



For Office Use Only

Date of Submission: _____

Plan Review #: _____

Historic Review Application

Property Address: 121 Laurel Lane

Historic Landmark ☐

Historic District (Local) ☒

National Register Historic District ☐

Historic Landmark or Aldridge Place

Historic District Name: _____

Applicant Name: Rindala McDonald Phone #: [REDACTED] Email: [REDACTED]

Applicant Address: 121 Laurel Lane City: Austin State: TX Zip: 78705

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) New garage with second floor apartment (ADU) in place of existing garage at rear of lot. _____ _____ _____	SW corner rear of lot _____ _____ _____	bronze (brown) metal cladding to match existing rear porch at existing home _____ _____ _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan ☒ Elevations ☒ Floor Plan ☒ Roof Plan ☒

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☐ Detailed view of each area proposed to be modified ☐

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: 

Date: 11/25/2020



STREET FACADE



REAR ELEVATION OF HOME
NEW GARAGE/APT CLADDING
TO MATCH METAL SHOWN HERE



PROJECT LOCATION
EXISTING GARAGE
TO BE REMOVED PER
2020-170020 BP

121 Laurel lane

GENERAL NOTES

1. It is the intent of these Contract Documents to establish a high quality level of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of work without additional cost to the owner. All material and methods of installation shall be in accordance with industry standards and manufacturer's recommendations.
2. The Contractor shall be responsible for a thorough review of all drawings, specifications and existing conditions prior to commencement of work. This includes but is not limited to site utilities and the structural scope of work. The failure of the Contractor to report discrepancies and seek modification or change prior to commencement of work shall be construed as full acceptance of the condition in question by the Contractor. The Contractor shall assume responsibility for all work depicted by the Contract Documents regardless of whether the Subcontractors agree as to whose jurisdiction certain areas of the scope of work are under.
3. It shall be assumed that the Contractor and the Subcontractors are sufficiently experienced to be considered qualified in their respective work responsibilities. The Contractor shall insure that the Owner receives acceptable workmanship common to the industry from all Subcontractors and material suppliers and is responsible for hiring qualified staff personnel and/or Subcontractors as necessary.
4. The Contractor shall verify the location of all existing utilities so that the work may proceed safely and be coordinated among all Subcontractors and personnel involved. The Contractor shall notify the Owner and Designer in advance of any work required by public utility entities that will affect the cost of schedule of the work.
5. The contractor shall meet all safety requirements applicable in the city of Austin and maintain a safe working environment for all personnel and occupants during the entire project. The jobsite is to be kept orderly and as clean as possible during all construction activities.
6. This drawing set is provided to communicate only the basic design of the building. Structural design by others, all plumbing and Electrical shall also be design build and shall be coordinated by contractor.
7. Any errors and omissions or inconsistencies found in these drawings shall be brought to the Architects attention immediately. Do not proceed with work until all issues have been resolved in writing.
8. Do not scale the drawings, written dimensions take precedence over scale dimensions.
9. All new construction dimensions are drawn to the face of new studs as shown on the drawings. Any inconsistencies shall be brought to the Designer's attention prior to the commencement of work.
10. The Contractor shall verify all grades and grading requirements prior to the commencement of work. Grades shown are approximate, therefore all stairs and finish floor elevations shall be coordinated in the field. Note: Two consecutive steps shall constitute a stair, and stairs shall not exceed 7 3/4" rise or a 10" run per code. Mount one handrail per stair to continue the length of the run at 34" above the nosing typical. All stairs shall be built in conformance with all codes as applicable.
11. All 'clear' and 'minimum' dimensions shall be within 1/8" along it's full length. No adjustments shall be made without the Designer's prior written consent.
12. Locations of all partitions and doors shall be approved by the Designer or Owner in the field prior to construction. The Contractor shall notify the Designer or Owner of any conflicts or discrepancies in the location of new construction.
13. Larger scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify the Designer of any discrepancies in writing prior to commencement of work.
14. The Contractor and Owner shall take responsibility to meet all code and manufacturer's requirements. It is the responsibility of the Builder to insure the project conforms to all codes applicable at the time of construction. Note: Manufacturers installation guidelines take precedence over diagrammatic details and drawings. Any inconsistencies shall be brought to the Owner's attention prior to the commencement of work.

