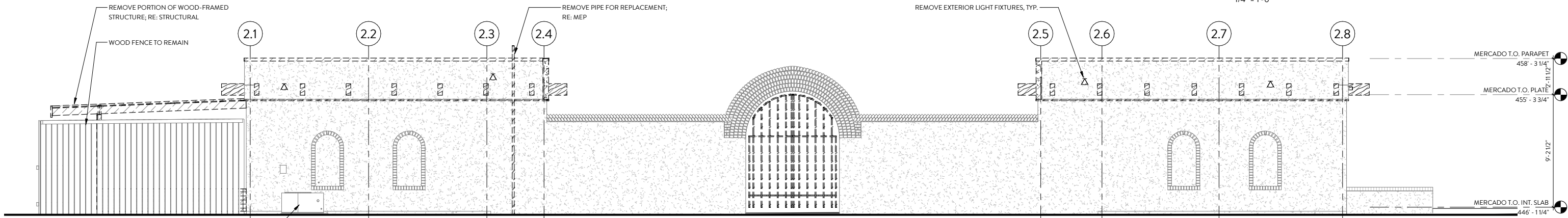
SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

GENERAL NOTES

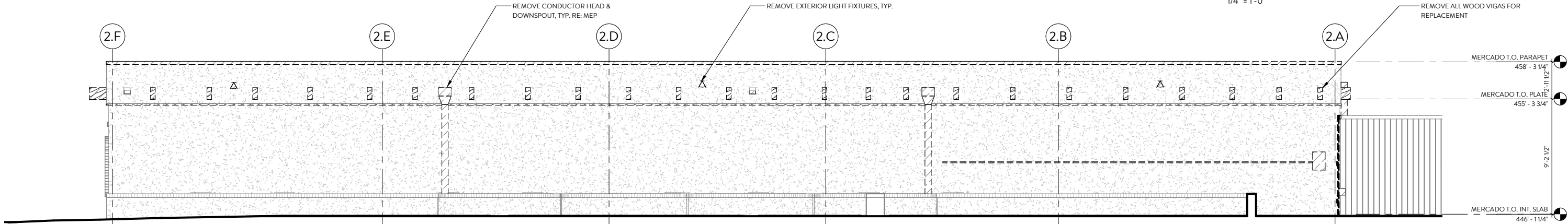
1. REMOVE PAINT FROM ALL STUCCO SURFACES; PREPARE FOR NEW
2. REMOVE ALL WOOD VIGAS & SHEET METAL CASING FOR REPLACEMENT
3. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH
4. CLEAN ALL EXPOSED MASONRY & MORTAR JOINTS



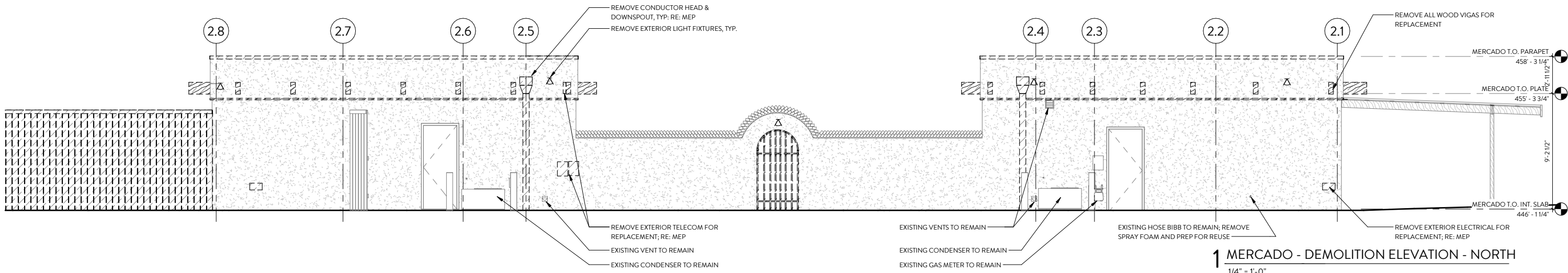
4 MERCADO - DEMOLITION ELEVATION - WEST  
1/4" = 1'-0"



