



# Historic Review Application

For Office Use Only

Date of Submission: \_\_\_\_\_

Plan Review #: \_\_\_\_\_

Property Address: \_\_\_\_\_

Historic Landmark

Historic District (Local)

National Register Historic District

Historic Landmark or

Historic District Name: \_\_\_\_\_

Applicant Name: \_\_\_\_\_ Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

*Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.*

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

## Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan

Elevations

Floor Plan

Roof Plan

2. Color photographs of building and site:

Elevation(s) proposed to be modified

Detailed view of each area proposed to be modified

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# Design Standards and Guidelines for Historic Properties

Adopted December 2012

## **Design Standards and Guidelines for Historic Properties**

### *Landmarks and National Register historic district properties*

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character of a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### *Local historic district properties*

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

## **What Type of Work Requires a Certificate of Appropriateness?**

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).



# MAUFRAIS COTTAGE

## HISTORIC REVIEW APPLICATION SUBMITTAL



### ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISHED FLOOR
A.H.U.	AIR HANDLER UNIT
ABV.	ABOVE
ADJ.	ADJACENT
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT / ARCHITECTURAL
AUTO.	AUTOMATIC
B.L.	BUILDING LINE
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BRK.	BRICK
BSMT.	BASEMENT
BTW.	BETWEEN
C.G.	CORNER GUARD
C.I.P.	CAST IN PLACE
C.J.	CONTROL JOINT
C.L.	CENTER LINE
C.M.U.	CONCRETE MASONRY UNIT(S)
C.P.	CEMENT PLASTER
C.T.	CEERAMIC TILE
C.W.	CURTAIN WALL
CAB.	CABINET
CLG.	CEILING
CLR.	CLEAR/CLEARANCE
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS/CONTIN UE(D)
CPT.	CARPET
CTR.	COUNTER
D.S.	DOWNSPOUT
DBL.	DOUBLE
DEMO.	DEMOLITION
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DTL.	DETAIL
DWG.	DRAWING
E.	EAST
E.J.	EXPANSION JOINT
E.W.C.	ELECTRIC WATER COOLER
E.W.H.	ELECTIRC WATER HEATER
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRIC(AL)
ELEV.	ELEVATOR
EMERG.	EMERGENCY
EQ.	EQUAL
EQUIP.	EQUIPMENT
EST.	ESTIMATE/ESTIMATED
EXG.	EXISTING
EXH.	EXHAUST
EXH.F.	EXAUST FAN
EXT.	EXTERIOR
F.A.P.	FIRE ALARM PULL
F.C.O.	FLOOR CLEAN OUT
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPARTMENT CONNECTION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
F.W.P.	FABRIC WRAPPED PANELS
FAB.	FABRIC
FABR.	FABRICATOR
FDN.	FOUNDATION
FL.	FLOOR
FLEX.	FLEXIBLE
FLOUR.	FLOURESCENT
G.C.	GENERAL CONTRACTOR
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLAZING
GP.BD.	GYPNUM BOARD
GR.BM.	GRADE BEAM
H.B.	HOSE BIB
H.C.	HOLLOW CORE
H.D.	HEAVY DUTY
H.M.	HOLLOW METAL
H.W.H.	HOT WATER HEATER
HC.	HANDICAP
HDR.	HEADER
HDW.	HARDWARE
HDWD.	HARDWOOD
HORIZ.	HORIZONTAL
HT.	HEIGHT
HVAC.	HEATING VENTILATION AIR CONDITIONING
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INS.	INSULATE/INSULATION
INT.	INTERIOR
L.H.	LEFT HAND
L.L.	LIVE LOAD
LAB.	LABORATORY
LAM.	LAMINATE(D)