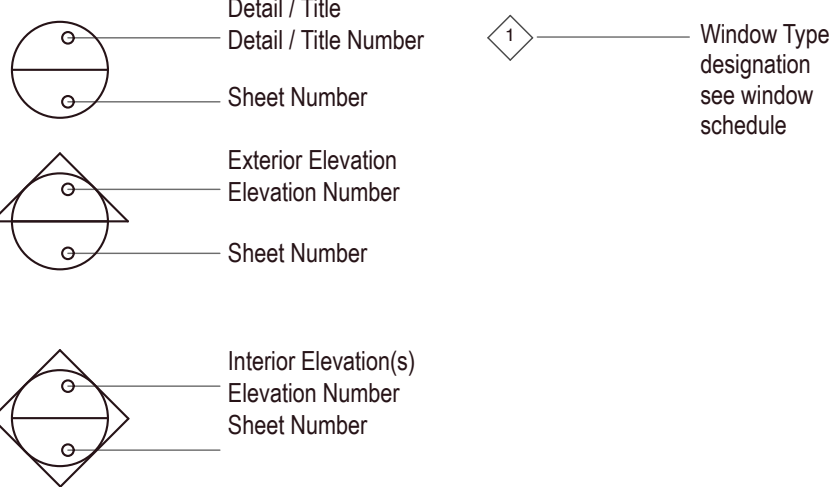
SITE NOTES

- EROSION CONTROL**
1. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation).
2. The contractor is required to inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
- TREE PROTECTION**
1. All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
2. Protective fences shall be erected according to City of Austin Standards for Tree Protection.
3. Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
4. Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
5. Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line), for natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
- A. Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
- B. Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Arborist;
- C. Wounds to exposed roots, trunk or limbs by mechanical equipment;
- D. Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.

VISIBILITY NOTES

1. At noted ground floor bathroom on plan provide: lateral two-inch by six-inch or larger nominal wood blocking installed flush with stud edges of bathroom walls. Centerline of the blocking must be 34 inches from and parallel to the interior floor level, except for the portion of the wall located directly behind the lavatory.
2. All light switches to be installed at 48" off to top of box, all wall outlets and receptacles must be installed minimum 15" off to bottom of box.