3 MERCADO - DEMOLITION ELEVATION - SOUTH  
1/4" = 1'-0"



2 MERCADO - DEMOLITION ELEVATION - EAST  
1/4" = 1'-0"



1 MERCADO - DEMOLITION ELEVATION - NORTH  
1/4" = 1'-0"

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

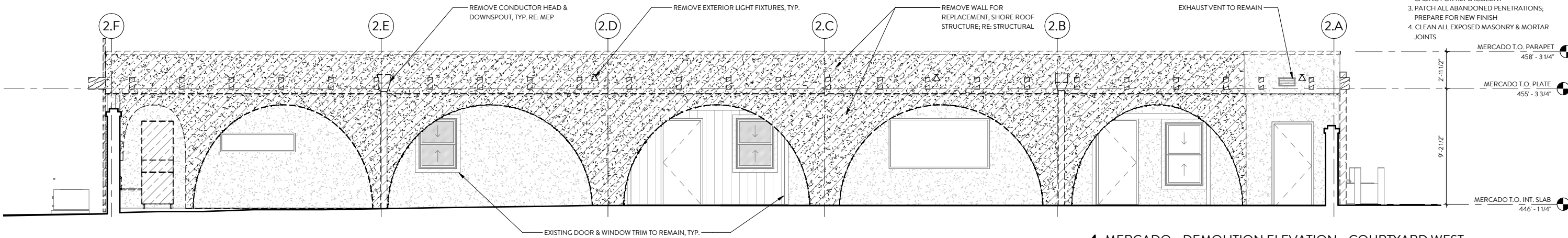
D2.20

PH 1 MERCADO -  
DEMO.  
ELEVATIONS



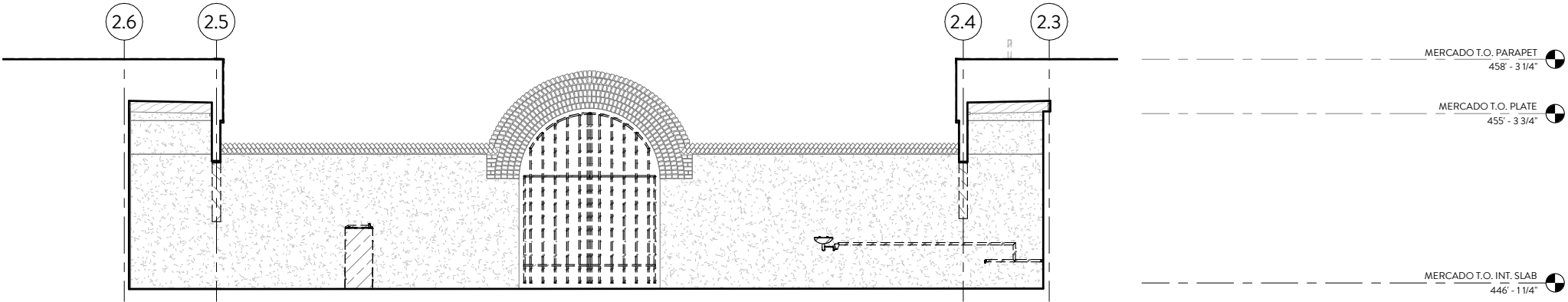
GENERAL NOTES

1. REMOVE PAINT FROM ALL STUCCO SURFACES; PREPARE FOR NEW
2. REMOVE ALL WOOD VIGAS & SHEET METAL CASING FOR REPLACEMENT
3. PATCH ALL ABANDONED PENETRATIONS; PREPARE FOR NEW FINISH
4. CLEAN ALL EXPOSED MASONRY & MORTAR JOINTS