### ABBREVIATIONS

LAV.	LAVATORY
LDR.	LADDER
INTL.	INTEL
LOUV.	LOUVER
LT.	LIGHT
LTWT.	LIGHTWEIGHT
M.H.	MANHOLE
M.O.	MASONRY OPENING
M.PAN.	METAL PANEL
M.R.T.	MOISTURE RESISTANT TREATED
MAT.	MATERIAL(S)
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURE(R)
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MOD.	MODULAR
MTL.	METAL
MULL.	MULLION
MULT.	MULTIPLE
MW.	MICROWAVE
N.	NORTH
N.I.C.	NOT IN CONTRACT
N.R.C.	NOISE REDUCTION COEFFICIENT
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OUTSIDE FACE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
O.H.	OVERHEAD/OPPOSITE HAND
O.S.B.	ORIENTED STRAND BOARD
OPP.	OPPOSITE
ORIG.	ORIGINAL
P.C.	PRECAST
P.L.	PROPERTY LINE
P.LAM.	PLASTIC LAMINATE
P.T.	PORCELAIN TILE
P.V.C.	POLYVINYL CHLORIDE
PERF.	PERFORATE(D)
PERIM.	PERIMETER
PERP.	PERPENDICULAR
PKG.	PARKING
PL.	PLATE
PLBG.	PLUMBING
PLYWD.	PLYWOOD
PNT.	PAINT(ED)
POS.	POSITIVE
PREFAB.	PREFABRICATE(D)
PREFIN.	PRE-FINISH(ED)
PRTN.	PARTITION
PT.	POINT
R.	RADIUS
R.A.	RETURN AIR
R.B.	RUBBER BASE
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
R.F.	RUBBER FLOORING
R.H.	RIGHT HAND
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
REBAR.	REINFORCING BAR(S)
RECEP.	RECEPTACLE
REF.	REFERENCE
REFG.	REFRIGERATOR
REINF.	REINFORCE(D)/REINFO RCING
REQ.	REQUIRED
RESIL.	RESILIENT
REV.	REVERSE (SIDE)/REVISE(D)
RM.	ROOM
RND.	ROUND
S4S.	SURFACED FOUR SIDES
S.	SOUTH
S.A.F.B.	SOUND ATTENUATING FIRE BLANKET
S.C.	SOLID CORE
S.G.D.	SLIDING GLASS DOOR
S.S.	STANDING SEAM
S.S.M.	SOLID SURFACE MATERIAL
S.STL.	STAINLESS STEEL
S.T.C.	SOUND TRANSMISSION CLASS
S.V.	SHEET VINYL
S.W.C.	SPECIAL WALL COVERING
SCHED.	SCHEDULE(D)
SCR.	SCREEN
SDG.	SIDING
SECT.	SECTION
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
SKYLT.	SKYLIGHT
SLV.	SLEEVE
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
ST.	STONE
STA.	STATION
STD.	STANDARD
STG.	STORAGE
STL.	STEEL

### ABBREVIATIONS

STRUC.	STRUCTURE/STRUCTU RAL
SUBST.	SUBSTITUTE
SURF.	SURFACE
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
SYS.	SYSTEM
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
T.	TREAD
T.B.	TACK BOARD
T.O.B.	TOP OF (NOTED ELEMENT)
T.O.S.	TOP OF STEEL
T.O.S.C.	TOP OF STRUCTURAL CONCRETE
T.P.D.	TOILET PAPER DISPENSER
T.V.	TELEVISION
TECH.	TECHNICAL
TEL.	TELEPHONE
TLT.	TOILET
TOL.	TOLERANCE
TRANS.	TRANSPARENT
TRTD.	TREATED
TYP.	TYPICAL
U.C.	UNDERCOUNTER
U.N.O.	UNLESS NOTED OTHERWISE
UR.	URINAL
V.C.T.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
VAR.	VARIES
VERT.	VERTICAL
VOL.	VOLUME
W.	WEST
W.B.	WIND BRACE
W.C.	WATER CLOSET
W.F.	WIRE FABRIC
W.I.	WROUGHT IRON
W.M.	WALL MOUNTED
W.P.	WORK POINT
W.PAN.	WALL PANEL
W.V.	WOOD VENEER
W.W.M.	WELDED WIRE MESH
W/	WITH
W/O	WITHOUT
WCT.	WAINSCOT
WD.	WOOD
WD.B.	WOOD BASE
WIN.	WINDOW
WS.	WATER STOP