SYMBOLS



PROJECT DESCRIPTION

Address: 121 Laurel Ln Austin, Texas 78705

Legal: LOT 11, and the East 5.8' of Lot 12 Block 2 University Heights

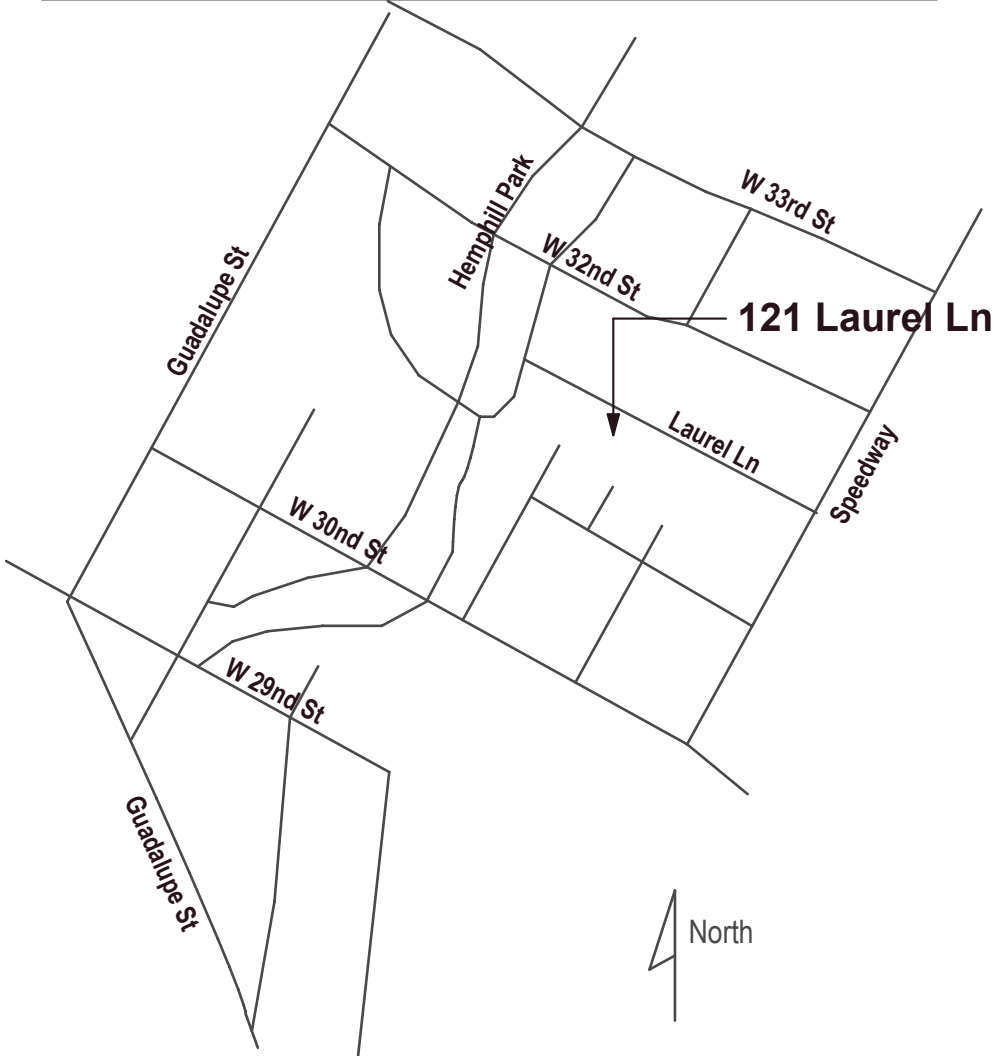
Zoning: SF-3 North University NCCD

PROJECT INFORMATION

Owner: Rindi McDonald
121 Laurel Ln Austin, Texas 78705

Architect: Donald Harris AIA
512.297.4206

VICINITY MAP



SHEET INDEX

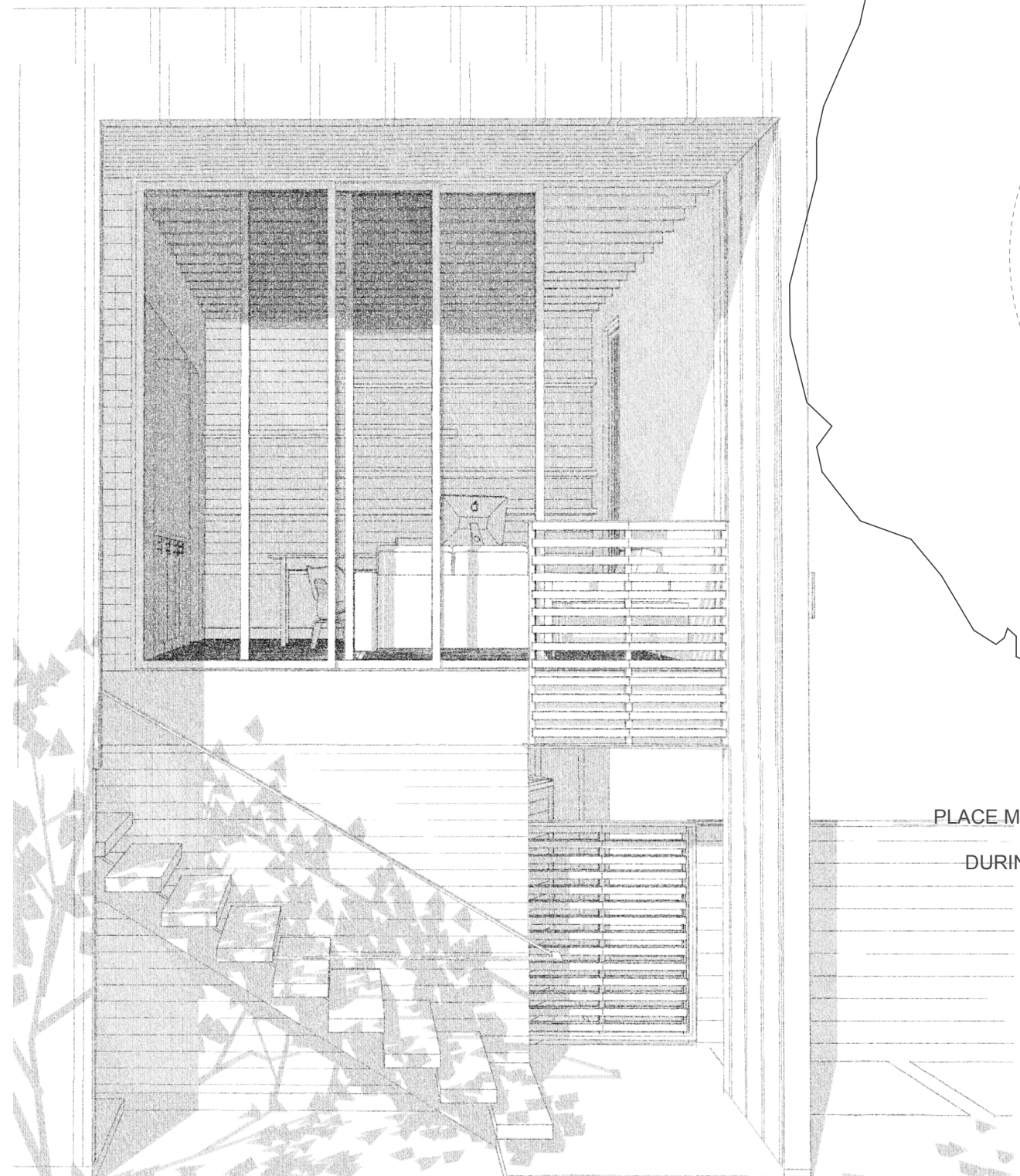
- A1.0 Cover Sheet / General Notes/ Site Plan
- A2.0 First Floor Plan
- A2.1 Second Floor Plan
- A2.2 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A4.0 Building Sections

