

1510 PALMA PLAZA

OLD WEST AUSTIN NATIONAL REGISTER HISTORIC DISTRICT

Austin, TX 78703

Date: January 22, 2020

PROPOSAL

Demolish a triplex at 1510 Palma Plaza and construct a new duplex

TABLE OF CONTENTS

- Historic Designation Criteria
- Structural Engineer Report
- Preliminary Report of Required Repairs
- Photos of Existing Structure
- New Construction Drawings
- Historical Association

1510 Palma Plaza

LDC 25-2-352 – Historic Designation Criteria

1. The property is at least 50 years old as it was built in 1925 (per TCAD).
2. The property does not retain a high degree of integrity as it was altered from a single family home to a duplex in 1962 and then to a triplex in 1963 which included an extra driveway and two additional entrances.
3. Property characteristics:
 - a) This property is not individually listed in the National Register of Historic Places
 - b) Demonstration of significance:
 - i. **ARCHITECTURE:** The building contains some Spanish influences but it does not appear to be architecturally significant.
 - ii. **HISTORICAL ASSOCIATION:** A. Howard Osburn and Augusta Osburn occupied the property for approximately 20 years in the 1920s to 1940s. However, there does not appear to be significant historical associations. A. Howard Osburn worked in real estate and insurance but was not responsible for any notable innovation or significant civic service. Augusta Osburn managed a circulating library and the segregated Austin Country Club for approximately 6 to 8 years.
 - iii. **ARCHAEOLOGY:** The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - iv. **COMMUNITY VALUE:** the property does not appear to possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the community, Austin, or Texas as a whole.
 - v. **LANDSCAPE FEATURES:** The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

December 4, 2020

Mr Jack Meyer
Soar Investment Group
612 Crestwood Drive
Kingsland, TX 78639
(817) 975-9385

Re: 1510 Palma Plaza - Austin, Texas 78703

Dear Mr Meyer,

Introduction

As requested, my staff made a site visit and at the referenced address for the purpose of performing a structural condition assessment of the existing single-family residence at that address. LOC was not involved with the design or construction of the residence and no plans we're available for review. The following is a summary of our findings and associated recommendations.

Description

The residence is a two-story single family bungalow residence with a pitched roof system which was built around the early to mid 1900's. There is an uncovered concrete porch at the front of the house. The structural system consists of a wood framed structure supported by a "pier and beam" foundation system. Finishes consist of stucco at the exterior and sheetrock wall and ceiling finishes at the interior and flooring consist of wood flooring covered with vinyl. Generally, the house is very dilapidated and in a severe state of disrepair due to a lack of maintenance. The following are my observations of the residence.

Roof System

The roof system consists of a pitch roof with deteriorated composition shingles supported by a "stick frame" wood roof structure of 2x4 rafters and ceiling joists spaced at 24 on center. These framing members are undersized and do not meet the structural building code and exhibit excessive deflection (sagging) and rot due to water infiltrating into the roofing system combined with the fact that they are undersized and needs to be replaced along with the roofing and roof deck. In other words, the roof system should be entirely replaced or reinforced to achieve code compliance.

Wall system

The wall systems consist of a 2x4 stud wall framing with a stucco finish which securely cracked throughout. The studs and stucco finish and interior sheetrock is compromised due to rot and water damage. There is no sheathing and no vapor barrier on the exterior face of the wall studs. The sheetrock is nailed to the inside face of the studs. This wall construction is compromised and represents a defective building envelope which does not meet building code or industry standard construction and needs to be replaced.

Foundation System

The foundation system consists of a "pier and beam" construction with wood flooring over a 2x8 floor joist system with 4x4 and 4x6 beams supported by the original cedar stump posts and stacked CMU block at various locations. The floor sags severely at several locations. The CMU blocks we're installed at a later date to replace the some of the original rotted cedar stump posts and in other locations in an attempt to address sagging areas of the floor system and do not meet building code or industry standard construction. The condition of this floor system is rotted throughout, compromised and structurally unsound and needs to be replaced. The concrete porch is also severely cracked and drains toward the house and needs to be replaced.

Recommendations

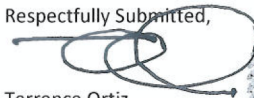
Based on my observations it is my professional opinion that the building envelope and structural systems including the foundation of the residence are defective, compromised and beyond repair. City of Austin code enforcement officers and the Building Standards board typically recommend that buildings in this dilapidated state be razed since they represent a public safety hazard. Therefore, I recommend that the house be demolished in order to address public safety issues.

Closure

The review consisted of an on-site review only and is intended to cover only the aforementioned items. Neither the review nor the report is intended to cover comprehensive architectural, site, structural, mechanical or electrical systems. Furthermore, the client shall agree to limit LOC Consultants' liability to the client and to all parties involved with the referenced project due to hidden conditions except for negligent acts, due to Professional Engineer's errors, omissions and opinions, such that the total aggregate liability to all those named shall not exceed the Professional Engineer's total fee for service rendered on this review.

Please notify LOC by registered letter within two weeks of this date stating objections to or questions regarding the information contained in this letter. If none are received, it is concluded that no exceptions are taken regarding the professional opinion rendered or the liability statement. If there are any questions or if I can be of further assistance, please call.

Respectfully Submitted,


Terrence Ortiz
President
LOC Structural Division, Inc



TO/ts
Copy: file
C:\Admin\Reports\Structural Condition Assessments\2020\1510 Palma Plaza.doc



612 Crestwood Dr
Kingsland, TX 78639
210-882-6263

SUBJECT: Preliminary report of required repairs
PROPERTY: 1510 Palma Plaza, Austin, TX 78703
DATE: December 7, 2020

The following is a list of repairs necessary to bring the residential structure at 1510 Palma Plaza in Austin, Texas up to current building code and energy standards, and to meet structural safety standards.

Foundation/Flooring
Replace rotted and deteriorated beams, joists, sill plate and other framing members
Remove/replace flooring and subfloors entirely for access to crawl space
Drill and pour concrete piers according to structural engineer specifications
Remove and replace existing front porch to redirect water away from house
Install temporary shoring and bracing during construction
Roof System
Remove/replace existing roof
Add roof framing members for support as per current building code and proper structural design
Interior/Exterior Walls
Remove/replace all drywall (walls & ceilings throughout), and trim
Remove/replace cabinets, tubs, showers, etc.
Texture and paint entire interior
Replace rotted studs, headers, beams
Remove stucco from entire structure
Install insulation
Install plywood sheathing
Install vapor barrier
Remove/replace all windows
Remove/replace rotted/damaged doors
Apply new stucco
Remove/replace all door/window trim, and rotted/damaged soffit and fascia
Install temporary shoring and bracing during construction
Electrical & Plumbing & HVAC
Replace all wiring/devices and fixtures to meet building code
Replace all necessary supply and drain lines impacted from leveling structure
Add new HVAC system for each of three dwelling units

RECOMMENDATION:

Due to the broad scope of work that is required across every square foot of the house, it is cost prohibitive to try to save and repair the existing structure. It is our recommendation to demolish the existing structure and build new. Please see report prepared by LOC Structural Division, Inc.


John Meyer
President
J Angelo Design Build

1510 Palma Plaza

Demolition permits issued in 2006 and again in 2007

- A previous owner was issued demolition permits by the City of Austin on two separate occasions

Austin Build + Connect

FOLDER DETAILS

Permit/Case: 2006-025152 BP

Reference File Name: 06010700

Description: Demo Triplex

Sub Type: R- 645 Demolition One Family Homes

Work Type: Demolition

Project Name: 1510 Palma Plz

Status: Expired

Application Date: Feb 13, 2006

Issued: May 5, 2006

Expiration Date: Nov 1, 2006

Related Folder: Yes

2006 Building Permit

Austin Build + Connect

FOLDER DETAILS

Permit/Case: 2007-127923 BP

Reference File Name: 2007-127923 BP

Description: demo ca 1920 triplex

Sub Type: C- 647 Demolition 3 and 4 Family Bldgs

Work Type: Demolition

Project Name: 1510 PALMA PLZ

Status: Expired

Application Date: Jun 8, 2007

Issued: Oct 16, 2007

Expiration Date: Oct 10, 2008

Related Folder: Yes

2007 Building Permit

City of Austin
Demolition Permit

PERMIT NO: 2007-127923-BP **Type:** COMMERCIAL **Status:** Active

1510 PALMA PLZ **Issue Date:** 10/16/2007 **Expiry Date:** 04/13/2008

LEGAL DESCRIPTION		SITE APPROVAL		ZONING		GRID NO.	
PROPOSED OCCUPANCY demo ca 1920 triplex		DA-2077-0451					
TOTAL SQFT Existing: 1,976		VALUATION \$12,500.00		TYPE CONST 647		USE CAT 1	
TOTAL BLDG. COVERAGE		% COVERAGE		TOTAL IMPERVIOUS COVERAGE		% COVERAGE	
CONTACT Owner: DAKTERIS KARL F. General Contractor: DAKTERIS KARL F.		WORK PERMITTED Demolition		ISSUED BY Angelica Yanez		# OF PARKING SPACES 3	
Telephone 0 - 0 -		Fee Description		Fee Amount		Paid Date	
		Demolition Permit Fee		\$44.00		10/16/2007	
		Demolition/Relocation Plan Review Fee		\$25.00		05/15/2007	
		Total Fees:		\$69.00			
Inspection Requirements		Building Inspection		Water Tap Inspection		Sewer Tap Inspection	
Section 25-11-94 EXPIRATION AND EXTENSION OF PERMIT (Active Permits will expire 180 days at 11:59:59 pm after date of last inspection performed.)		See Mechanical, Electrical, Plumbing permits for Related Fees and Inspections.					
Comments Historic Review		Date 06/08/2007		User Beth Wilson			

BY ACCEPTING OR PAYING FOR THIS PERMIT YOU ARE DECLARING THAT YOU ARE THE OWNER OR AUTHORIZED BY THE OWNER THAT THE DATA SUBMITTED AT THE TIME OF APPLICATION WAS TRUE FACTS AND THAT THE WORK WILL CONFORM TO THE PLANS AND SPECIFICATION SUBMITTED HEREWITH.