### GENERAL NOTES

- THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND SHALL BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PERFORM ALL WORK IN COMPLIANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS OF THE LOCAL BUILDING CODE. AUTHORITY. IF PROJECT IS OUTSIDE OF A MUNICIPALITY, 2015 IRC AND 2015 IBC GOVERN. DIRECT ALL QUESTIONS REGARDING SUCH COMPLIANCE TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- WRITTEN DIMENSIONS GOVERN. ALL DIMENSIONS TO FACE OF STUD. U.N.O.. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT IN THE EVENT THAT REQUIRED DIMENSIONS ARE NOT GIVEN OR ARE IN CONFLICT WITH OTHER ANNOTATIONS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM DUE DILIGENCE INSPECTION OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF A PROPOSAL. SUBMITTAL OF A PROPOSAL SHALL BE CONSIDERED CONFIRMATION THAT SUCH INSPECTION HAS BEEN MADE, AND NO FURTHER COMPENSATION SHALL BE DUE THE CONTRACTOR FOR CLAIMS ARISING AS A RESULT OF FAILURE TO PERFORM SUCH INSPECTION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FEES FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTING, ETC., UNLESS AGREED UPON OTHERWISE IN WRITING WITH OWNER AND ARCHITECT.
- FURNISH ALL NEW MATERIALS EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. WARRANT ALL MATERIALS AND LABOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, OR THE DATE OF BENEFICIAL OCCUPANCY BY THE OWNER, WHICHEVER IS LATER. REPAIR OR REPLACE ALL WORK THAT IS DISCOVERED TO BE DEFECTIVE DURING THAT PERIOD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES.
- THE CONTRACTOR SHALL PERFORM CUTTING AND PATCHING FOR ALL TRADES. CONFIRM LOCATIONS OF STRUCTURAL MEMBERS PRIOR TO CUTTING HOLES IN FLOORS OR ROOFS. DO NOT CUT HOLES IN STRUCTURAL MEMBERS BEFORE OBTAINING WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER OF RECORD.
- CONFIRM SIZES OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF ALL STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK AND EQUIPMENT PRIOR TO FRAMING OR CUTTING FOR INSTALLATION.
- REPAIR DAMAGE TO OR HOLES IN EXISTING PARTITIONS TO REMAIN ARISING FROM DEMOLITION OPERATIONS. PREPARE REPAIRED AREAS TO RECEIVE NEW SCHEDULED FINISHES.
- LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY BY THE OWNER.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR PROVIDES A COMPLETE, FUNCTIONING PROJECT INCLUDING ALL GENERAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONSTRUCTION REQUIRED TO FULFILL THAT INTENT. ALL ITEMS REQUIRED SHALL BE FURNISHED AND INSTALLED, REGARDLESS OF WHETHER OR NOT SHOWN ON THE DRAWINGS.
- PROVIDE RECORD DRAWINGS OF THE WORK AT THE CONCLUSION OF CONSTRUCTION. RECORD DRAWINGS MAY BE IN THE FORM OF TWO MARKED-UP COPIES OF CONSTRUCTION DOCUMENTS. DELIVER RECORD DRAWINGS TO THE ARCHITECT.
- ITEMS FURNISHED BY THE OWNER BUT INSTALLED BY THE CONTRACTOR ARE NOTED "O.F.C.I." [OWNER FURNISHED/CONTRACTOR INSTALLED]. CONTRACTOR SHALL INCLUDE COST FOR INSTALLATION ONLY IN HIS PROPOSAL.
- ITEMS FURNISHED AND INSTALLED BY THE OWNER ARE NOTED "O.F.O.I." [OWNER FURNISHED/OWNER INSTALLED]. CONTRACTOR SHALL NOT INCLUDE COSTS FOR FURNISHING OR INSTALLATION IN HIS PROPOSAL.
- ITEMS OR WORK NOT TO BE FURNISHED OR ACCOMPLISHED BY THE CONTRACTOR ARE NOTED "N.I.C." [NOT IN CONTRACT].
- "ALIGN" AS USED IN THESE DOCUMENTS, MEANS TO ALIGN THE FINISHED FACE OF ELEMENTS IN THE SAME PLANE.
- "SIMILAR" OR "SIM", AS USED IN THESE DOCUMENTS MEANS THAT THE ITEM OR DETAIL REFERENCED IS SUBSTANTIALLY THE SAME AS THE ITEM OR DETAIL REFERRED TO, WITH MINOR VARIATIONS THAT DO NOT AFFECT FUNCTION OR APPEARANCE.
- "TYPICAL" OR "TYP.", AS USED IN THESE DOCUMENTS MEANS THAT THE ITEM OR DETAIL REFERENCED IS THE SAME FOR ALL CONDITIONS OF A SIMILAR NATURE THROUGHOUT THE PROJECT, UNLESS NOTED OTHERWISE.
- DO NOT DISASSEMBLE SETS OF CONSTRUCTION DRAWINGS. DRAWINGS ARE INTERRELATED.
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ARCHITECT FOR ALL DOORS, WINDOWS, AND PLUMBING FIXTURES PRIOR TO ORDERING THESE MATERIALS FOR THE ARCHITECT'S REVIEW AND APPROVAL. IF THESE ITEMS ARE ORDERED PRIOR TO THE ARCHITECT'S REVIEW OF SUBMITTALS, THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY TO VERIFY THAT NO CONFLICTS EXIST IN THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL TAKEOFFS. THE ARCHITECT WILL NOT PERFORM TAKEOFFS AND ANY ROOM OR BUILDING AREAS SHOWN IN THE DRAWINGS ARE FOR PERMITTING ONLY.