A6.0 Details

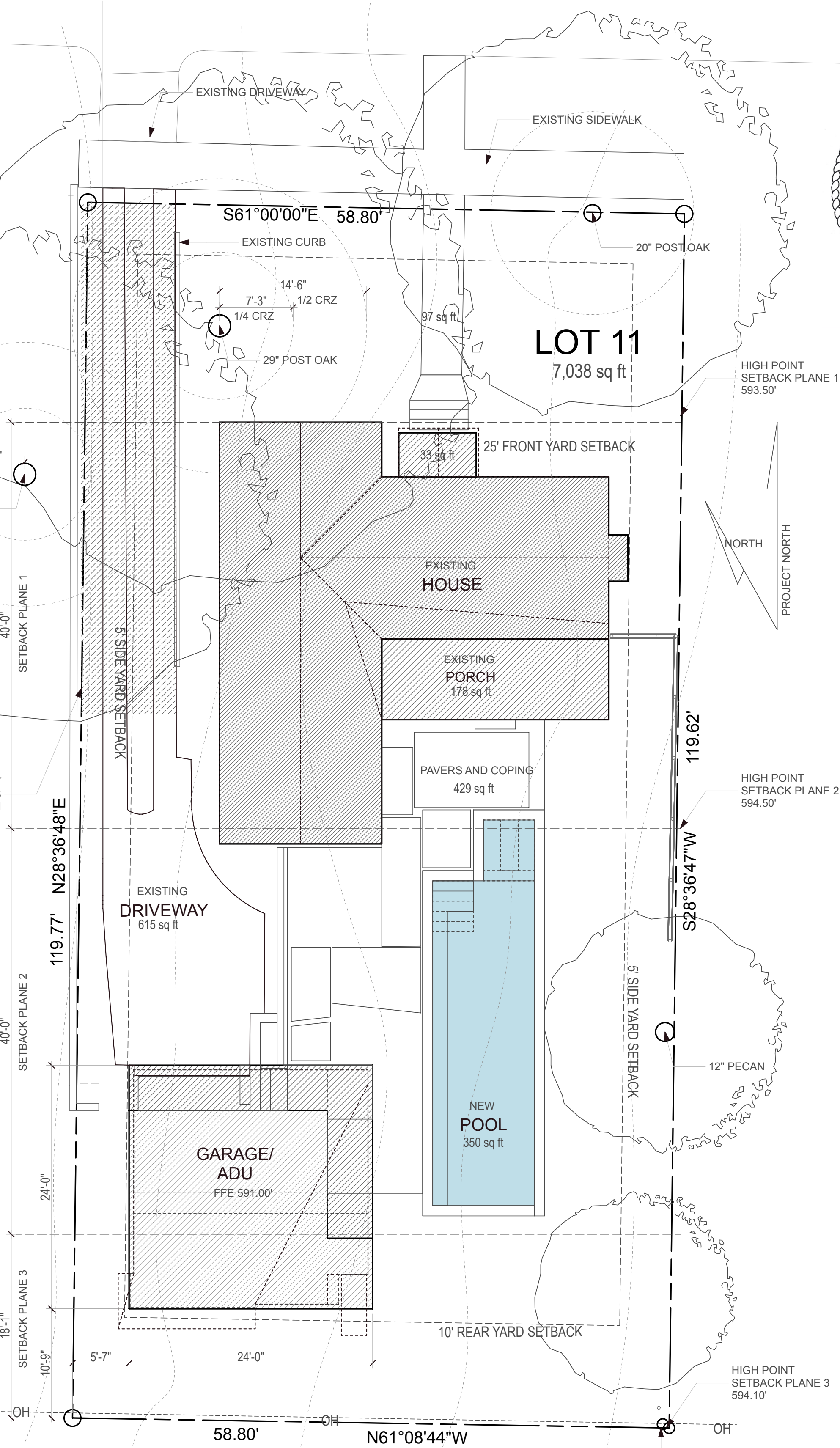
E1 Elect Layout/ MEP Notes

ZONING CALCULATIONS

Building Coverage (roofed areas)			
1st Floor Conditioned Area	1022	0	
2nd Floor Conditioned Area	1198	469	
Garage (detached)		416	
Covered Patios	178	161	lower level
Covered Porches	36	107	ext stair
pool		350	water surface
Total Building Area:	2434	1153	
Lot Area per Plat:	7044		
% Building Coverage on Lot:	17.5%		
Conditioned Area:	2220	469	
Yielded Floor Area Ratio on Lot:	2689		
	0.3817		
Impervious Coverage			
Total Building Coverage on Lot	1236	577	
Driveway Area	615		
Sidewalks & Walkways	97	429	
Uncovered Patios			
Uncovered Wood Decks			
Air Conditioner Pads	18	9	
Concrete Slabs or Decks			
Other Impervious Coverage			
Total Impervious Coverage:	1966	1015	
allowable	3169.8		
% Impervious Coverage on Lot:	42.3%		