It is the responsibility of the contractor to contact the utility providers for service of disconnection prior to the structure being demolished or relocated. Relocation contractors need to contact the Austin Police Department and Austin Energy to make arrangements for routing and structure transport.

Page 1 of 2 TO SCHEDULE AN INSPECTION, CALL 480-0623 Printed: 10/16/07 12:14

2007 Building Permit

1510 Palma Plaza

EXISTING STRUCTURE



FRONT/SOUTH FACADE



WEST FACADE



WEST FACADE



EAST FACADE



EAST FACADE



BACK/NORTH FACADE

1510 Palma Plaza

EXISTING STRUCTURE



PIER & BEAM



**COMPROMISED WALL
SYSTEM**



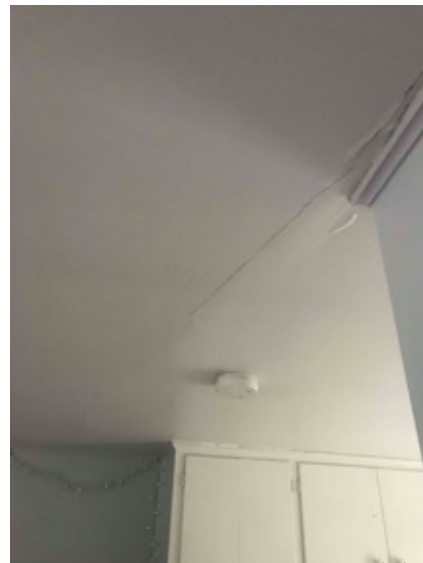
ROTTING BEAMS



CMU BLOCK AT PIERS



CRACK AT CHIMNEY

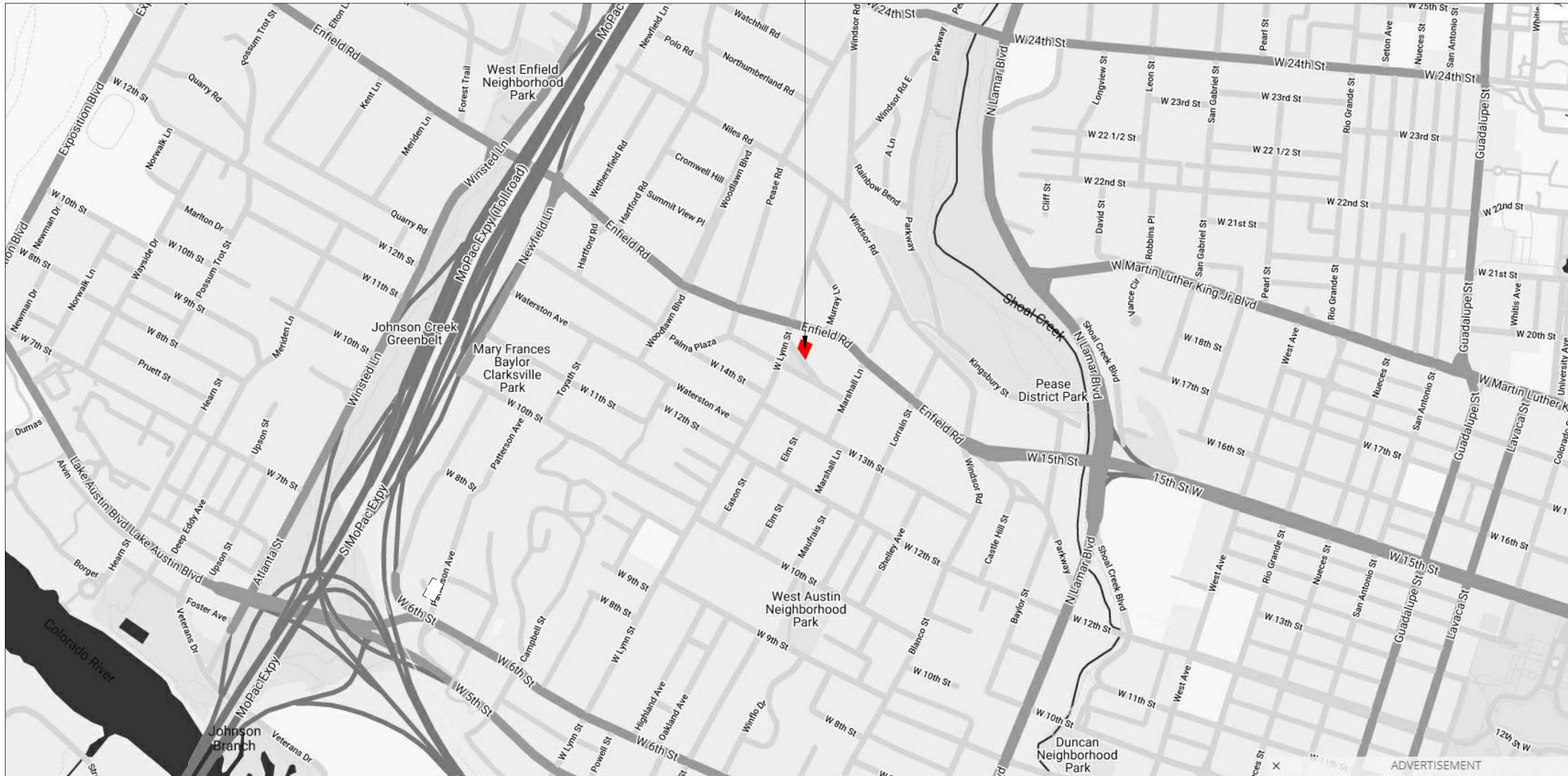


CEILING CRACK

1510 Palma Plaza



project location: 1510 palma plaza | austin, texas 78703



Historic Commision Review Set - 21 Dec 2020

reach architects

1107 south 8th street
austin, texas 78704
512.970.5669

GENERAL PROJECT NOTES

1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. NOTIFY ARCHITECT OR OWNER OF ANY DISCREPANCIES OR NONCOMPLIANCE FOUND IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS.
4. THESE DRAWINGS ARE INTENDED TO COMPLY W/ THE 2015 INTERNATIONAL RESIDENTIAL CODE, & ANY APPLICABLE LOCAL REGULATIONS AND/OR LOCAL DEED RESTRICTIONS. CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL COMPLY W/ ALL APPLICABLE CODES.
5. CONTRACTOR AND HIS/HER SUBCONTRACTORS ACCEPT FULL RESPONSIBILITY TO ENSURE THAT DRAWINGS ARE CODE COMPLIANT. CONTRACTOR SHALL ACCEPT FULL LIABILITY FOR ANY CHANGES MADE TO THE DRAWINGS W/ OUT VERIFYING W/ THE ARCHITECT.
6. ARCHITECT IS GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512) 458-1363.
7. THESE DRAWINGS DO NOT SPECIFY ANY ACTUAL MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, OR EQUIPMENT. CONTRACTOR SHALL COORDINATE THE SELECTION OF THESE ITEMS W/ THE OWNER AND SHALL ACCEPT FULL RESPONSIBILITY FOR PROPER DETAILING & INSTALLATION OF THESE ITEMS.
8. ALL STANDARD ASSEMBLIES, MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, & EQUIPMENT SHALL BE CONSTRUCTED AND/OR INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS & ANY APPLICABLE CODES.
9. ARCHITECT IS NOT RESPONSIBLE FOR MEANS & METHODS OF CONSTRUCTION OF THAT WHICH IS NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ASPECTS OF CONSTRUCTION.
10. ALL ASSEMBLIES MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL PAYMENT, IN ADDITION TO ALL INDUSTRY STANDARD WARRANTIES.
11. CONTRACTOR SHALL PROVIDE ALL LABOR SERVICES, EQUIPMENT, & MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE ASSEMBLIES, MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT NOTED IN THESE DRAWINGS.
12. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS PROGRAMS NECESSARY FOR THE COMPLETION OF THE WORK.
13. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS/HER OPERATIONS PRIOR TO COMMENCING WORK.
14. CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO SUBMIT & SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, & CERTIFICATES OF COMPLIANCE AS REQUIRED. CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO ENSURE THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN APPROVED & OBTAINED PRIOR TO THE START OF WORK.
15. DURING CONSTRUCTION OF THE WORK, CONTRACTOR SHALL MAINTAIN A CLEAN & ORDERLY WORK AREA AT ALL TIMES.
16. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
17. THESE DRAWING DO NOT SHOW TYPICAL DETAILING AND/OR WATERPROOFING.
18. THE DESIGN & SIZING OF ALL STRUCTURAL MEMBERS (INCLUDING FOUNDATION) IS THE RESPONSIBILITY OF THE ENGINEER CHOSEN BY THE CONTRACTOR/OWNER.
19. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.

