

1. It is the intent of these Contract Documents to establish a high quality level of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of work without additional cost to the owner. All material and methods of installation shall be in accordance with industry standards and manufacturer's recommendations.
2. The Contractor shall be responsible for the preparation of all drawings, specifications and existing conditions prior to commencement of work. This includes but is not limited to site utilities and the structural scope of work. The failure of the Contractor to report discrepancies and seek modification or change prior to commencement of work shall be construed as full acceptance of the condition in question by the Contractor. The Contractor shall assume responsibility for all work depicted by the Contract Documents regardless of whether the Subcontractors agree as to the jurisdiction certain areas of the scope of work are under.
3. It shall be assumed that the Contractor and the Subcontractors are sufficiently experienced to be considered qualified in their respective work responsibilities. The Contractor shall insure that the Owner receives acceptable workmanship common to the industry from all Subcontractors and material suppliers and is responsible for hiring qualified staff personnel and Subcontractors as necessary.
4. The Contractor shall verify the location of all existing utilities so that the work may proceed safely and be coordinated among all Subcontractors and personnel involved. The Contractor shall notify the Owner and Designer in advance of any work required by public utility entities that will affect the cost of schedule of the work.
5. The contractor shall meet all safety requirements applicable in the city of Austin and maintain a safe working environment for all personnel and occupants during the entire project. The jobsite is to be kept orderly and as clean as possible during all construction activities.
6. This drawing set is provided to communicate only the basic design of the building. Structural design by others, all plumbing and electrical work shall also be design build and shall be coordinated by contractor.
7. Any errors and omissions or inconsistencies found in these drawings shall be brought to the Architects attention immediately. Do not proceed with work until all issues have been resolved in writing.
8. Do not scale the drawings, written dimensions take precedence over scale dimensions.
9. All new construction dimensions are drawn to the face of new studs as shown on the drawings. Any inconsistencies shall be brought to the Designer's attention prior to the commencement of work.
10. The Contractor shall verify all grades and grading requirements prior to the commencement of work. Grades shown are approximate, therefore all stairs and finish floor elevations shall be coordinated in the field. Note: Two consecutive risers and treads shall be 17" and 11" respectively and 7 3/4" rise or a 10" run per code. Mount one handrail per flight to continue the length of the run at 34" above the nosing typical. All stairs shall be built in accordance with all codes as applicable.
11. All 'clear' and 'minimum' dimensions shall be within 1/8" along it's full length. No adjustments shall be made without the Designer's prior written consent.
12. Locations of all partitions and doors shall be approved by the Designer or Owner in the field prior to construction. The Contractor shall notify the Designer or Owner of any conflicts or discrepancies in the location of new construction.
13. Larger scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify the Designer of any discrepancies and/or conflicts prior to commencement of work.
14. The Contractor and Owner shall take responsibility to meet all code and manufacturer's requirements.

It is the responsibility of the Builder to insure the project conforms to all codes applicable at the time of construction. Note: Manufacturers installation guidelines take precedence over diagrammatic details and drawings. Any inconsistencies shall be brought to the Owner's attention prior to the commencement of work.

EROSION CONTROL

1. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation).

2. The contractor is required to inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.

TREE PROTECTION

1. All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.

2. Protective fences shall be erected according to City of Austin Standards for Tree Protection.

3. Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.

4. Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.

5. Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line), for natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:

A. Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;

B. Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Abseist;

C. Wounds to exposed roots, trunk or limbs by mechanical equipment;

D. Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.

Address: 121 Laurel Ln Austin, Texas 78705

Legal: LOT 11, and the East 5.8' of Lot 12 Block 2 University Heights

Zoning: SF-3 North University NCCD / Aldridge Place

Owner: Rindi McDonald
121 Laurel Ln Austin, Texas 78705

Architect: Donald Harris AIA
512.297.4206

A map of the area around 121 Laurel Ln. The map shows several streets: W 33rd St, W 32nd St, W 30th St, W 29th St, and a diagonal road labeled 'Guadalupe St' in two locations. A park area labeled 'Hemphill Park' is situated between W 32nd St and W 30th St. A 'Speedway' is located to the east of Laurel Ln. A red arrow points from the text '121 Laurel Ln' to a specific location on Laurel Ln, indicating the proposed driveway site. A north arrow is located at the bottom right of the map.

Diagram illustrating the symbols for window types and their corresponding designations:

- Top Symbol:** A circle with a horizontal line through the center. The top half is labeled "Detail / Title" and the bottom half is labeled "Sheet Number".
- Middle Symbol:** A circle with a horizontal line through the center, enclosed within a triangle. The top half is labeled "Exterior Elevation" and the bottom half is labeled "Sheet Number".
- Bottom Symbol:** A circle with a horizontal line through the center, enclosed within a diamond. The top half is labeled "Interior Elevation(s)" and the bottom half is labeled "Sheet Number".

A legend on the right indicates that the diamond symbol is used for "Window Type designation see window schedule".

- A1.0** Cover Sheet / General Notes/ Site Plan
- A2.0** First Floor Plan
- A2.1** Second Floor Plan
- A2.2** Roof Plan
- A3.0** Elevations
- A3.1** Elevations
- A4.0** Building Sections

A6.0 Details

E1 Elect Layout/ MEP Notes

Building Coverage (roofed areas)		
1st Floor Conditioned Area	1022	0
2nd Floor Conditioned Area	2198	469
Garage (detached)		416
Covered Patios	178	161
Covered Porches	36	
pool		350
Total Building Area:	2434	1046
Lot Area per Plat:	7044	
% Building Coverage on Lot:	25.7%	
Conditioned Area:	2220	469
	2689	
Yielded Floor Area Ratio on Lot:	0.3817	
Impervious Coverage		
Total Building Coverage on Lot	1236	577
Driveway Area	615	
Sidewalks & Walkways	97	
Uncovered Patios		429
Uncovered Wood Decks		
Air Conditioner Pads	18	9
Concrete Slabs or Decks		
Other Impervious Coverage		
Impervious Coverage:	1966	1015
total	2981	
allowable	3169.8	
% Impervious Coverage on Lot:	42.3%	



LOT 11
7,038 sq ft

EXISTING HOUSE
178 sq ft
EXISTING PORCH
178 sq ft

GARAGE/ ADU
FREE 591.00'

NEW POOL
350 sq ft

PAVERS AND COPING
429 sq ft

EXISTING DRIVEWAY
615 sq ft

SETBACKS:
25' FRONT YARD SETBACK
5' SIDE YARD SETBACK
10' REAR YARD SETBACK

TREES:
26" POST OAK
29" POST OAK
12" PECAN

CRZ:
7'-3" 1/4 CRZ
14'-6" 1/2 CRZ

BOUNDARY DATA:
S61°00'00"E 58.80'
N28°36'48"E 119.77'
N28°36'47"W 119.62'
N61°08'44"W 58.80'