LAUREL LANE



Site Plan
SCALE: 1/8" = 1'-0"
1/16"=1'-0" ON 11X17

Don Harris I Architect

512.297.4206
www.donharrisarchitect.com



PROPOSED GARAGE/ GUEST HOUSE
121 Laurel Ln
AUSTIN, TEXAS 78705

JOB No. 2020-121

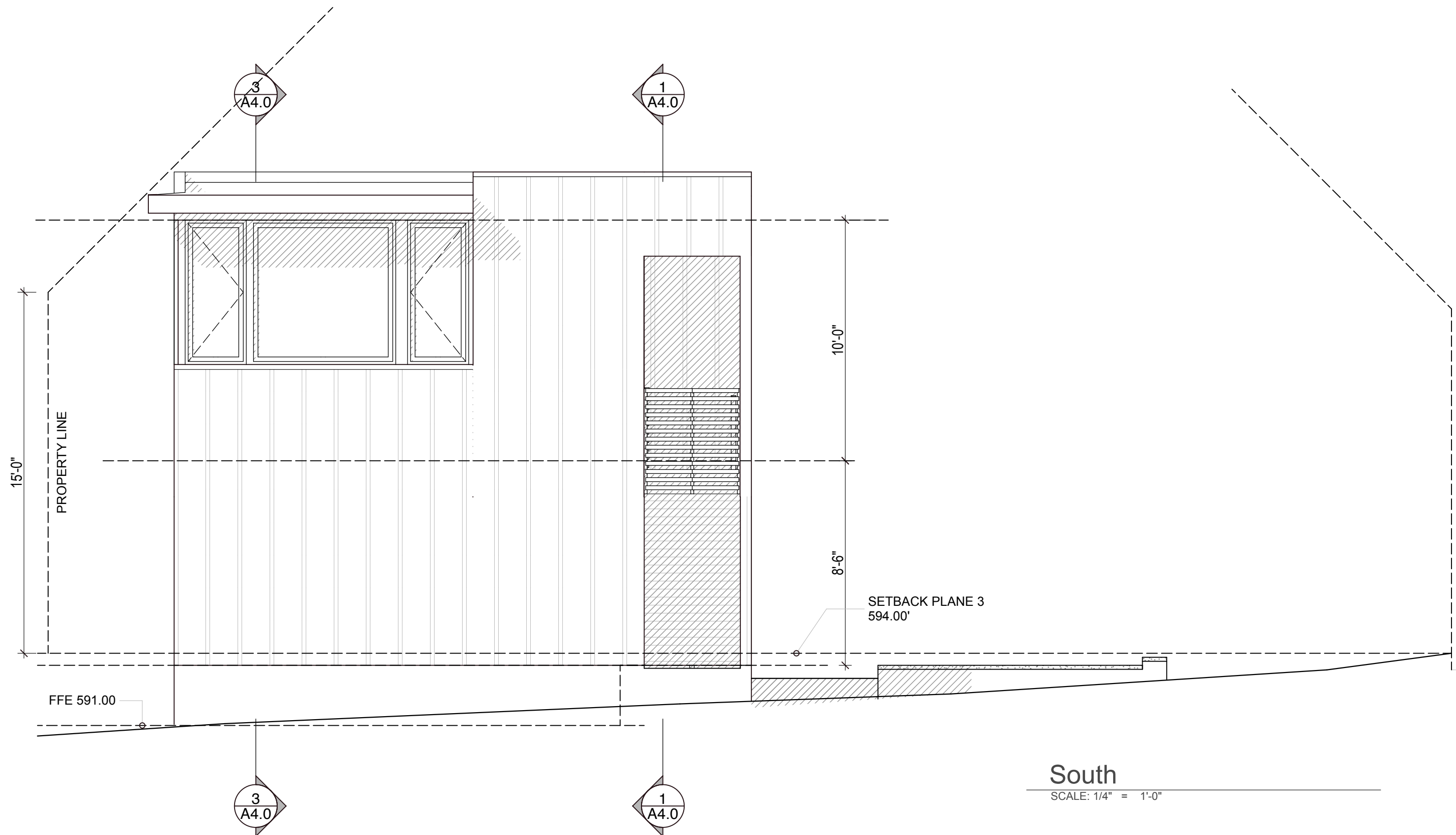