1510 palma plaza review set

NOT PUBLISHED. ALL RIGHTS RESERVED BY REACH ARCHITECTS. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF REACH ARCHITECTS. ISSUED TO DESCRIBE DESIGN INTENT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO REACH ARCHITECTS. CONTRACTOR, SUB-CONTRACTOR & SUPPLIERS ARE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS REQUIRED IN ACCORDANCE WITH THE DESIGN INTENT. REACH ARCHITECTS WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

these documents are for design review and not intended for construction bidding or permit purposes. they were prepared by, or under the supervision of:

alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by ack

Checked by mbc

cover sheet

A000

SITE DEVELOPMENT INFORMATION							
AREA DESCRIPTION	SQ. FT	Existing SF to Remain		New/Added SF		Total SF	
		UNIT A	UNIT B	UNIT A	UNIT B	UNIT A	UNIT B
1st floor conditioned area *		0	0	876	878	876	878
2nd floor conditioned area (@6')		0	0	878	905	878	905
3rd floor conditioned area (@6')		0	0	581	606	581	606
basement		0	0	0	0	0	0
covered parking - garage or carport *		0	0	199	200	199	200
covered patio, deck, porch &/or balcony area *		0	0	75	336	75	336
other covered or roofed area (overhang > 3') *		0	0	0	0	0	0
uncovered wood deck (counted @ 100%)		0	0	0	0	0	0
TOTAL BUILDING AREA		0	0	2,609	2,925	2,609	2,925
pool		0	0	0	0	0	0
spa		0	0	0	0	0	0
remodeled floor area, excluding addition/new		0	0	0	0	0	0
TOTAL BUILDING COVERAGE		* included in TOTAL BUILDING COVERAGE			1,150	1,414	2,564
driveway					268		268
sidewalks					166		166
uncovered patio					812		812
uncovered wood decks (counted @ 50%)					0		0
AC pads and other flatwork					18		18
other (pool coping, retaining walls)					0		0
TOTAL IMPERVIOUS COVER		Site Area: 8,842 sf x 0.45 = 3,979 sf allowed				43.29%	3,828

SITE PLAN NOTES

1. PRIOR TO START OF DEMOLITION & CONSTRUCTION, CONTRACTOR SHALL PROVIDE & INSTALL EROSION CONTROL BARRIERS AS REQUIRED.
2. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
3. EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE W/ ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
4. EXISTING TREES SHALL BE MAINTAINED, UNLESS NOTED OTHERWISE.
5. BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
6. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
7. STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. CONFIRM ALL DRIVEWAY, WALKWAY & PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
9. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
10. GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
11. CONTRACTOR TO PROVIDE LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHTS.
12. ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
13. TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
14. 1ST FLOOR POWDER BATH MUST QUALIFY AS A VISITABLE BATHROOM

A. CLEAR DOOR OPENING MUST BE 30"

B. LATERAL 2X6 BLOCKING MUST BE INSTALLED ALONG WALLS WITH CENTERLINE 34" ABOVE FINISHED FLOOR

C. PROVIDE 30' X 30' CLEAR FLOOR SPACE
15. VISITABLE NO STEP ENTRANCE TO HAVE BEVELED THRESHOLD OF 1/2" OR LESS AND CLEAR DOOR WIDTH OF AT LEAST 32"
16. SPOT GRADE ELEVATIONS REFERENCE THE LOWER ELEVATION BETWEEN EXISTING AND NEW

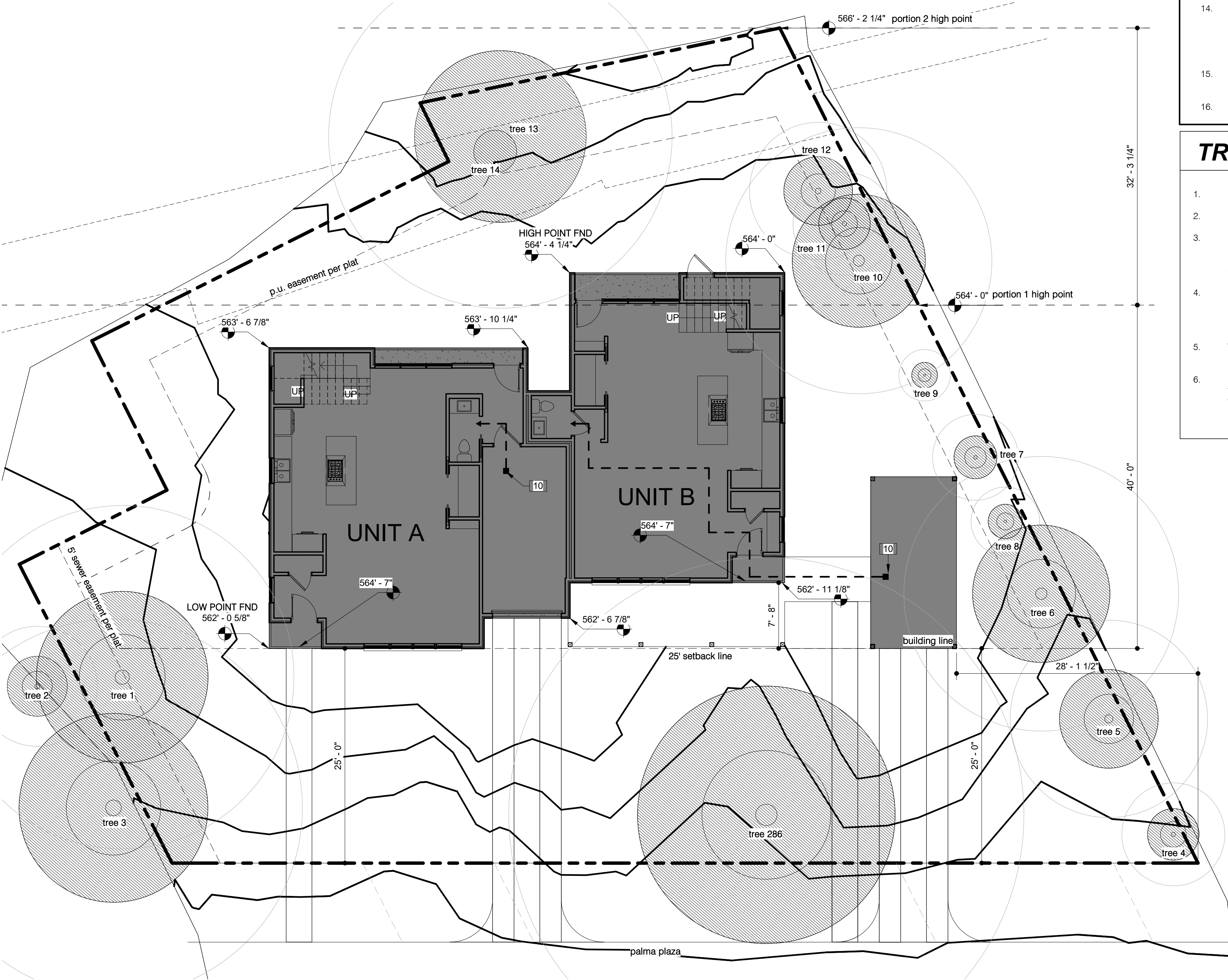
TREE PROTECTION NOTES:

1. MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONE
2. NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
3. FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT CONTACT ENGINEER FOR DIRECTION OF SHIFT.
4. MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRECONSTRUCTION MEETING.
5. WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
6. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

TREE LIST

1	20"	Pecan
2	7"	Hackberry
3	22"	Live Oak
4	6"	Crape Myrtle
5	11.5"	Crape Myrtle
6	16"	Crape Myrtle
7	5"	Crape Myrtle
8	4"	Live Oak
9	3"	Live Oak
10	15.5"	Hackberry
11	6"	Cedar Elm
12	8"	Hackberry
13	20"	Pecan
14	5"	Red Bud
286	30"	Cedar Elm

Keynote Legend - Visibility	
Key Value	Keynote Text
10	Visitable exterior route per (R320.7): maintain slope less than 1:20 and cross slope of less than 1:50. Any ramp included in an exterior Visitable route must comply with the Residential Code.