OTHER FEATURES:
EXISTING CURB
EXISTING DRIVEWAY
EXISTING SIDEWALK
POWER POLE
HIGH POINT SETBACK PLANE 1 593.50'
HIGH POINT SETBACK PLANE 2 594.00'
HIGH POINT SETBACK PLANE 3 594.00'

SCALE: 1/8" = 1'-0"
1/16"=1'-0" ON 11X17

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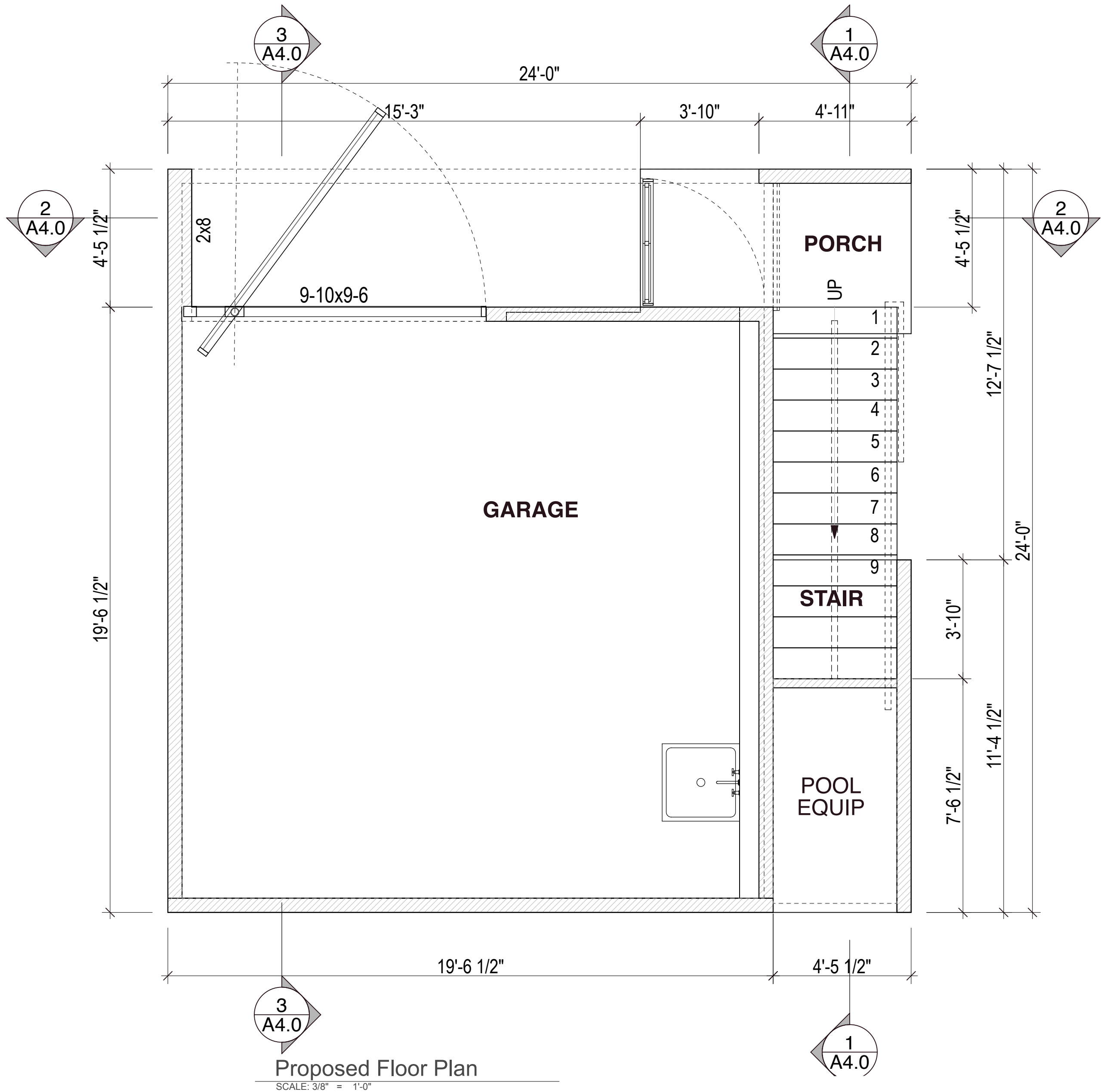


AUSTIN, TEXAS 78705

JOB No.	2020-121
REVISION	
8.15.2020	SCHEMATIC
10.10.2020	PERMIT SET
1.18.2021	UPDATE 1

SHEET NUMBER

A1.0



Proposed Floor Plan

SCALE: 3/8" = 1'-0"

LEGEND

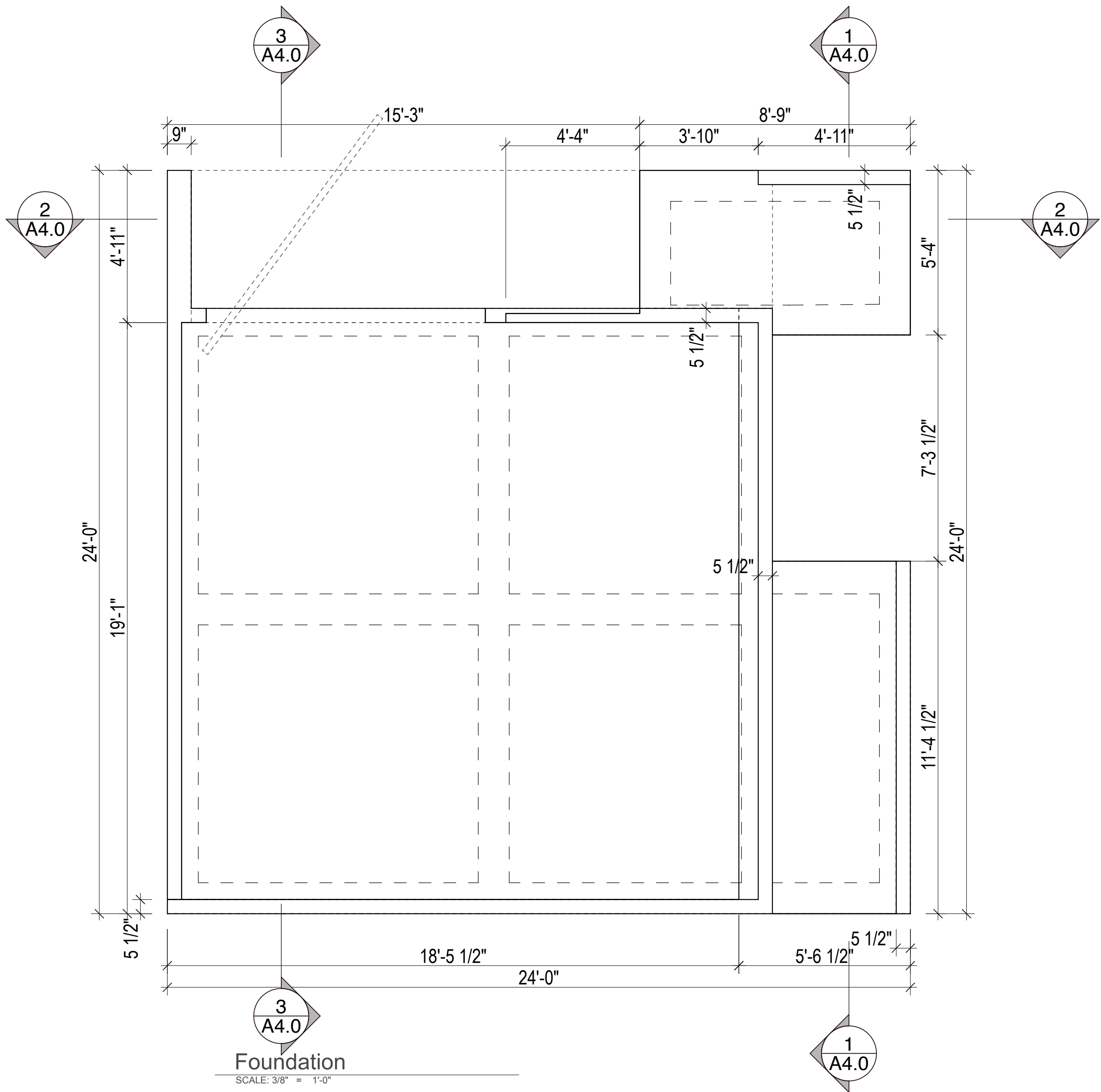
- NEW WALL FULL HEIGHT
2x6 @ 16"O.C. WOOD FRAME
- NEW WALL FULL HEIGHT
2x4 @ 16"O.C. WOOD FRAME
- NEW WALL PARTIAL HEIGHT