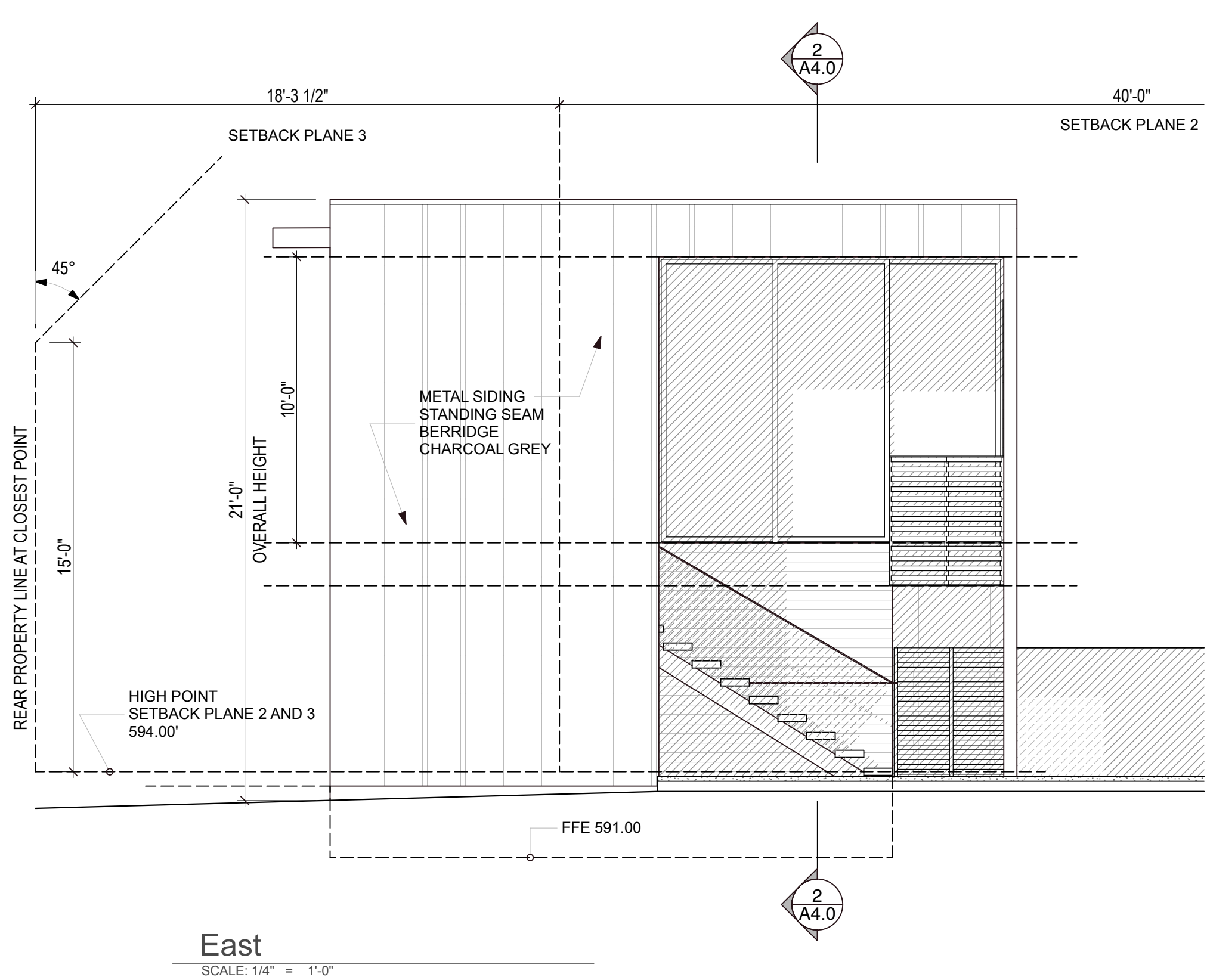
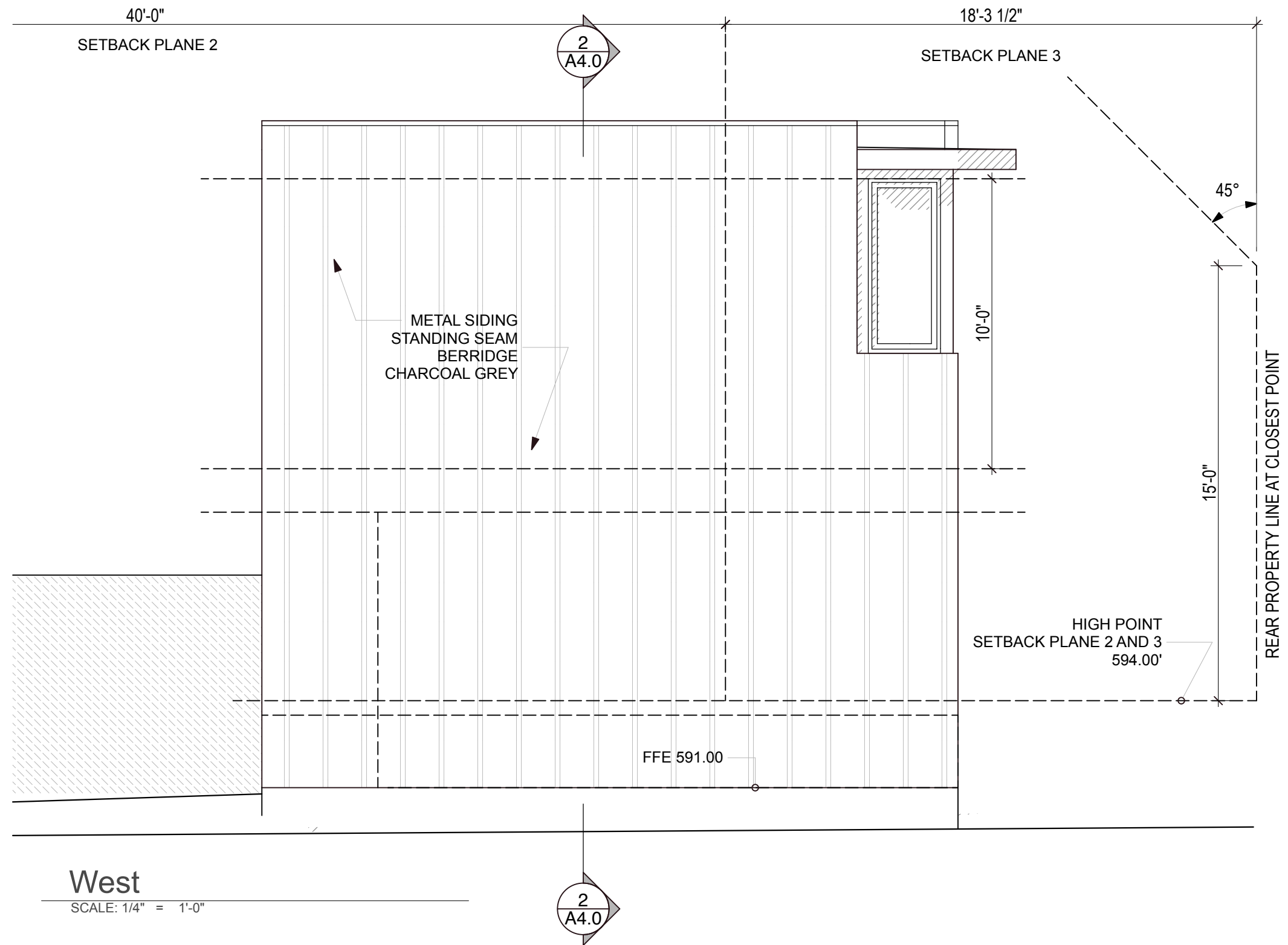
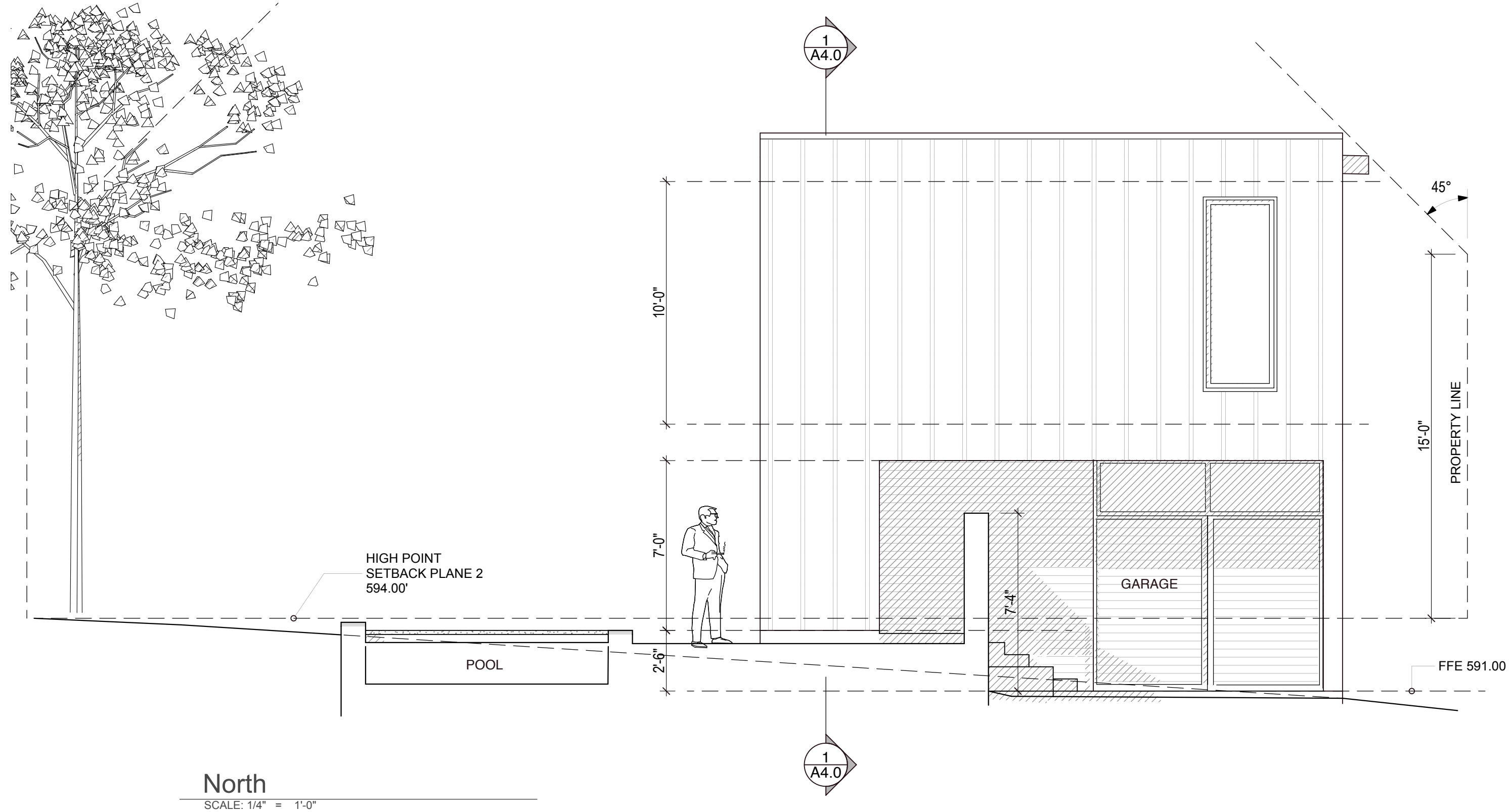
REVISION