1 architectural site plan
1/8" = 1'-0"



reach architects

1107 south 8th street
austin, texas 78704
512.970.5669

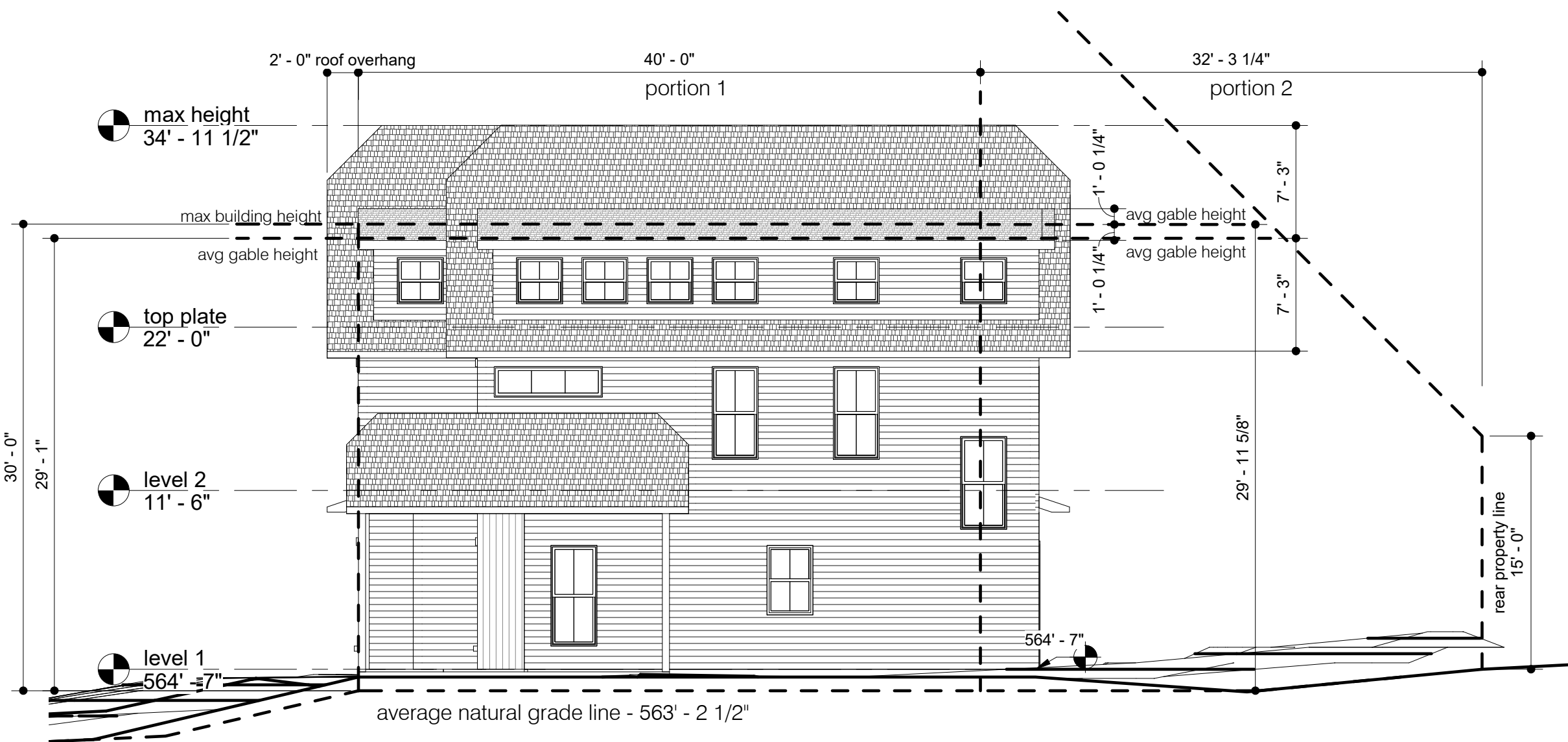
GROSS FLOOR AREA - SUBCHAPTER F (calc. to exterior face of bldg.)						
AREA DESCRIPTION		Existing SF to remain	UNIT A	UNIT B	Proposed Exemption	Applied Exemption
1st floor conditioned area			876	878	-----	-----
2nd floor conditioned area - 5' aff			878	905	-----	-----
3rd floor conditioned area - 5' aff			-----	-----	-----	-----
area w/ ceilings > 15'			-----	-----	-----	-----
Ground Floor Porch			75	249	full porch	324
Basement			-----	-----	-----	-----
Attic			824	874	attic	1,698
Garage	attached		199	xxx	garage	199
	detached		xxx	xxx	-----	-----
Carport	attached		xxx	xxx	-----	-----
	detached		xxx	200	carport	200
Accessory building(s)			-----	-----	-----	-----
Totals			2,858	3,106	TOTAL GROSS FLOOR AREA	3,537
F.A.R. - (3,537 allowed) - total gross floor area/lot size x 100 = 40%						

LOT Area - 8,842sf x 0.4 = 3,537sf

NOTE:
ALL AREAS MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR FINISH MATERIAL.



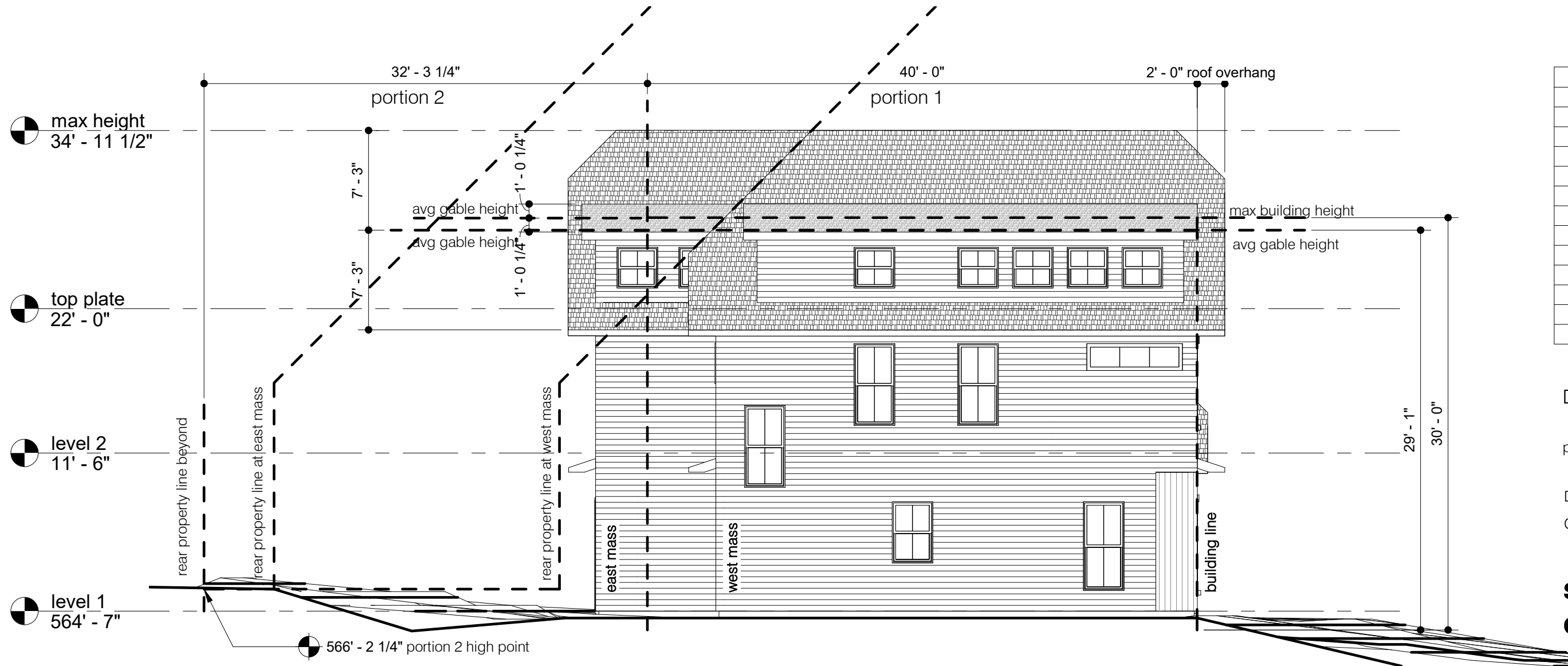
① north w/ McMansion tent
1/8" = 1'-0"



② east w/ McMansion tent
1/8" = 1'-0"



③ south w/ McMansion tent
1/8" = 1'-0"



④ west w/ McMansion tent
1/8" = 1'-0"

1510 palma plaza review set

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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21
project number 1114
Drawn by tr
Checked by ack

subchapter f elevations

A002

3D VIEW NOTES

1.

THIS SHEET FOR REFERENCE ONLY, NOT FOR CONSTRUCTION.

2.

GRADE NOT SHOWN.