DOOR NOTES

- COORDINATE HARDWARE REQUIREMENTS WITH DOOR MANUFACTURER.
- REFER TO FLOOR PLANS FOR SIZES, WIDTH AND HEIGHT DIMENSIONS ARE TYPICALLY DOOR LEAF SIZE. COORDINATE FRAMING R.O. FOR ADJACENT DOOR AND WINDOW ASSEMBLIES TO ALIGN HEAD HEIGHT AS SHOWN OR NOTED ON THE DRAWINGS.
- PROVIDE TEMPERED GLASS AT ALL DOORS WITH LIGHTS.
- PROVIDE SMOKE AND FIRE GASKETS AND CLOSER AT ALL RATED DOOR ASSEMBLIES.
- PROVIDE RATED DOOR ASSEMBLIES WHERE NOTED ON PLAN.
- PROVIDE SILLS AND THRESHOLDS AT ALL EXTERIOR DOORS. PROVIDE WOOD THRESHOLDS AT INTERIOR DOORS TO MATCH WOOD FLOOR WHERE APPLICABLE.
- ALL EXTERIOR DOORS SHALL BE INSTALLED USING WEATHERLAPPED ELASTOMERIC FLASHING AT THE HEAD AND JAMBS.
- COORDINATE ALL DOORS AS REQUIRED TO ACCOMMODATE FLOOR FINISHES.
- SUBMIT DOOR CUT SHEETS FOR OWNER APPROVAL PRIOR TO ORDERING.
- PROVIDE WEATHERSTRIPPING AT ALL DOORS. ANY DAMAGED WEATHERSTRIPPING SHALL BE REMOVED AND REPLACED.
- PROVIDE TEMPERED GLASS AT SHOWER STALLS AND BUILT IN FURNITURE WITH GLASS DOORS.

WINDOW NOTES

- ANDERSEN 100 WINDOWS
- DOUBLE GLAZED, LOW-E W/ U-VALUE OF 0.50 OR LOWER AND SHGH .20 OR LOWER, AS APPROVED BY OWNER AND ARCHITECT
 - REFER TO PLANS FOR TYPE AND SIZES. DIMENSIONS SHOWN ARE FRAME SIZE. VERIFY ROUGH OPENINGS AND WINDOW SIZES WITH MANUFACTURER AND LOCATION. NOTIFY DESIGNER OF ANY NECESSARY ADJUSTMENTS IN ROUGH OPENING REQUIREMENTS PRIOR TO ANY MODIFICATIONS. COORDINATE ASSEMBLY REQUIREMENTS WITH FRAMING REQUIREMENTS.
 - COORDINATE PIECES OF WINDOW ASSEMBLIES TO PRODUCE A UNIFIED, WEATHER TIGHT UNIT.
 - ALL WINDOWS SHALL BE INSTALLED USING WEATHERLAPPED ELASTOMERIC FLASHING AT THE HEAD JAMB AND SILLS
 - PROVIDE TEMPERED GLASS AT ALL WINDOWS LOCATED WITHIN 18" OF A DOOR, WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" FROM THE FLOOR, ADJACENT TO A SHOWER OR TUB LESS THAN 60" TO SILL.



Foundation

SCALE: 3/8" = 1'-0"

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PROPOSED GARAGE/ GUEST HOUSE