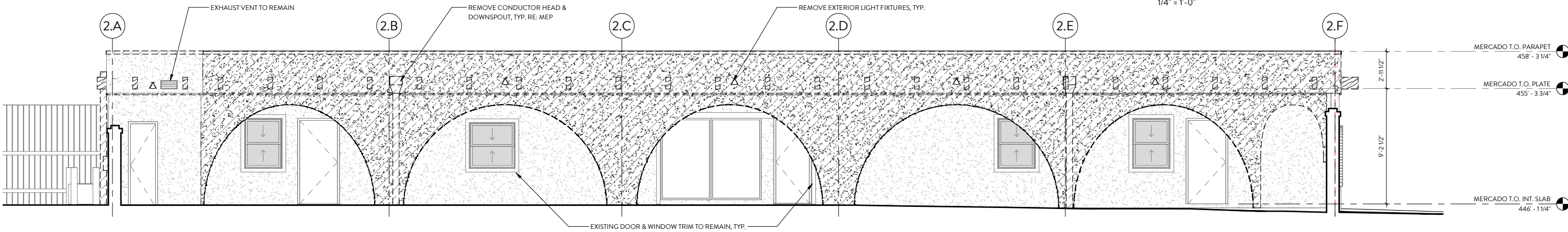
4 MERCADO - DEMOLITION ELEVATION - COURTYARD WEST

1/4" = 1'-0"



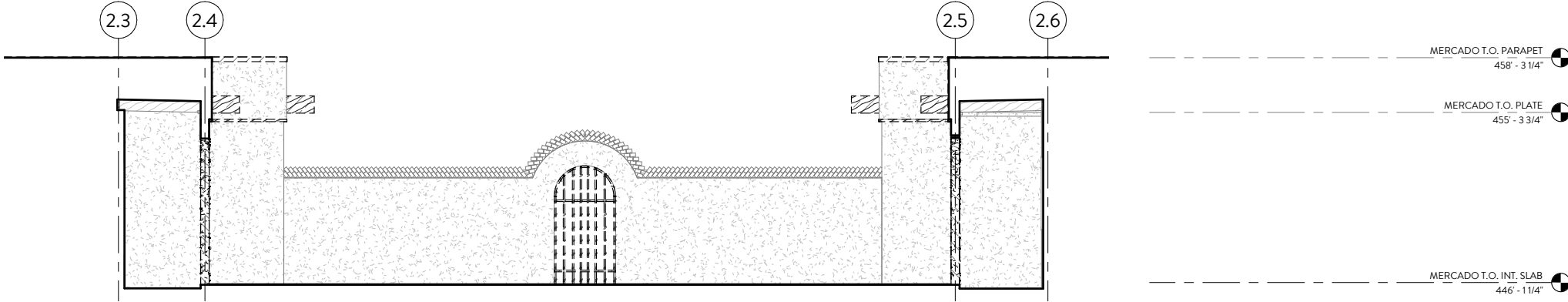
3 MERCADO - DEMOLITION ELEVATION - COURTYARD SOUTH

1/4" = 1'-0"



2 MERCADO - DEMOLITION ELEVATION - COURTYARD EAST

1/4" = 1'-0"



1 MERCADO - DEMOLITION ELEVATION - COURTYARD NORTH

1/4" = 1'-0"



GENERAL NOTES

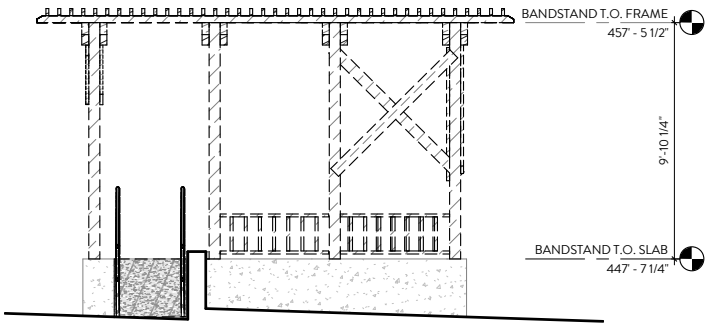
1. REMOVE PAINT FROM FACE OF CONCRETE  
SLAB; RETAIN PARGE COAT.