1510
palma
plaza
review set

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alan knox, aia# 21945

2020.12.21

No.	Description	Date

Date

2020.12.21

project number

1114

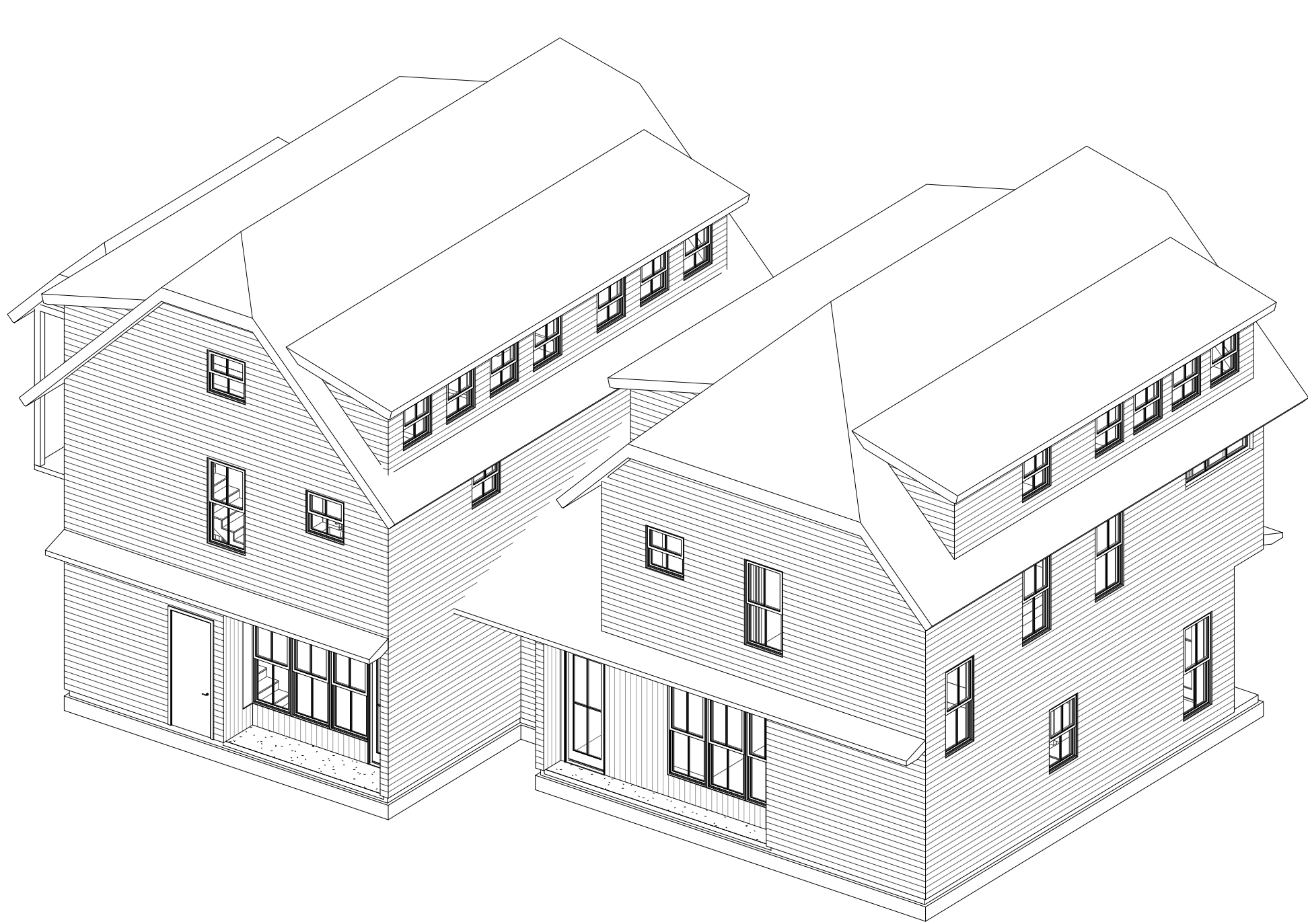
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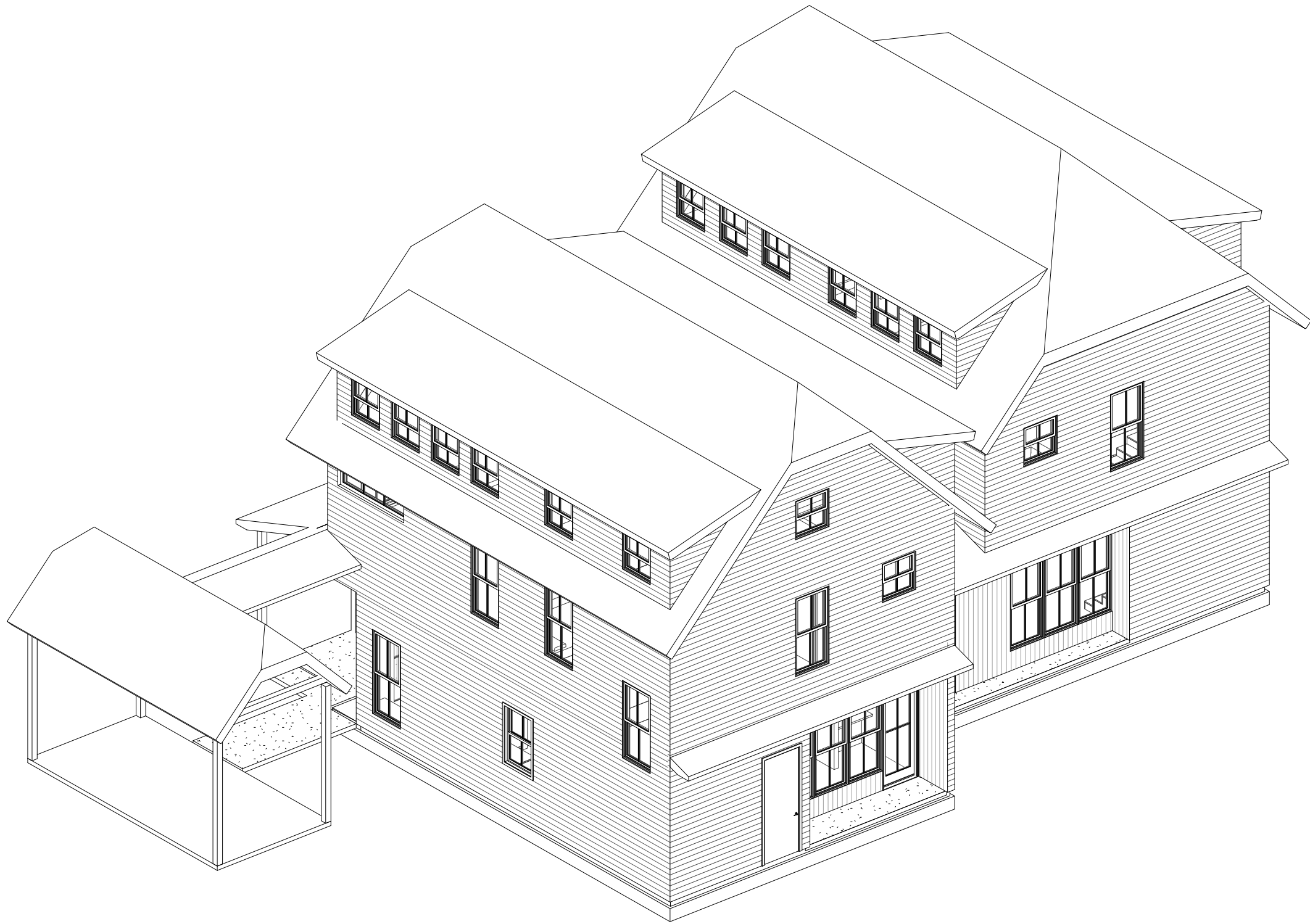
Checked by