121 Laurel Ln

AUSTIN, TEXAS 78705

JOB No. 2020-121

REVISION

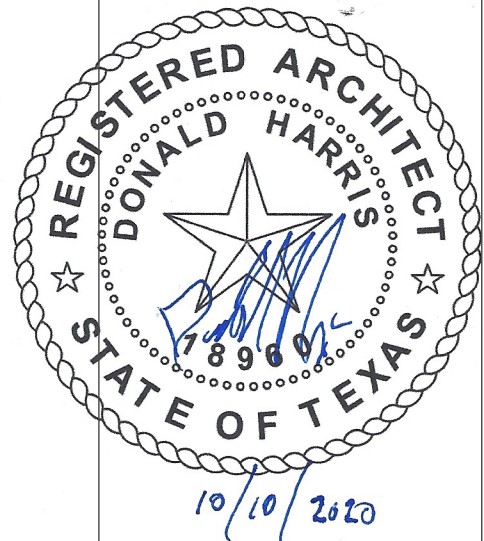
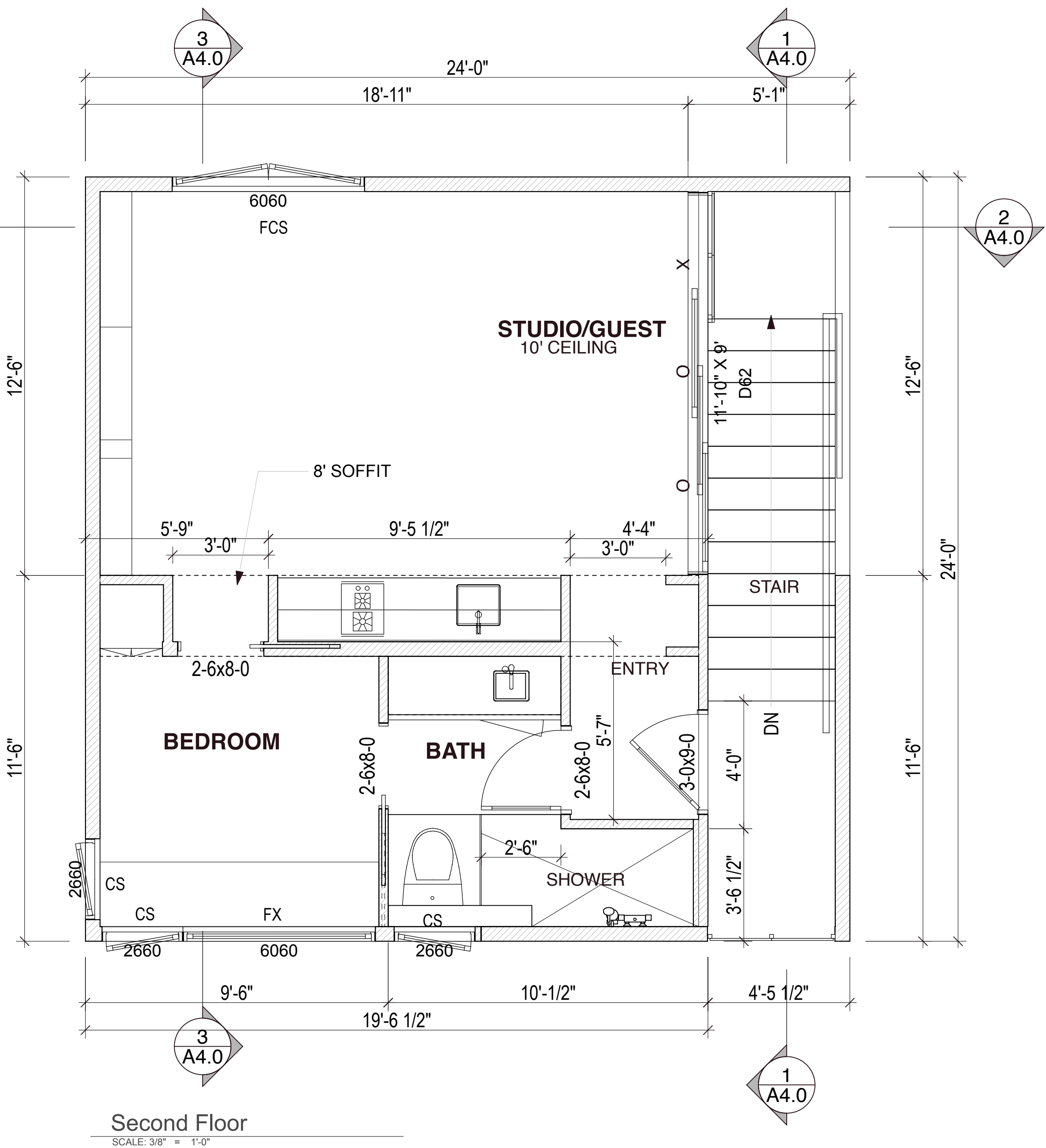
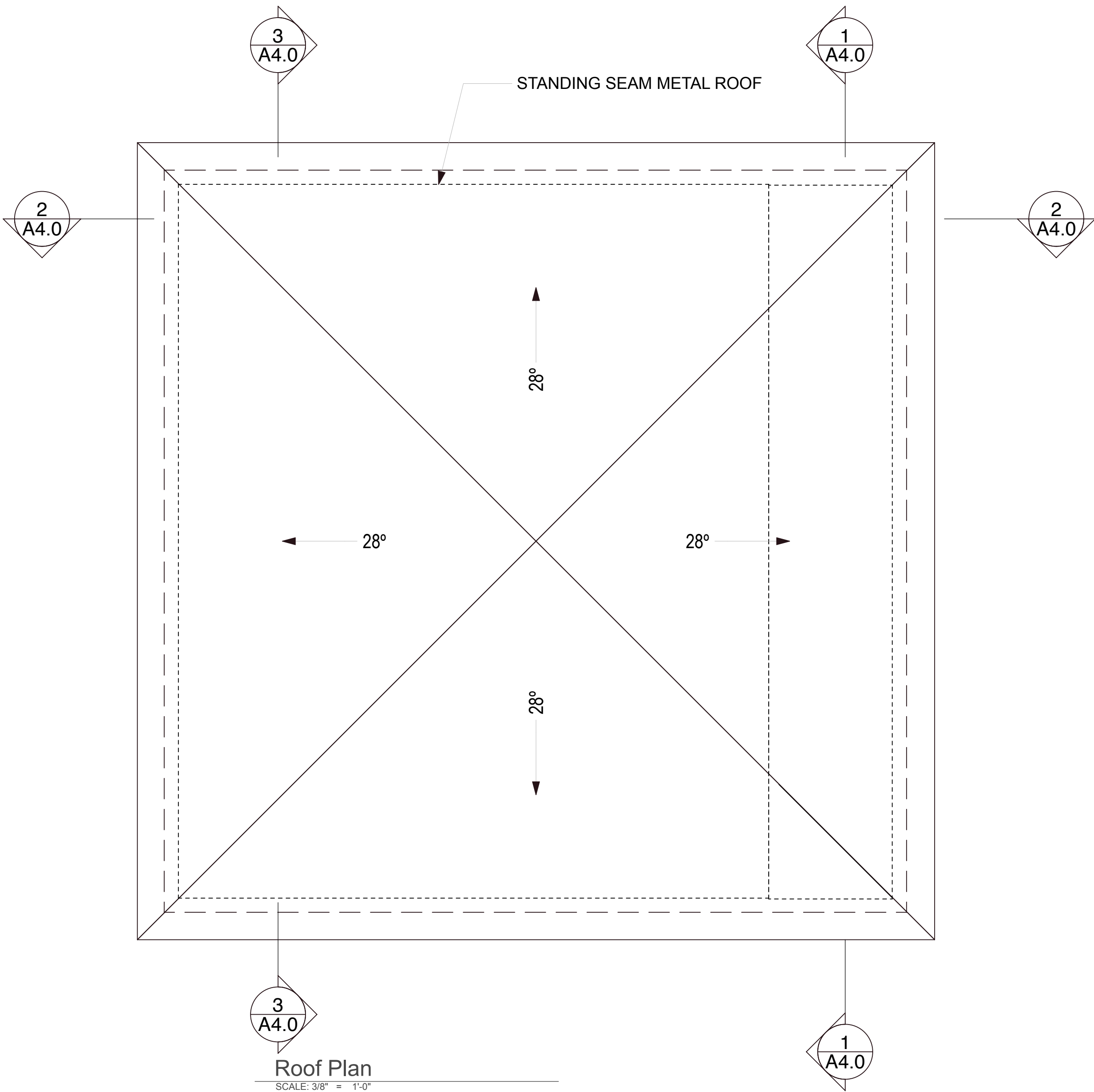