### ARCHITECTURE REGULATIONS

THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS HAS JURISDICTION OVER COMPLAINTS REGARDING THE PROFESSIONAL PRACTICES OF PERSONS REGISTERED AS ARCHITECTS IN TEXAS.  
TBAE INFORMATION: ADDRESS: 333 GUADALUPE, STE 2-350, AUSTIN TX 78701. TELEPHONE #: (512) 305-9000

### SHEET INDEX

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**A-001** EXISTING PHOTOS  
  
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### DEFINITIONS - FLOOR AREA

IBC 2015: BUILDING AREA: THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF SHAFTS AND COURTS. AREAS NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. REF. IBC 2015 SEC. 202.

IBC 2015: GROSS FLOOR AREA: THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION. EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. DOES NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS. REF. IBC 2015 SEC. 202.

IBC 2015: GROSS LEASABLE AREA: THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE. MEASURED FROM THE CENTERLINES OF JOINT PARTITIONS TO THE OUTSIDE OF THE TENANT WALLS. INCLUDE ALL TENANT AREAS AND AREAS USED FOR STORAGE. REF. IBC 2015 SEC. 202.

IBC 2015: NET FLOOR AREA: THE ACTUAL OCCUPIED AREA NOT INCLUDING UNOCCUPIED ACCESSORY AREAS SUCH AS CORRIDORS, STAIRWAYS, RAMPS, TOILET ROOMS, MECHANICAL ROOMS AND CLOSETS. REF. IBC 2015 SEC. 202.

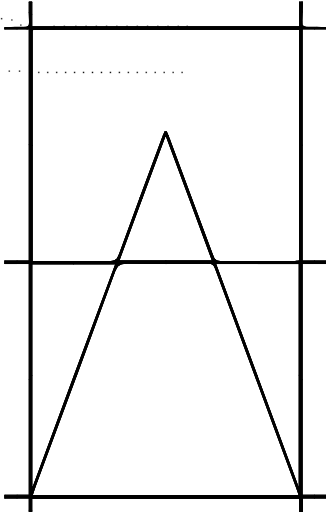
COA: GROSS FLOOR AREA: TOTAL ENCLOSED AREA OF ALL FLOORS IN A BUILDING WITH A CLEAR HEIGHT OF MORE THAN SIX FEET, MEASURED TO THE OUTSIDE OF THE EXTERIOR WALLS. REF. 25-1-21-(46).

COR: FLOOR AREA: CALCULATED FROM EXTERIOR PERIMETER FOOTPRINT OF EACH STORY OF SUCH BUILDING, OR PORTION THEREOF. DOES NOT INCLUDE ATTACHED GARAGES, ATTICS, BASEMENTS, OR PORCHES. TO INCLUDE ATRIUMS, VENTS, ELEVATOR SHAFTS, EXTERIOR BALCONIES AND PORCHES, MECHANICAL AND STORAGE ROOMS, ELEVATOR LOBBIES, HALLS AND CORRIDORS, BUT EXCLUDE COURTYARDS. REF. COR SEC. 14.02.051

COR: GROUND FLOOR AREA: MEASURED BY TAKING THE AGGREGATE OUTSIDE HORIZONTAL DIMENSIONS OF THE BUILDING OR STRUCTURE, AT FOUNDATION LEVEL, EXCLUDING THE FLOOR AREA OF GARAGES, BASEMENTS, OR OPEN OR SCREENED PORCHES. REF. COR SEC. 14.02.051

DISCLAIMER: CALCULATIONS WERE DONE FROM REVIT DRAWINGS PRIOR TO BUILDING CONSTRUCTION AND DO NOT REFLECT CHANGES DURING CONSTRUCTION OR AS-BUILT CONDITIONS.

DISCLAIMER: NOT UNCOMMON FOR A SITE MEASUREMENT AND OR CALCULATION BY ONE PARTY TO DIFFER FROM THE SAME MEASUREMENT AND CALCULATION BY ANOTHER PARTY. THE CALCULATION FOR AN AREA, RESULTING FROM SITE MEASUREMENT BY THE BUILDING OWNER OR MANAGER, IS DEEMED ACCURATE IF A RE-MEASUREMENT GIVES RESULT WITH VARIANCE OF TWO PERCENT (2%) OR LESS.