8.15.2020 SCHEMATIC

10.10.2020 PERMIT SET

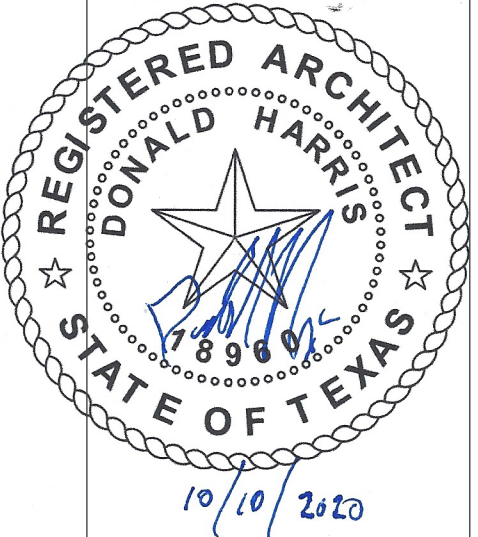
SHEET NUMBER

A1.0



Don Harris | Architect

512.297.4206
www.donharrisarchitect.com



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121 Laurel Ln
AUSTIN, TEXAS 78705

JOB No.	2020-121
REVISION	
8.15.2020	SCHEMATIC
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SHEET NUMBER

A3.0