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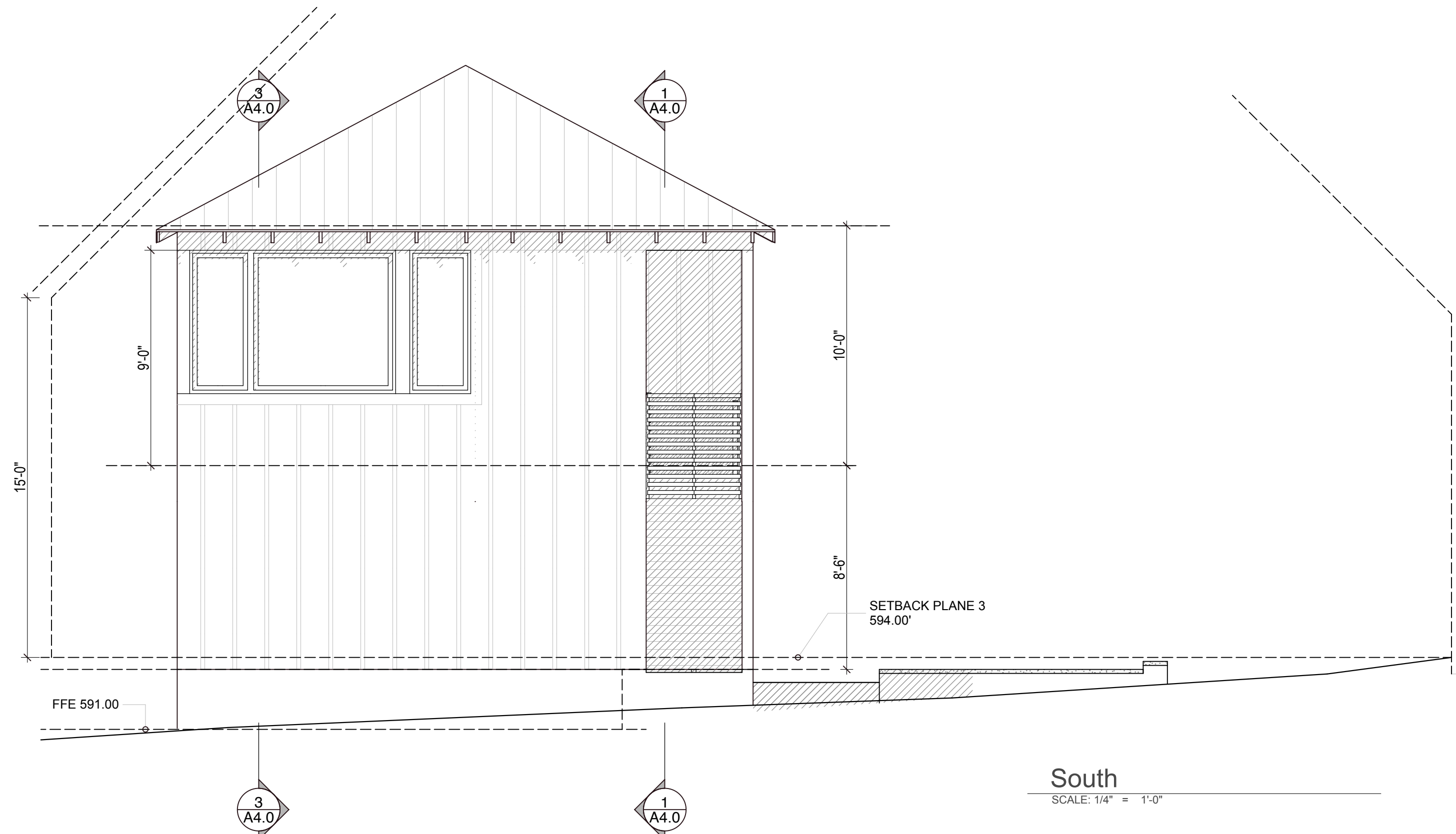
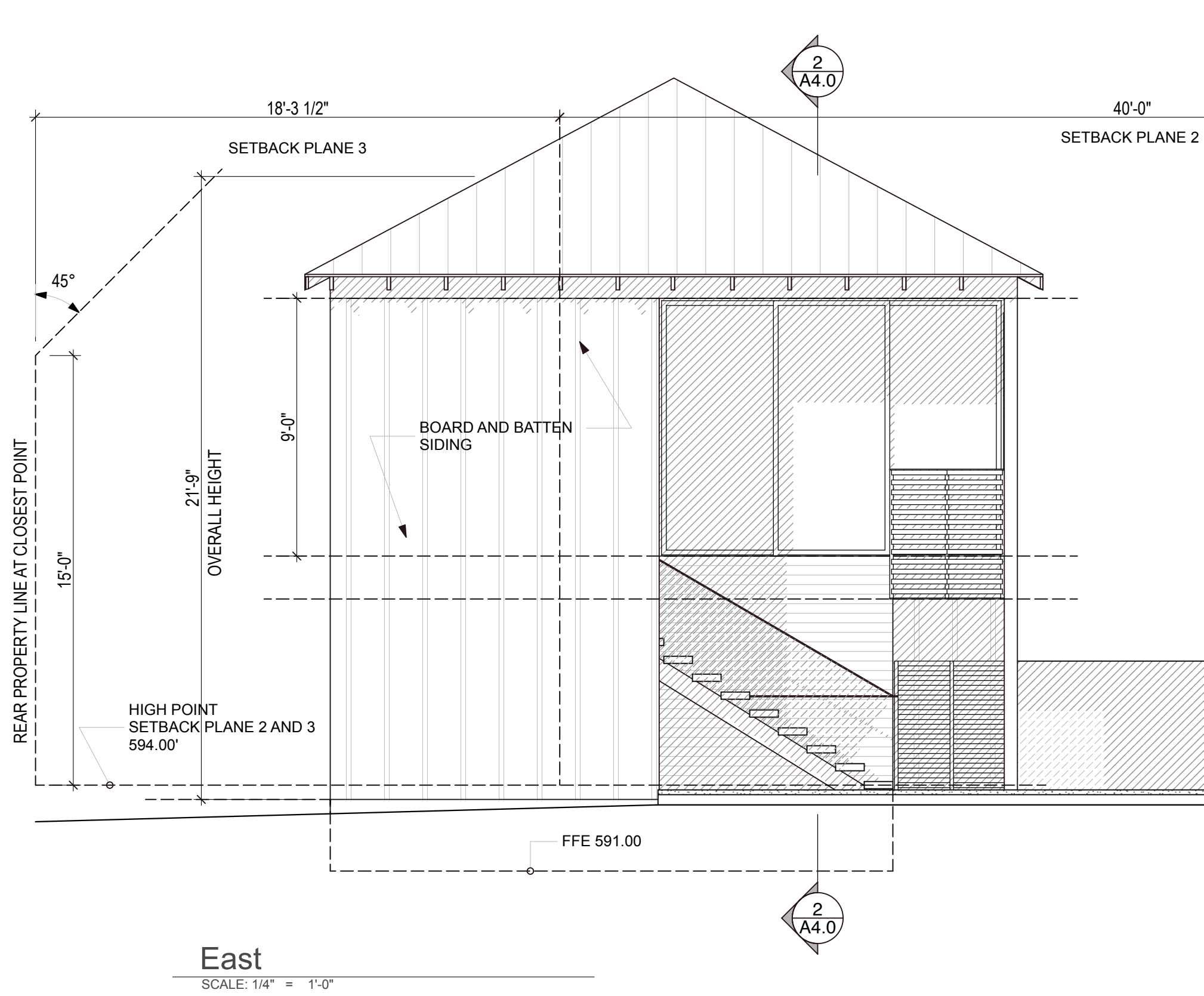
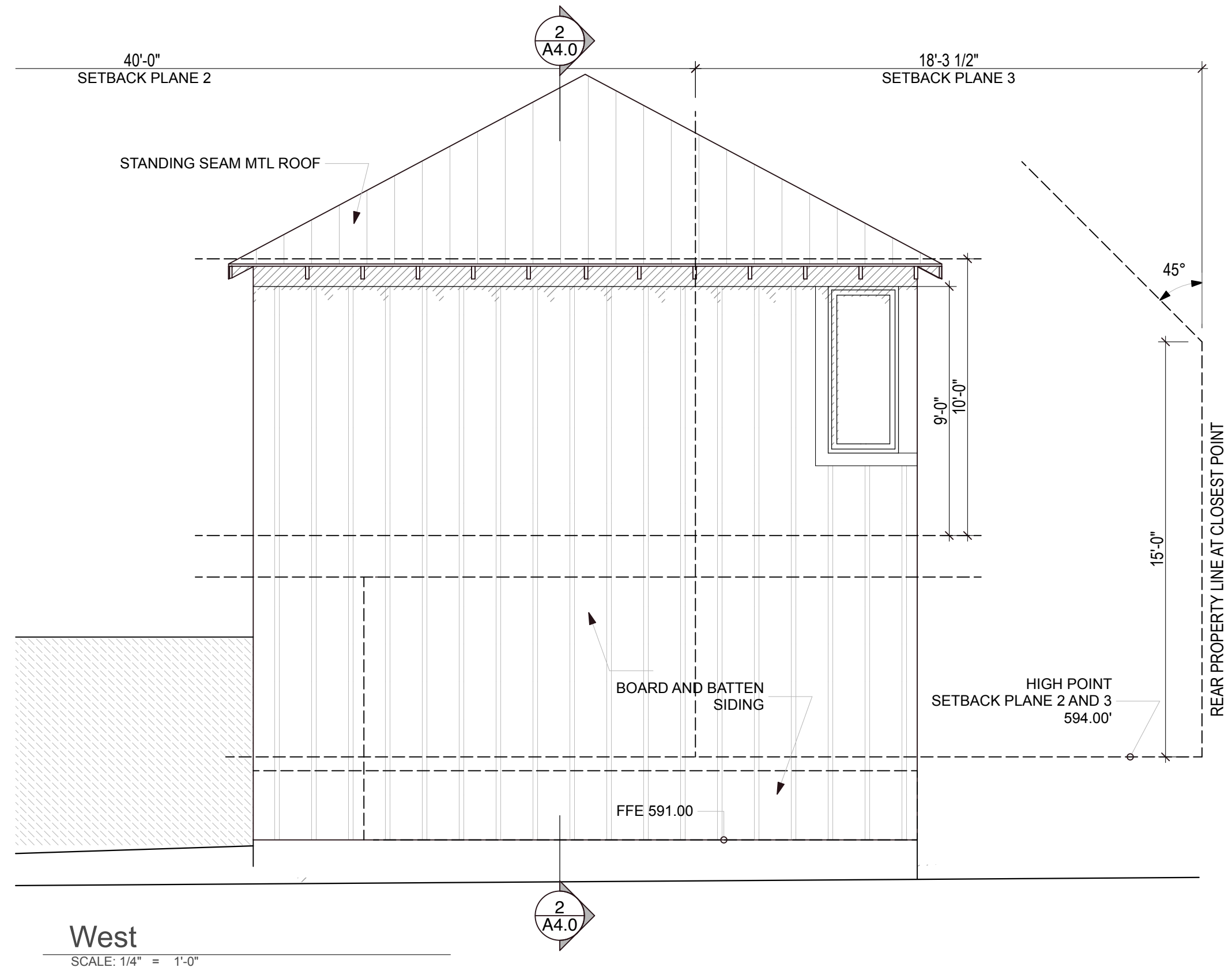
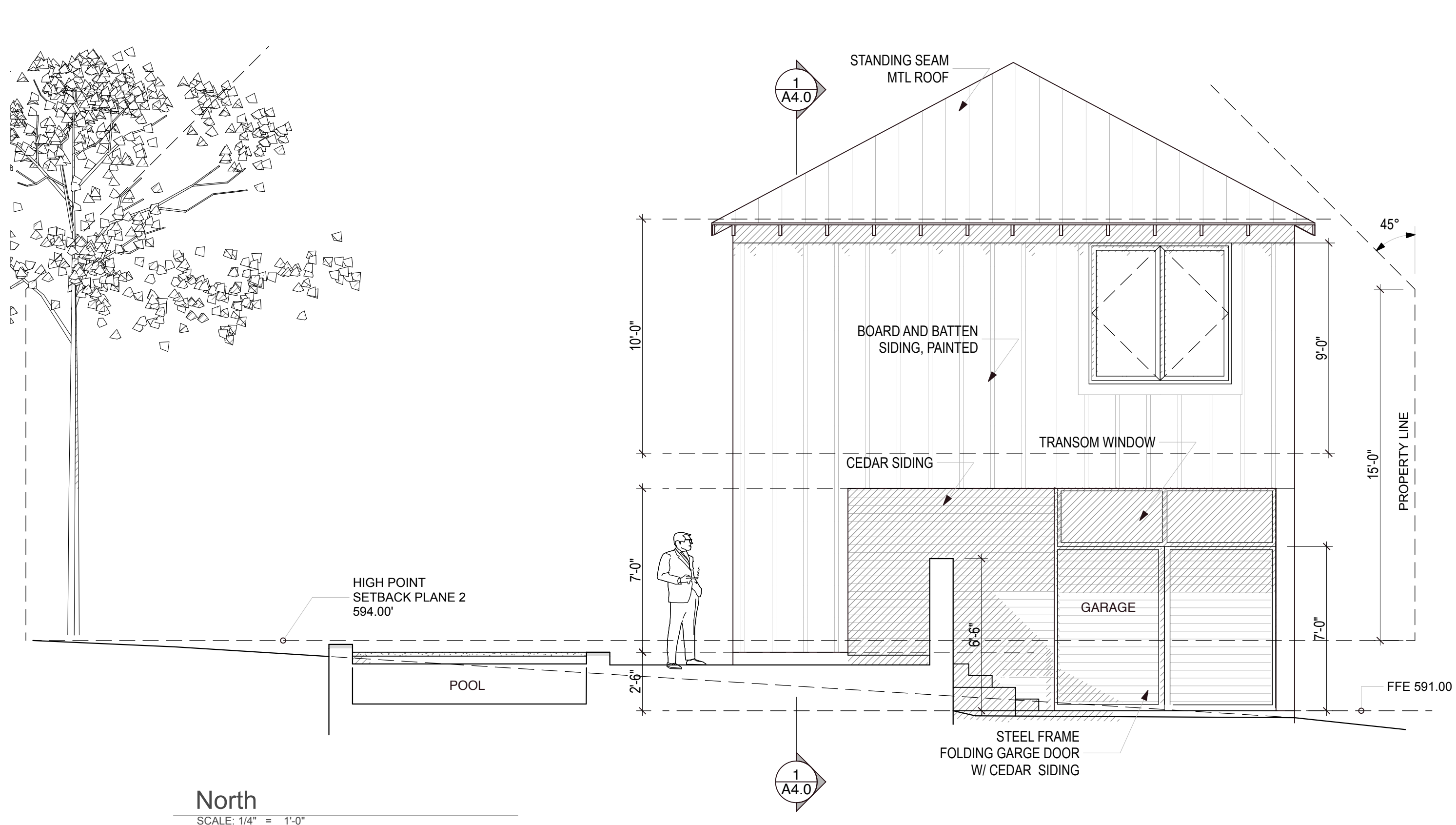