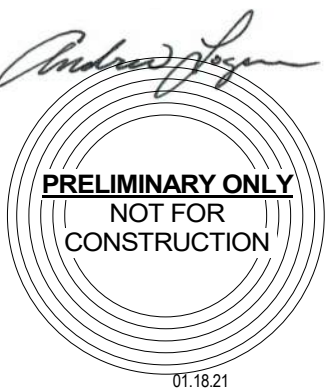
Logan Architecture, PLLC  
108 Chicon  
Austin, Texas 78702  
512.550.7575  
info@loganarch.com

## MAUFRAIS COTTAGE

1007 MAUFRAIS  
AUSTIN, TX 78703

JUSTIN & SARAH THOMAS

No.	Description	Date



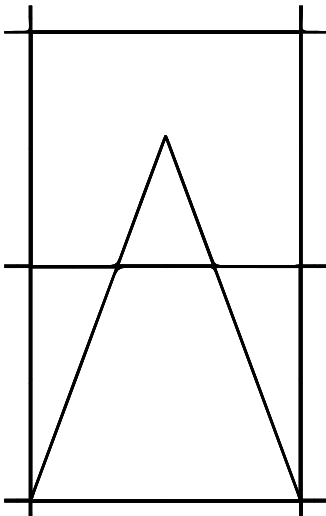
### HISTORICAL REVIEW

Project # 20.36.PROJECT  
Date 01.18.21

COVER

# A-000





L O G A N  
A R C H I T E C T U R E

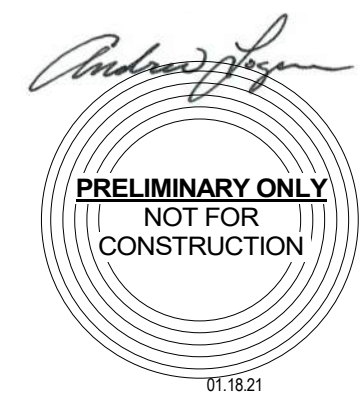
Logan Architecture, PLLC  
108 Chicon  
Austin Texas 78702  
512.550.7575  
info@loganarch.com