ack

3D views



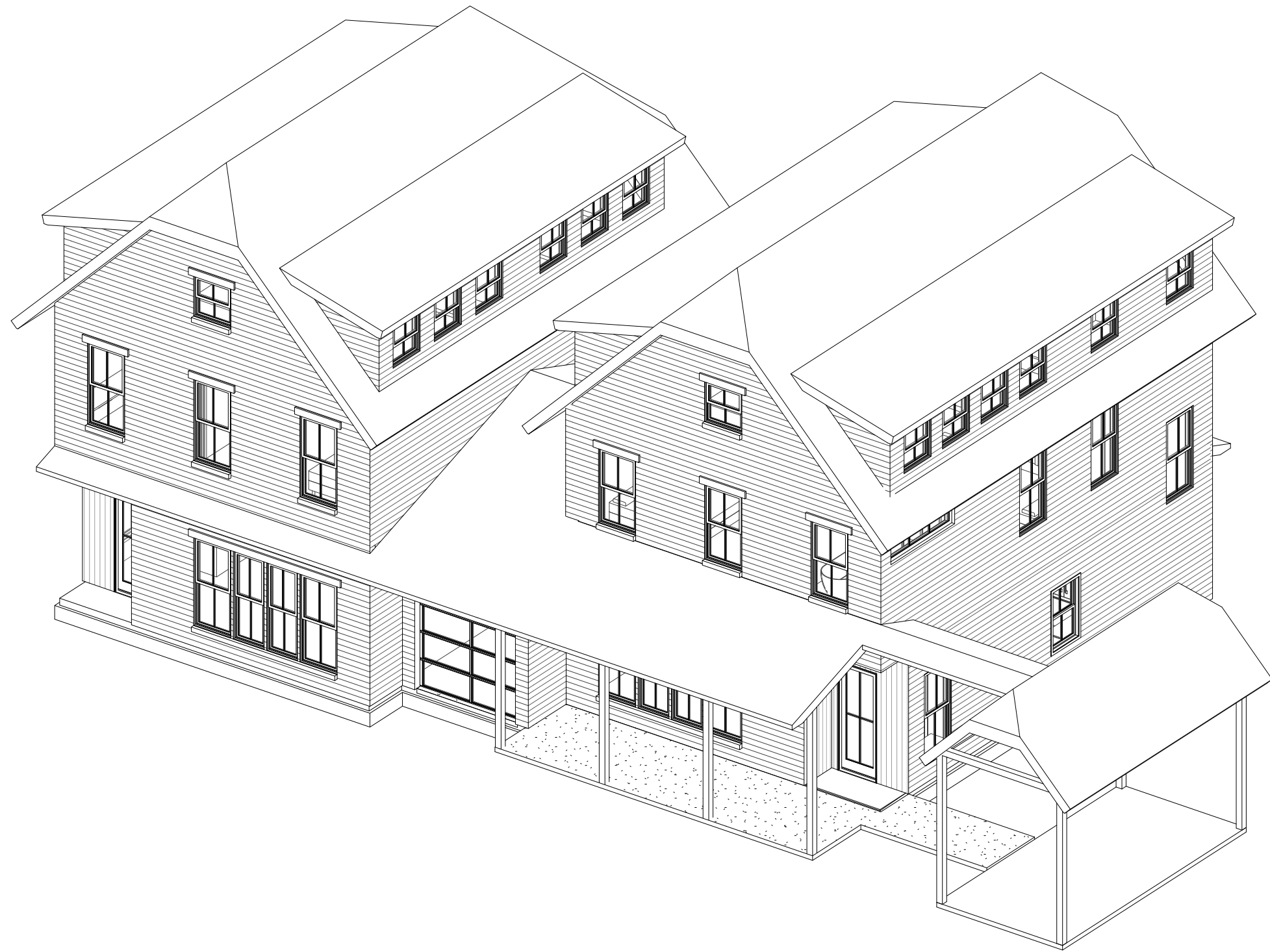
4 northwest



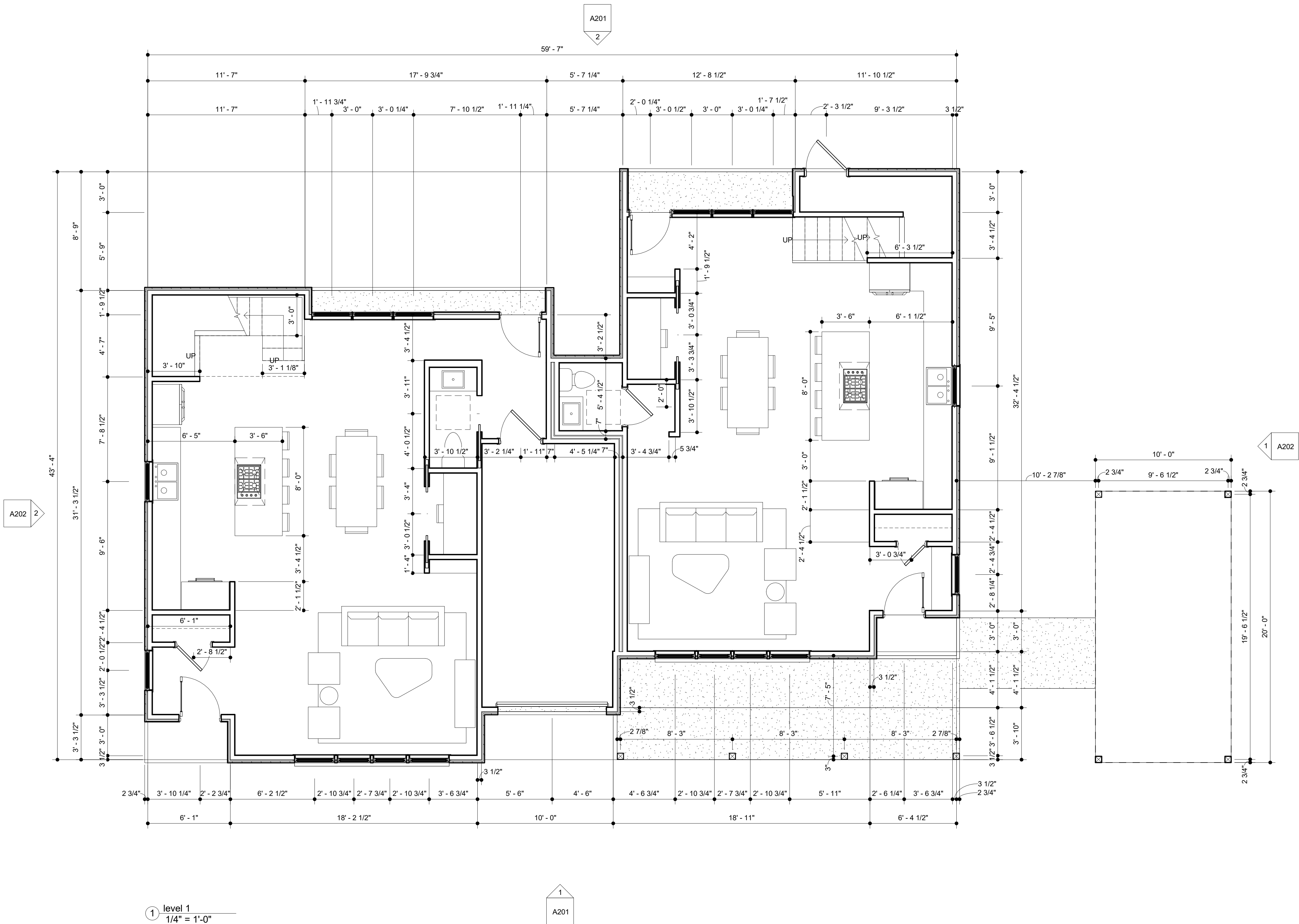
3 northeast



2 southwest



1 southeast



VISITABILITY NOTES

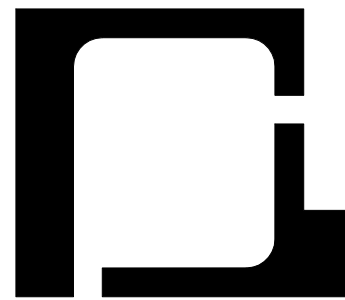
1. AT FIRST FLOOR OF VISITABLE DWELLING, LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FLOOR LEVEL.
2. AT FIRST FLOOR OF VISITABLE DWELLING, OUTLETS AND RECEPTACLES MINIMUM 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.
3. REF. ELECT. PLANS.

ANNOTATION PLAN NOTES

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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