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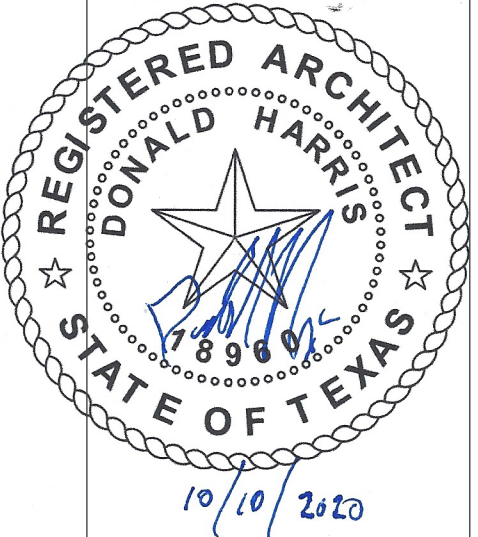
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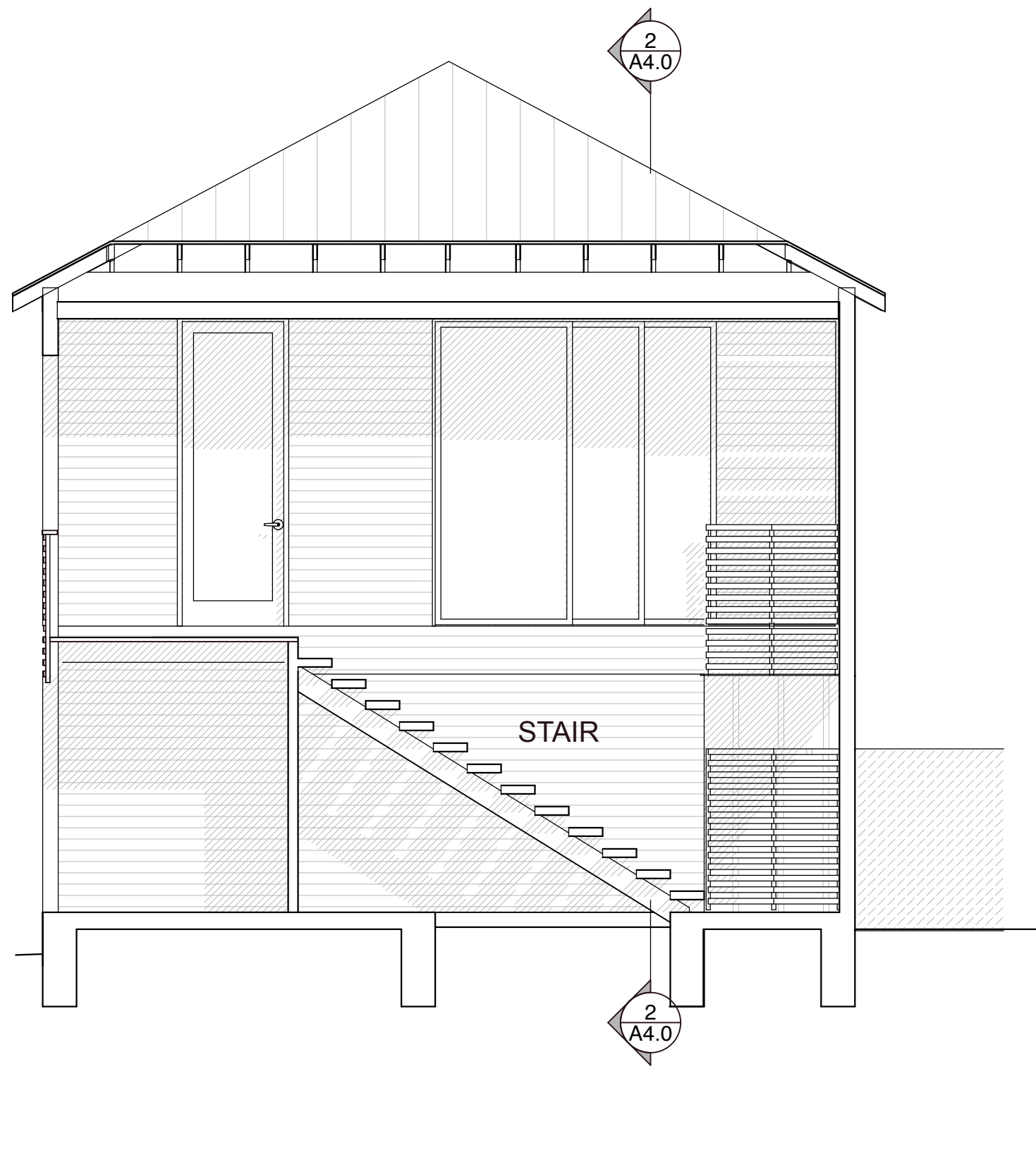