# MAUFRAIS COTTAGE

1007 MAUFRAIS  
AUSTIN, TX 78703

JUSTIN & SARAH THOMAS

No.	Description	Date



HISTORICAL REVIEW

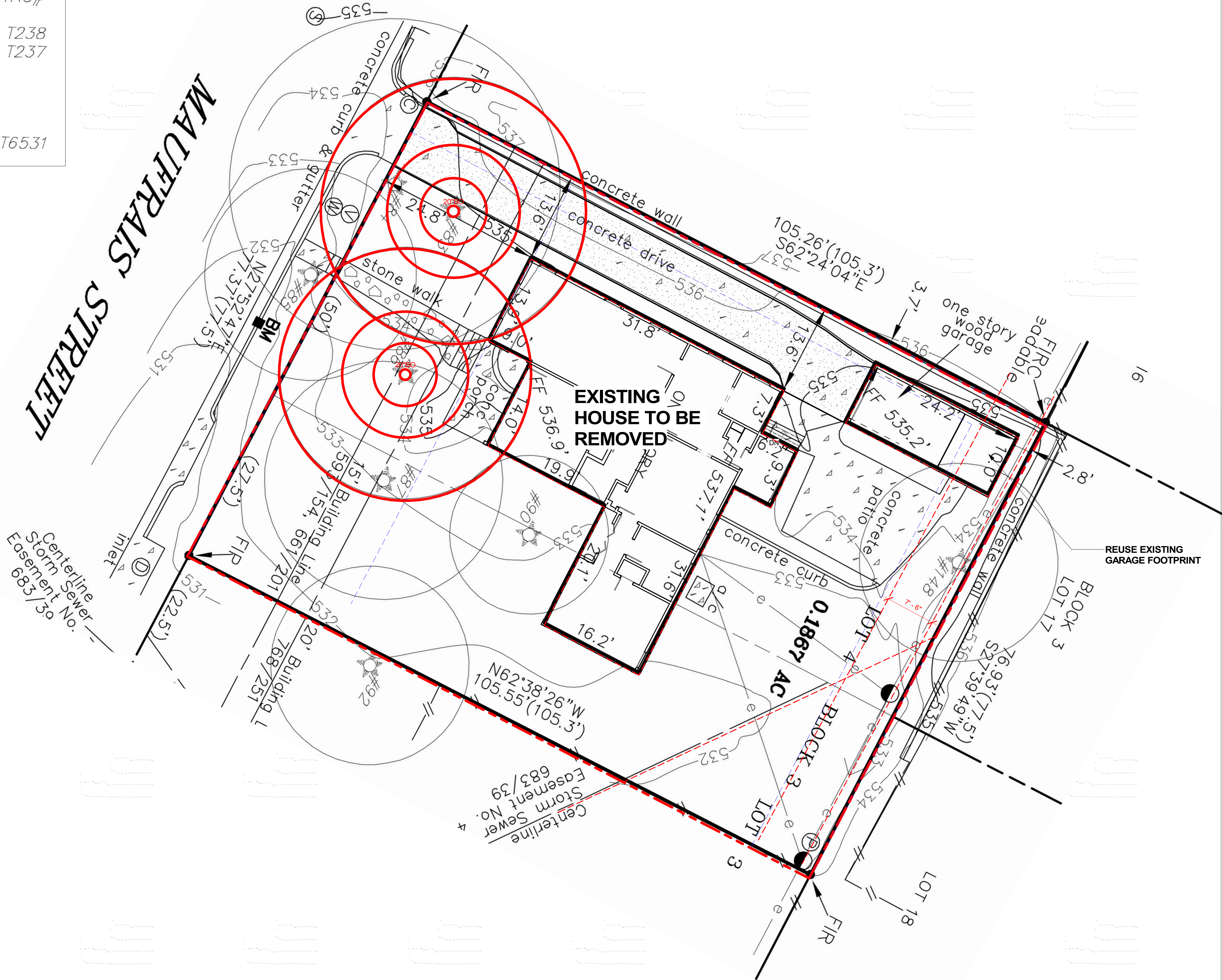
Project # 20.36.PROJECT  
Date 01.18.21

EXISTING PHOTOS

## A-001



TREE LIST			
T#	TYPE	SIZE	TAG#
83	burr oak	20"	
84	burr oak	16"	T238
85	burr oak	16"	T237
86	burr oak	19"	
87	burr oak	18"	
90	live oak	12"	
92	pecan	15"	
148	anacua	15"	T6531



LOGAN  
ARCHITECTURE

Logan Architecture, PLLC  
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MAUFR AIS COTTAGE