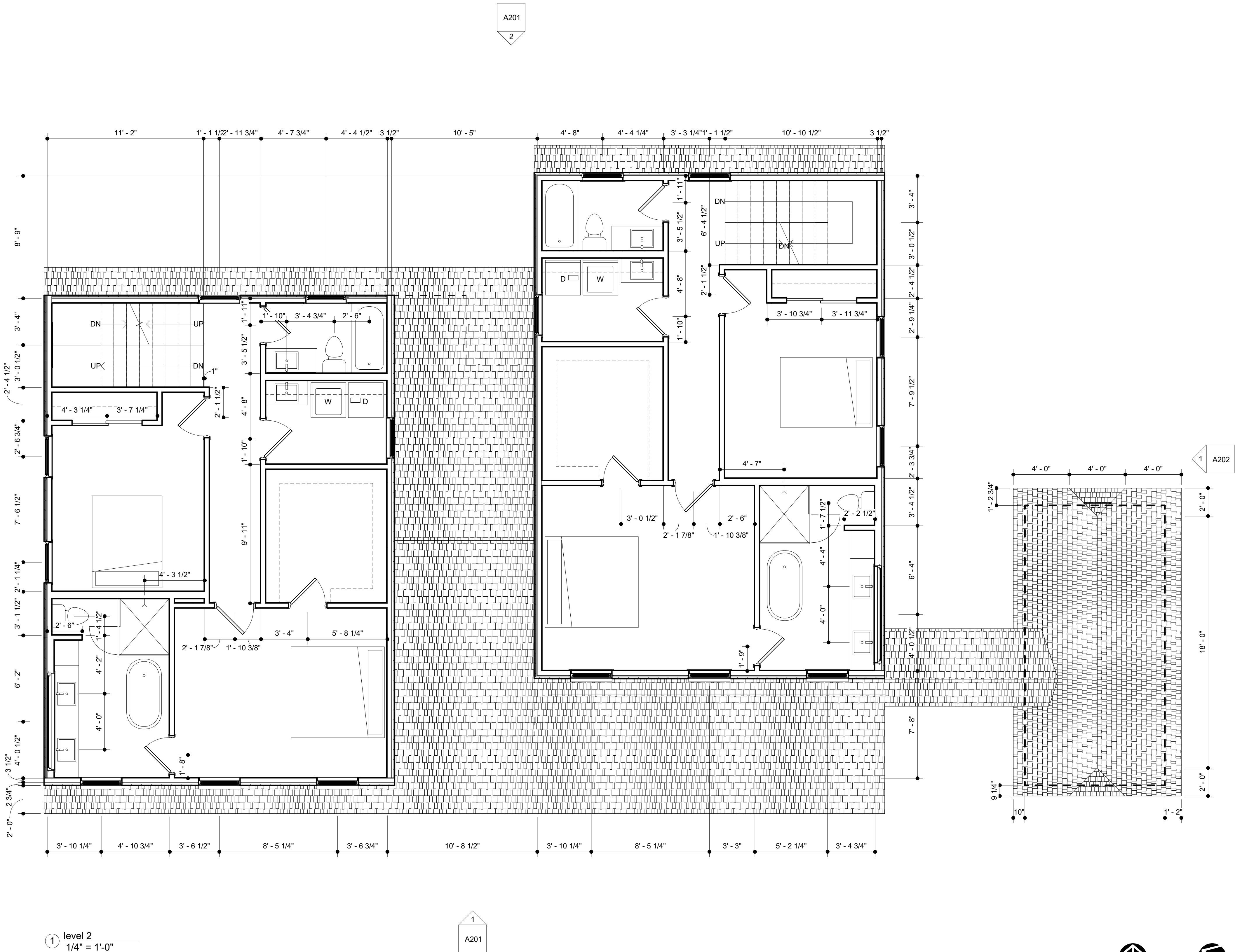
Drawn by tr

Checked by ack

first floor plan



A202 2



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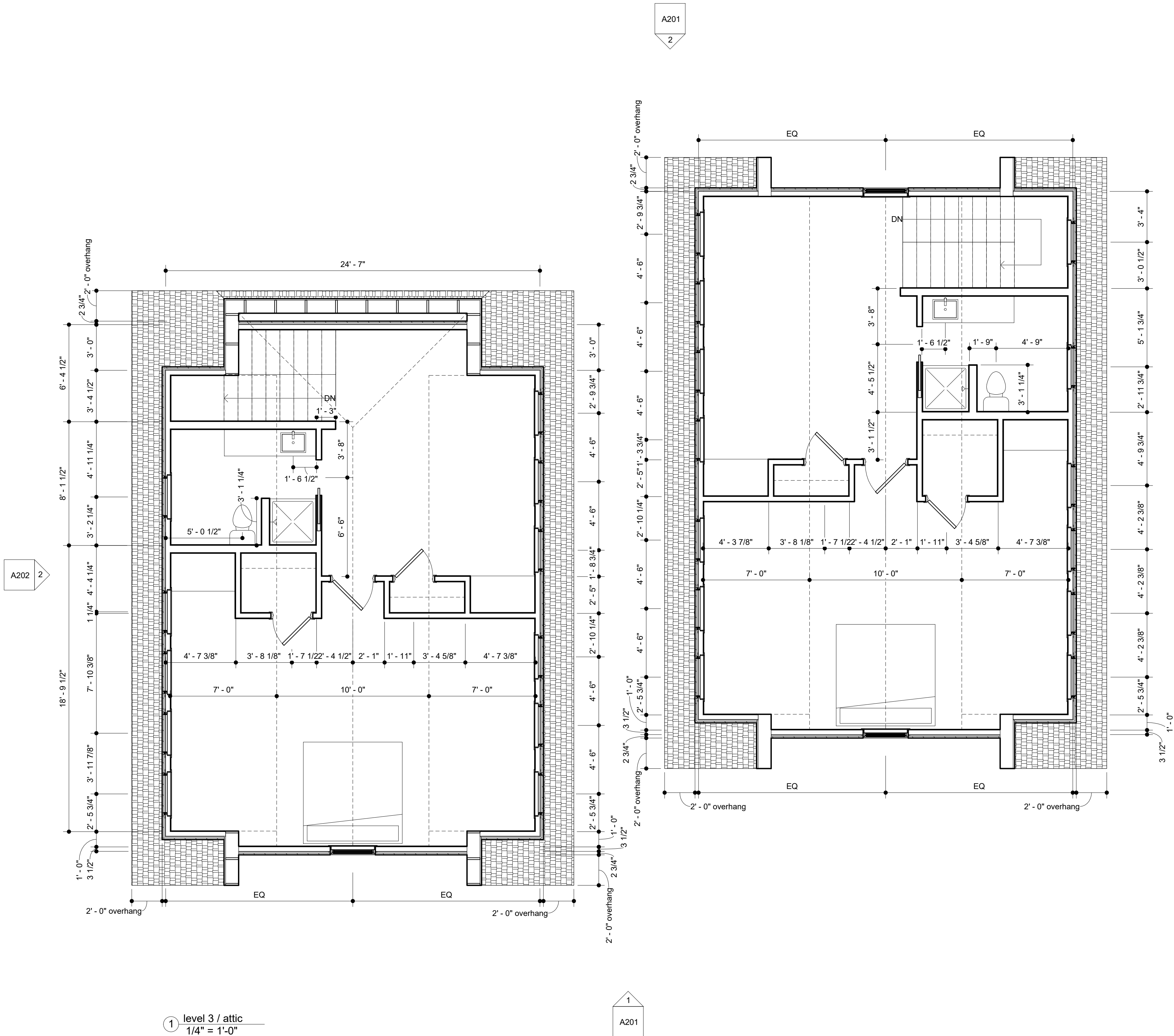
Drawn by tr

Checked by ack

second floor plan

A102



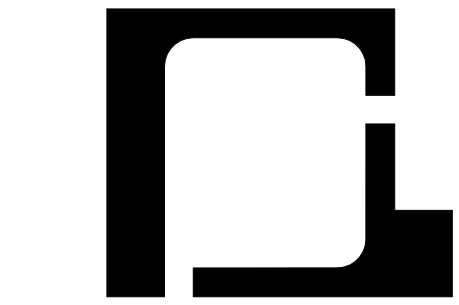


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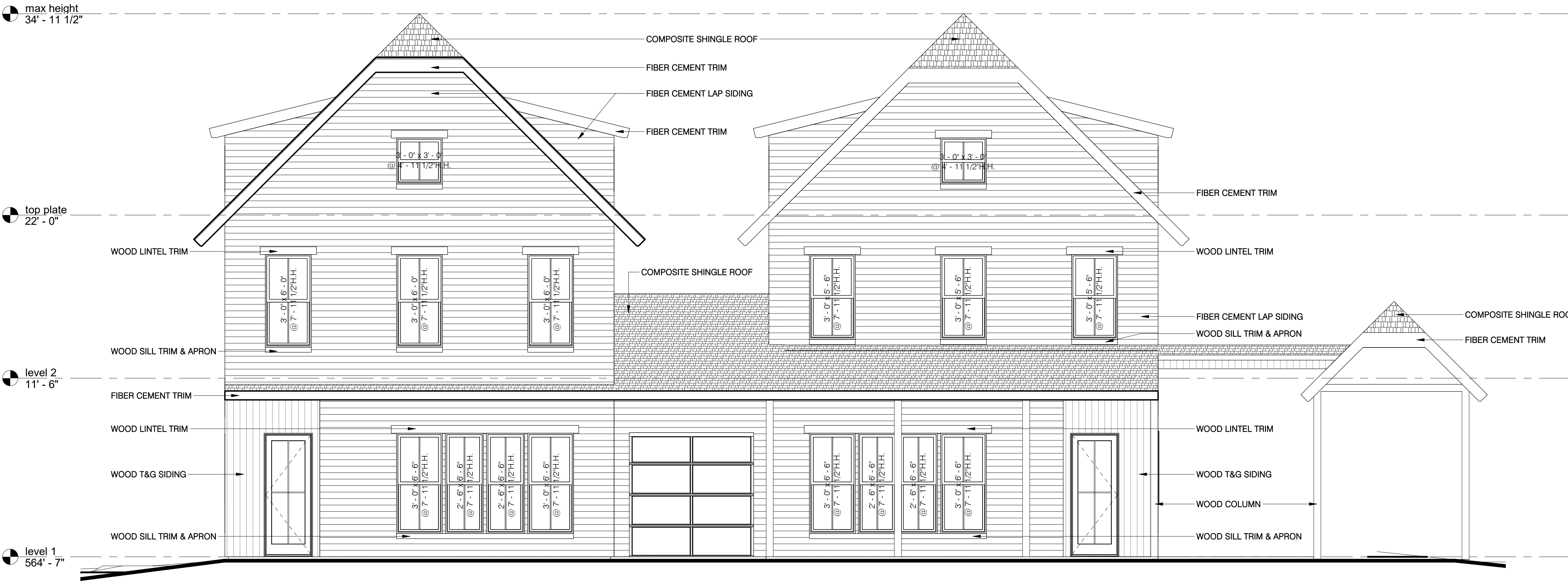
project number 1114

Drawn by Author

Checked by Checker

third floor / attic plan

A103



① south elevation
1/4" = 1'-0"



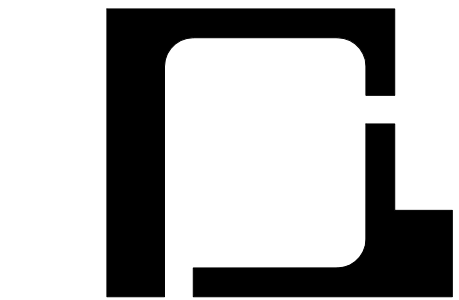
② north elevation
1/4" = 1'-0"

BLDG ELEVATION NOTES

- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
- REF A101 FLOOR PLAN.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL WINDOWS & DOORS FOR PROPER DRAINAGE.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL BRICK/MASONRY WALLS FOR PROPER DRAINAGE.
- GRADE LINES SHOWN ON DRAWINGS ARE FOR REPRESENTATIONAL PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.
- ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
- PAINT ALL GUTTERS & DOWNSPOUTS TO MATCH FIBER CEMENT SIDING.