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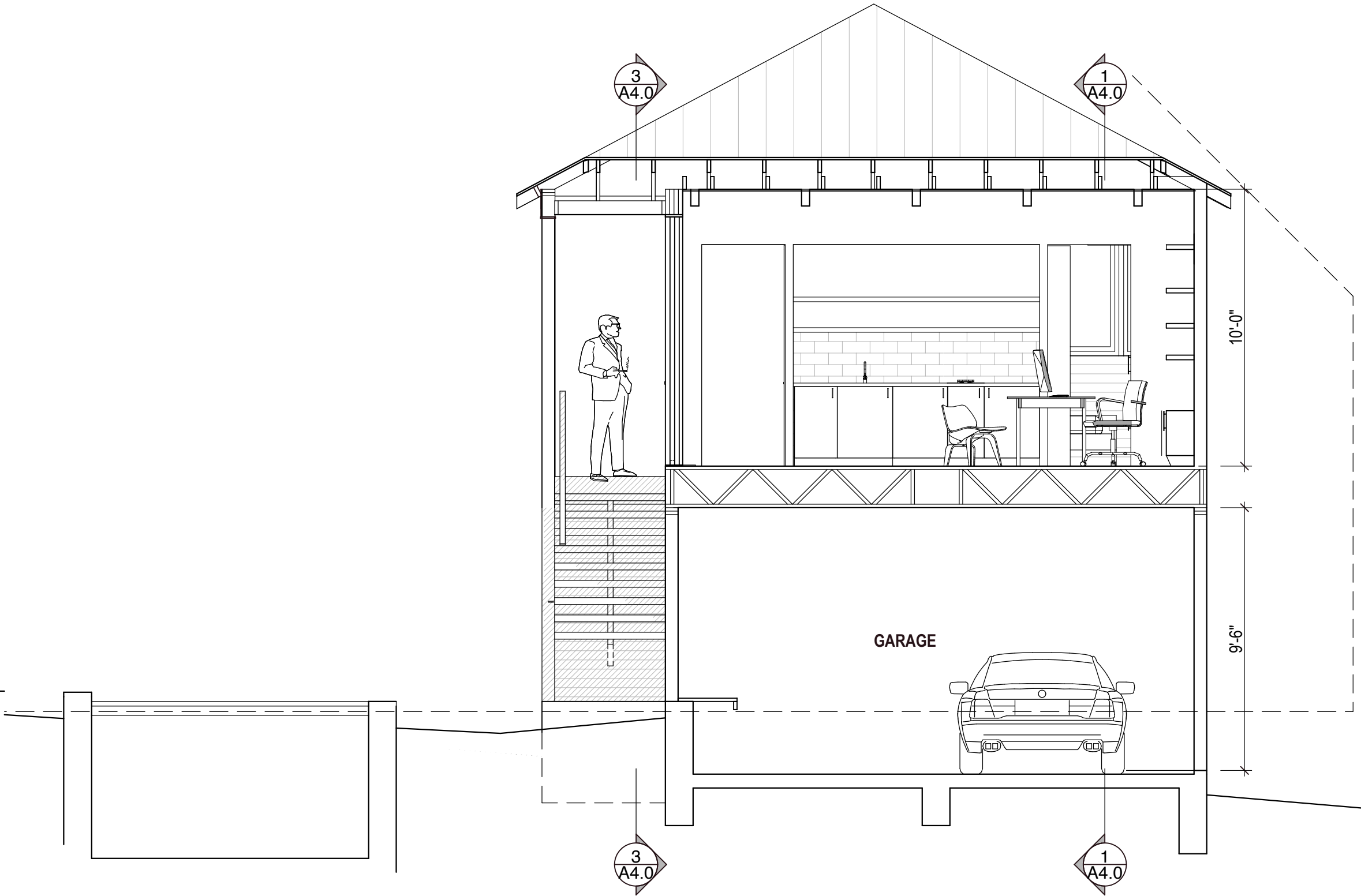
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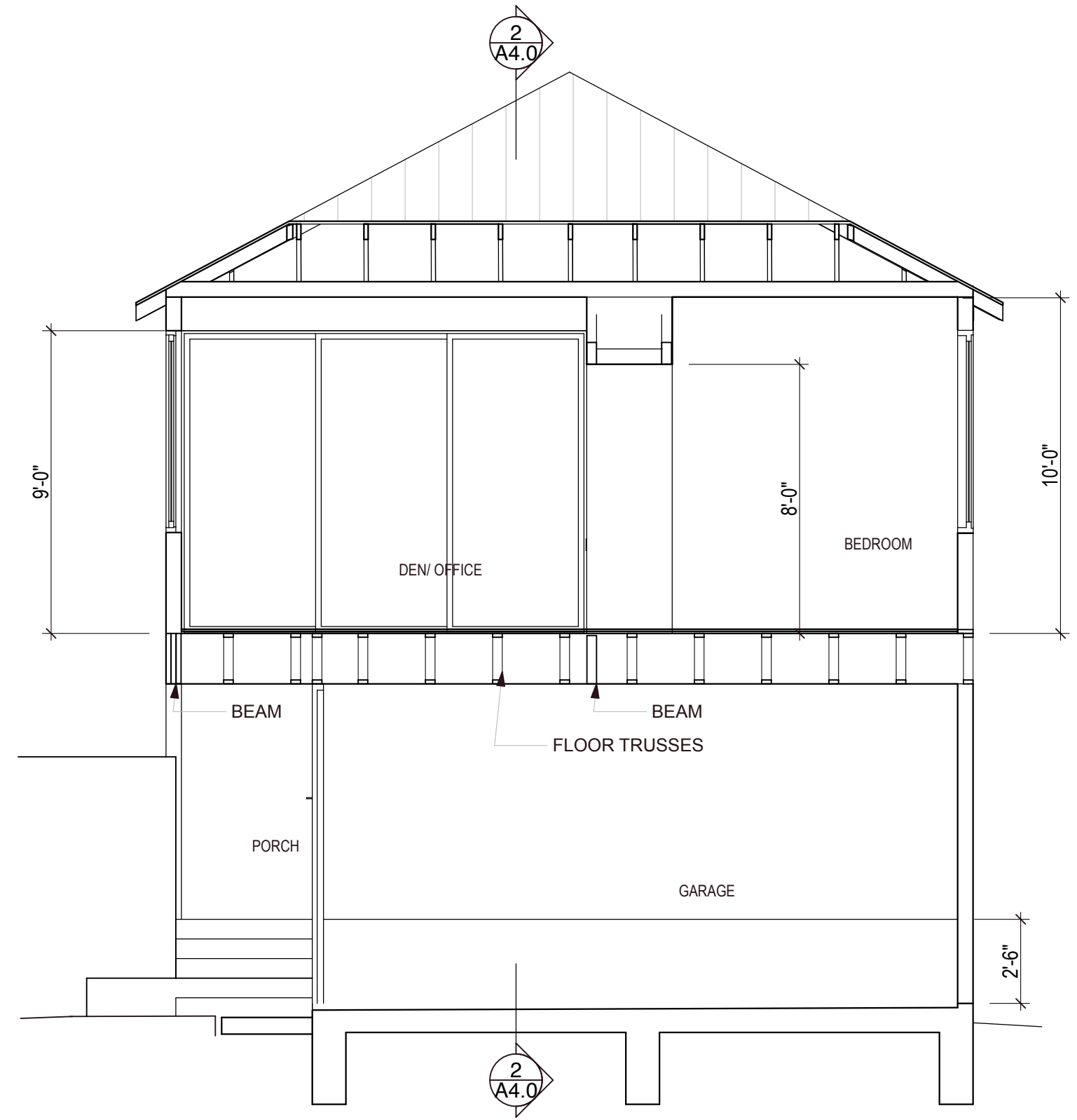
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1 Building Section
SCALE: 1/4" = 1'-0"



2 Building Section
SCALE: 1/4" = 1'-0"



3 Building Section
SCALE: 1/4" = 1'-0"

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