1007 MAUFR AIS  
AUSTIN, TX 78703

JUSTIN & SARAH THOMAS		
No.	Description	Date

PRELIMINARY ONLY  
NOT FOR  
CONSTRUCTION

01/18/21

HISTORICAL REVIEW

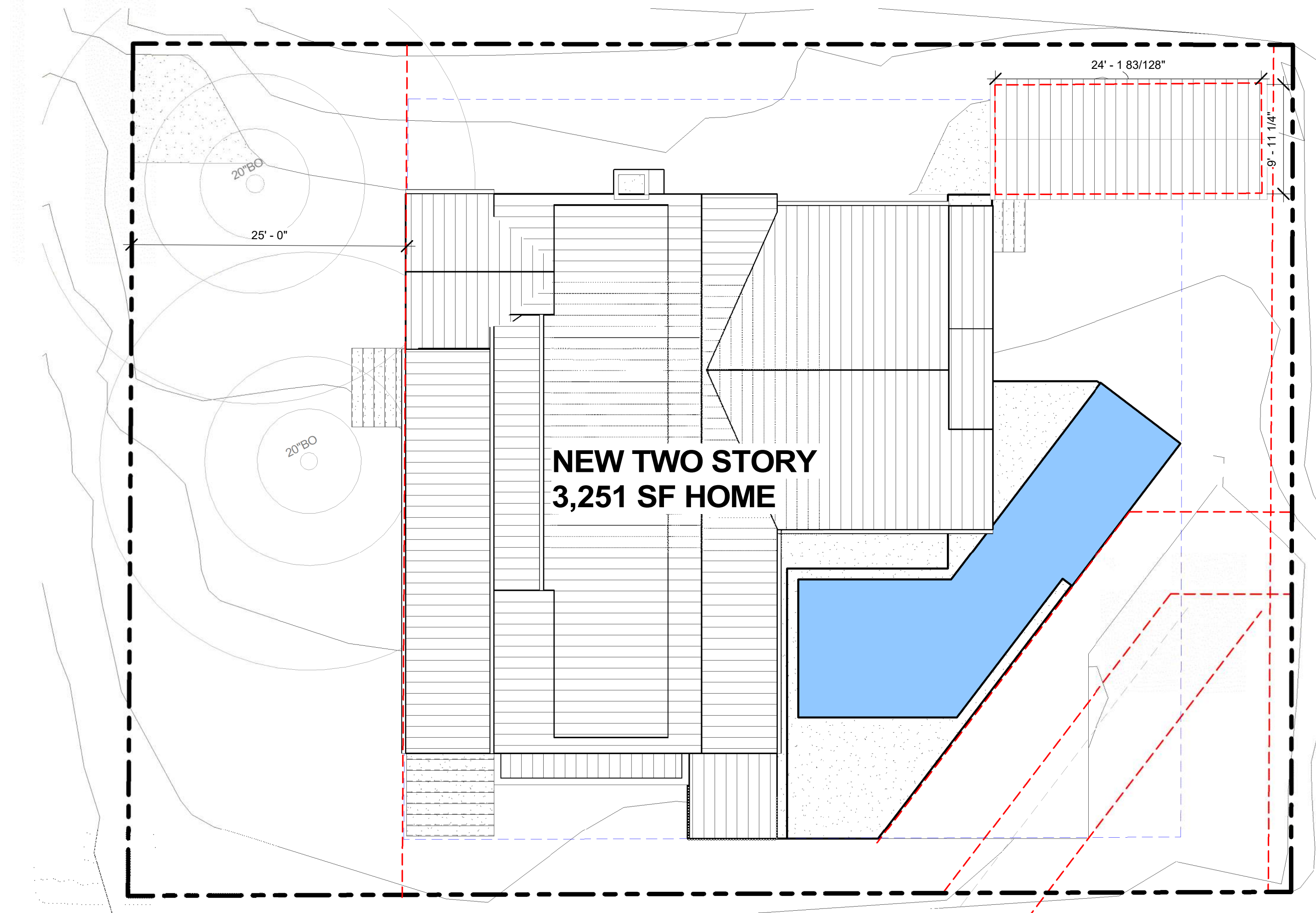
Project # 20.36 PROJECT

Date 01.18.21

REFERENCE PLOT PLAN

REFERENCE SURVEY  
1/8" = 1'-0"