Keynote Legend - Elevations

Key Value	Keynote Text
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palma
plaza
review set

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Drawn by tr

Checked by ack

building elevations

1510 Palma Plaza

HISTORICAL ASSOCIATION

Must meet the following definition:

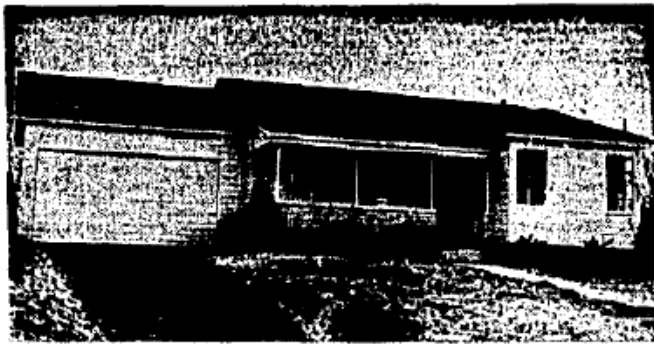
“The property has long-standing significant associations with persons, groups, institutions, businesses, or events of historic importance which ***contributed significantly to the history of the city, state, or nation.***”

A. Howard Osburn

- Insurance, real estate developer & broker
- Developed Upland Addition in east Austin

Augusta Osburn

- Sister to Renfro brothers who owned and operated Renfro Drug Stores
 - Augusta operated a circulating library out of the Renfro Drug Store on 12th St
- Managed the segregated Austin Country Club



—Photo by Neal Douglas.

OPEN FOR INSPECTION is this five-room frame home with stone trim in Upland addition at 1404 Concordia. This home has textone walls, select oak floors, steel casement windows and tile bath. The two-car garage is attached.

Upland Addition Gaining Popularity, Osburn Reports

**Seven New Homes Already Built in Section,
And More To Be Begun Within Week**

Upland addition, a breezy rolling area studded with native trees, is gaining popularity, A. Howard Osburn, developer, reported Saturday.

The winding paved streets of the addition will stay that way, Mr. Osburn noted, since all utility lines have been laid and con-

nections run to each lot. Thus, future connections will not break the pavement.

"Upland addition invites you to visit its cool, rolling hills and inspect the attractive new homes that are now available," Mr. Osburn declared.

These homes are built under FHA specifications and under FHA inspection. Two are now available, and many home sites are still open.

Upland addition is 10 minutes' drive from the heart of the city and six minutes from the university. It is located just eight blocks from the new Robert E. Lee school.

Seven new homes have been built, five of them having been sold already. Among those who have purchased homes in Upland are Mr. and Mrs. John D. Reed, Mr. and Mrs. Jim Slavin, Mr. and Mrs. Martin Moses, Mr. and Mrs. F. W. Bradshaw and Mr. and Mrs. Carlyle W. Urban. Several other new homes have been planned and construction on them will start within the next week.

"The two unsold houses," Mr. Osburn pointed out, "are unusually attractive and are to be sold below present construction costs. Be sure to see them."

Mr. Osburn, a realtor, has offices in the Brown building and a field office at Concordia and Lafayette streets.

News story on the Upland Addition developed by A. Howard Osburn
Austin American-Statesman, January 18, 1942

Upland

1405 Concordia Ave. New FHA home of five rooms and screened porch. Selected oak floors, tile bath with shower over tub, asphalt drive to two car garage.

A. HOWARD OSBURN

Brown Bldg.

Phones 2-8338 or 8-3279

Advertisement for Upland Addition
Austin Statesman August 2, 1942

UPLAND ADDITION

FHA home never occupied. This home has five nicely screen porch arranged rooms, full tile bath, select oak floors, textone walls, red wood siding, two car garage.

A. Howard Osburn

Brown Bldg.

Phone 2-8338 or 8-3279

Advertisement for Upland Addition
Austin-American Statesman December 6, 1942

TRAVIS COUNTY, TEXAS
VOL 654 PAGE 331

said Mrs. W. G. Jones, her heirs and assigns, all liens, rights and equities that secure payment of said note and particularly the security afforded by said deed of trust.

WITNESS my hand, this the nineteenth day of August, A. D. 1940.

R. L. Slaughter

THE STATE OF TEXAS,
COUNTY OF TRAVIS.

Before me, the undersigned authority, on this day personally appeared R. L. Slaughter, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this the nineteenth day of August, A. D. 1940.

Edna Tolson

(Notary Seal)

Notary Public within and for Travis County, Texas.

Filed for record Aug. 26, 1940, at 8 A. M. Recorded Aug. 26, 1940, at 8:40 A. M.

THE STATE OF TEXAS, |
COUNTY OF TRAVIS. |

KNOW ALL MEN BY THESE PRESENTS:

That I, D. C. Reed, of Travis County, Texas, the sole owner of all the property known as Upland Addition to the City of Austin, Travis County, Texas, for the purpose of protecting the interest of all persons who may buy lots in said addition, do hereby promulgate and adopt the restrictions hereinafter set out, which shall be applicable to all lots in said addition and which shall be deemed to be covenants running with the land and binding upon all purchasers, their heirs, executors, administrators, and assigns, whether or not said restrictions are set out in the deeds conveying said property, such restrictions being as follows:

(e) All lots in Upland Addition shall be used for residence purposes only, except the lots Nos. 14 to 23, inclusive in Block No. Five (5) thereof, which may be used for business purposes; and no structure shall be erected on any residential building plot in said addition except one one-family or two-family dwelling houses, not to exceed two stories in height, and a one-car or two-car garage.

shall at any time be used as a residence, temporarily or permanently, nor shall any residence of a temporary character be permitted, but this provision shall not prevent the erection of servant's quarters in connection with garages or the use thereof by servants of the persons occupying the dwelling house on said lot.

(f) No part of the premises shall ever be owned by, held for, rented to, or occupied by any person of African descent; provided, however, that this clause shall not prevent the employment of such persons as domestic servants and providing customary accommodations for them on said premises.

(g) No building costing less than Two Thousand Five Hundred Dollars (\$2,500.00) shall be permitted on any lot in the addition, and no building of box construction shall ever be erected in the addition except in the case of one-story outbuildings located on the rear one-fourth (1/4) of the residential plot.

JUST A FEW SAMPLES OF THE MANY
POPULAR NEW BOOKS ON OUR SHELVES

RENFRO DRUG CO. NO. 5 CIRCULATING LIBRARY

914 West 12th St.

Augusta Osburn

Disputed Passage	Lloyd C. Douglas
The Sword of Islam	Rafael Sabitini
Dr. Norton's Wife	Mildred Walker
Song of Years	Bess Streeter Aldrich
Danger Signal	Phyllis Bottome

NON-FICTION

Alone	Richard Byrd
Best Poems of 1938	Thomas Moulton
The Windsor Tapestry	Compton MacKenzie
Style Your Personality	Renee Long
Unforgotten Years	Logan P. Smith

Notice in the newspaper of new titles in the Renfro Drug Company Circulating Library, managed
by Augusta Osburn

Austin American-Statesman, January 15, 1939

Mrs. Osburn. Manager of Country Club

A new regime has begun at the Austin Country club with the installation as resident manager of Mrs. Howard Osburn, until recently manager of the Austin club in the Norwood building.

Under her predecessor, Mrs. James W. Bass, the club weathered many vicissitudes and came back strong, even after the loss of its buildings by fire.

But increasing demands for the sort of service peculiar to a country club made it mandatory that a manager be within call at all times, and Mrs. Bass, feeling she could not afford to give more time to the club, resigned and the board of directors acceded to her wishes.

The dissolution of the Austin club just at this time made available the services of Mrs. A. Howard Osburn, who as manager of the Austin club made it one of the most popular and delightful places of entertainment in Austin.

Mr. and Mrs. Osburn have taken up residence in the attractive quarters just completed for the manager, and Mrs. Osburn assumed her new duties on Jan. 15.

The club has been very successful in its endeavor to absorb as largely as possible the membership of the Austin club and plans are under way to give the same service as was provided by the recently disbanded club.

A daily luncheon will be served during the hours convenient for business men who will enjoy the relaxation of a drive to the club and a brief sojourn in its restful quiet.

Dinner will be served each night and a special Sunday night supper will be served from 7 to 9 p. m. A special Sunday luncheon served from 12 to 2 p. m. will be another new feature.

Wednesday will henceforth be observed as Ladies' Day at the club.

With increased space and improved facilities provided by recent improvements at the Country club, a return to traditional affairs which have lapsed and been missed during a few years is being arranged. Among these are the Easter Monday bridge tea, formerly an outstanding event on the social calendar in the early spring, the children's Easter party and egg hunt, and the annual barbecue for club members only.

A club dance is being planned, according to the new manager, within the next two weeks.

News story on the installation of Augusta Osburn
as manager of the Austin Country Club
Austin-American Statesman January 19, 1936

Austin's Hancock Golf Course Listed in the National Register of Historic Places

AUSTIN, Texas — The Texas Historical Commission recently assisted in the successful nomination of Hancock Golf Course in Austin, Travis County, to the [National Register of Historic Places](#) in recognition of its importance to the history of Austin and the State of Texas.

[Hancock Golf Course](#) was the first location of the Austin Country Club, established in 1899 and incorporated the following year during a national rise in the popularity of golf and establishment of numerous private golf associations across the United States. The nine-hole golf course was the first in Austin, and is the oldest continuously-operated course in the state. Founded by former Austin Mayor Lewis Hancock with a committee of business and civic leaders, [the Austin Country Club added nine holes on a separate parcel in 1913 and continued to operate the course as a private segregated facility until 1951](#), when the organization completed a move to a new location. The City of Austin then operated the course as a public facility, selling off all but the original nine-hole course for commercial development in 1959. The course has played an integral part in the introduction and popularity of the sport in Austin and retains its historic layout.

Source: Texas Historical Commission website

<https://www.thc.texas.gov/news-events/press-releases/austins-hancock-golf-course-listed-national-register-historic-places>