PRELIMINARY  
NOT FOR CONSTRUCTION

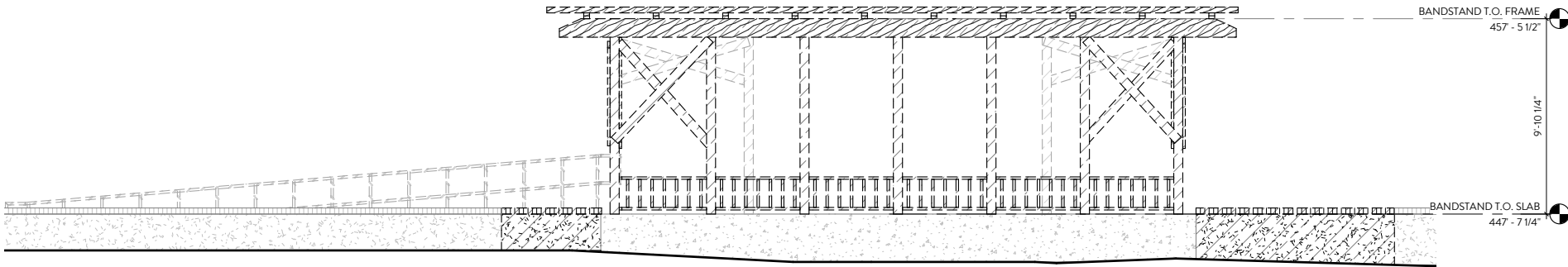
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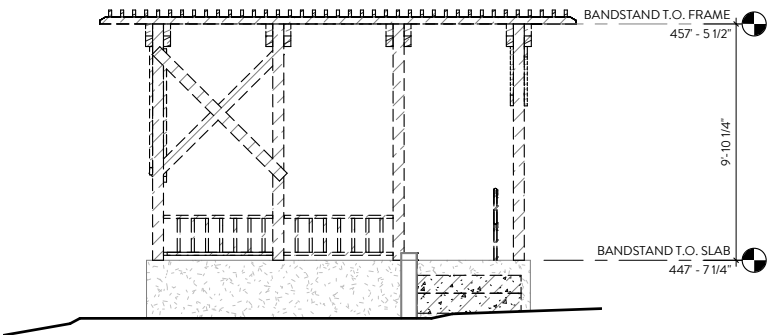
SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION



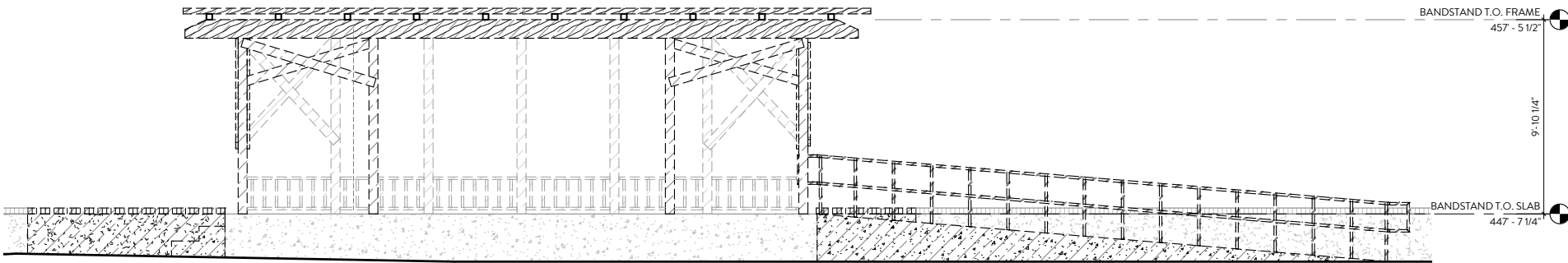
4 BANDSTAND - DEMOLITION ELEVATION - WEST  
1/4" = 1'-0"



3 BANDSTAND - DEMOLITION ELEVATION - SOUTH  
1/4" = 1'-0"



2 BANDSTAND - DEMOLITION ELEVATION - EAST  
1/4" = 1'-0"



1 BANDSTAND - DEMOLITION ELEVATION - NORTH  
1/4" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

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SCHEMATIC  
DESIGN - PH. 1  
DEMOLITION

FIESTA GARDENS

2101 JESSE E. SEGOVIA STREET  
AUSTIN, TEXAS 78702

D2.40

PH 1 GRANDSTAND  
- DEMO.  
ELEVATIONS

GENERAL NOTES

1. REMOVE RUST FROM ALL STEEL SURFACES; PREPARE FOR NEW FINISH.
2. REMOVE PAINT FROM ALL WOOD SURFACES TO REMAIN; PREPARE FOR NEW FINISH.