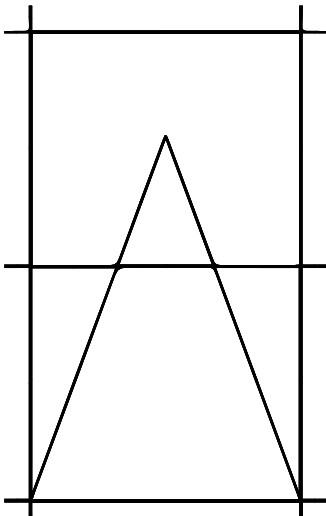


- CONFLICTS WITH THE INTENT OF THE  
NEW CONSTRUCTION. NOTIFY  
ARCHITECT OF ALL M.E.P. ITEMS  
LOCATED IN PARTITIONS OR  
CEILINGS NOT NOTED ON M.E.P.  
DRAWINGS.
- REMOVAL OF DOORS ALSO INCLUDES  
REMOVAL OF DOOR FRAMES AND  
HARDWARE UNLESS SPECIFICALLY  
NOTED OTHERWISE.
- RETURN ALL SALVAGED DOORS,  
FRAMES, HARDWARE, LIGHT  
FIXTURES, AND EQUIPMENT NOT  
REUSED IN THIS PROJECT TO THE  
OWNER FOR REUSE ELSEWHERE.
- NOTIFY ARCHITECT OF ALL  
NOTICEABLE DEFECTS IN EXISTING  
CONSTRUCTION PRIOR TO  
BEGINNING DEMOLITION  
OPERATIONS AS WELL AS DEFECTS  
UNCOVERED DURING DEMOLITION  
OPERATIONS.
- REMOVE ELECTRICAL BOXES,  
WIRING, AND CONDUIT IN  
DEMOLISHED PARTITIONS BACK TO  
THEIR RESPECTIVE PANELS, UNLESS  
INDICATED TO BE REROUTED.
- REFER TO MECHANICAL, ELECTRICAL,  
AND PLUMBING SERIES DRAWINGS  
FOR ADDITIONAL DEMOLITION  
INFORMATION.
- IT IS THE INTENT OF THE DEMOLITION  
TO REMOVE ALL EXISTING  
CONSTRUCTION WHICH CONFLICTS  
WITH THE INTENT OF NEW  
CONSTRUCTION. EVERY DEMOLITION  
DETAIL MAY NOT NECESSARILY BE  
COVERED ON THESE DOCUMENTS.  
PRIOR TO BID, THE CONTRACTOR  
SHALL REVIEW THE EXISTING  
CONDITIONS AND SHALL INCLUDE ALL  
DEMOLITION WORK REQUIRED TO  
ACCOMMODATE NEW WORK, EVEN IF  
NOT SPECIFICALLY CALLED FOR.
- WHERE EXISTING WALLS OR  
CEILINGS ARE DAMAGED BY THE  
CONTRACTOR FOR ACCESS TO  
SERVICES, AND NEW CONSTRUCTION  
IS NOT SCHEDULED OR SHOWN ON  
THE DRAWINGS, THE CONTRACTOR  
SHALL BE RESPONSIBLE FOR  
REPAIRING MATERIALS AND FINISHES  
TO MATCH ORIGINAL CONDITIONS.
- RESTORE EXPOSED FINISHES OF  
PATCHED AREAS AND EXTEND  
RESTORATION INTO ADJOINING  
CONSTRUCTION IN A MANNER THAT  
ELIMINATES EVIDENCE OF PATCHING  
AND REFINISHING.
- DO NOT CUT AND PATCH ELEMENTS  
IN A MANNER THAT COULD CHANGE  
THEIR LOAD-CARRYING CAPACITY,  
LOAD-DEFLECTION RATIO, OR THAT  
RESULTS IN INCREASED  
MAINTENANCE OR DECREASED  
OPERATIONAL LIFE OR SAFETY.
- IF MATERIALS SUSPECTED OF  
CONTAINING HAZARDOUS MATERIALS  
ARE ENCOUNTERED, DO NOT  
DISTURB. SUSPEND WORK  
IMMEDIATELY AND NOTIFY  
ARCHITECT AND OWNER.  
HAZARDOUS MATERIALS WILL BE  
REMOVED BY OWNER UNDER A  
SEPARATE CONTRACT.
- ALL NEW SIDEWALKS TO HAVE MAX  
1:20 GRADE WITH CROSS SLOPE TO  
DRAIN AT 1/4" PER FOOT. SEAL  
CONCRETE AND PROVIDE A BROOM  
FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR TO TIE INTO EXISTING  
UTILITIES. SOME UTILITIES MAY  
REQUIRE UPGRADING. CONTRACTOR  
TO VERIFY. VERIFY METER & UTILITY  
SERVICE LOCATIONS PRIOR TO  
INSTALLATION.
- CONTRACTOR TO UTILIZE TEMPORARY  
EROSION AND SEDIMENTATION  
CONTROL MEASURES AS REQUIRED BY  
CODE.
- PROVIDE TREE PROTECTION FOR ALL  
TREES NOT MARKED FOR REMOVAL.
- TREES TO BE REMOVED SHALL BE  
REMOVED FROM THE SOIL TO A DEPTH  
OF 12" BELOW THE SURFACE OF THE  
GROUND IN THE AREA OF THE  
BUILDING.
- SELECTIVELY CLEAR OR PRUNE ANY  
UNWANTED TREES OR THOSE  
IMPEDING CONSTRUCTION WITH  
CONSENT OF OWNER. COORDINATE  
REMOVAL AND DISPOSAL OF  
UNWANTED TREES AND OTHER  
LANDSCAPING MATERIALS WITH  
OWNER.
- PROVIDE NEW GUTTERS AND  
DOWNSPOUTS TO DRAIN ON SITE.  
DOWNSPOUTS TO DRAIN AWAY FROM  
BUILDING.
- ENSURE ALL GRADING SLOPES AWAY  
FROM BUILDING FOR AT LEAST 10'-0".
- CONTRACTOR TO STORE ALL NEW  
MATERIALS IN DRY AND SECURE  
LOCATION ON SITE AS SPECIFIED BY  
OWNER.
- EXTERIOR HVAC EQUIPMENT SHALL BE  
SCREENED IN COMPLIANCE WITH ANY  
CITY OF AUSTIN REGULATIONS AND/OR  
LOCAL DEED RESTRICTIONS.
- PROVIDE CONTROL AND EXPANSION  
JOINTS AS REQUIRED ON CONCRETE  
DRIVES, WALKS & PATIOS.
- EXISTING UTILITY LINE LOCATIONS ARE  
APPROXIMATED. CONTRACTOR TO  
VERIFY LOCATIONS PRIOR TO  
CONSTRUCTION.

1 SITE PLAN - PROJECT NORTH\_NEW CONSTRUCTION  
1/8" = 1'-0"







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ARCHITECTURE

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# MAUFRAIS COTTAGE

1007 MAUFRAIS  
AUSTIN, TX 78703

JUSTIN & SARAH THOMAS

No.	Description	Date



HISTORICAL REVIEW

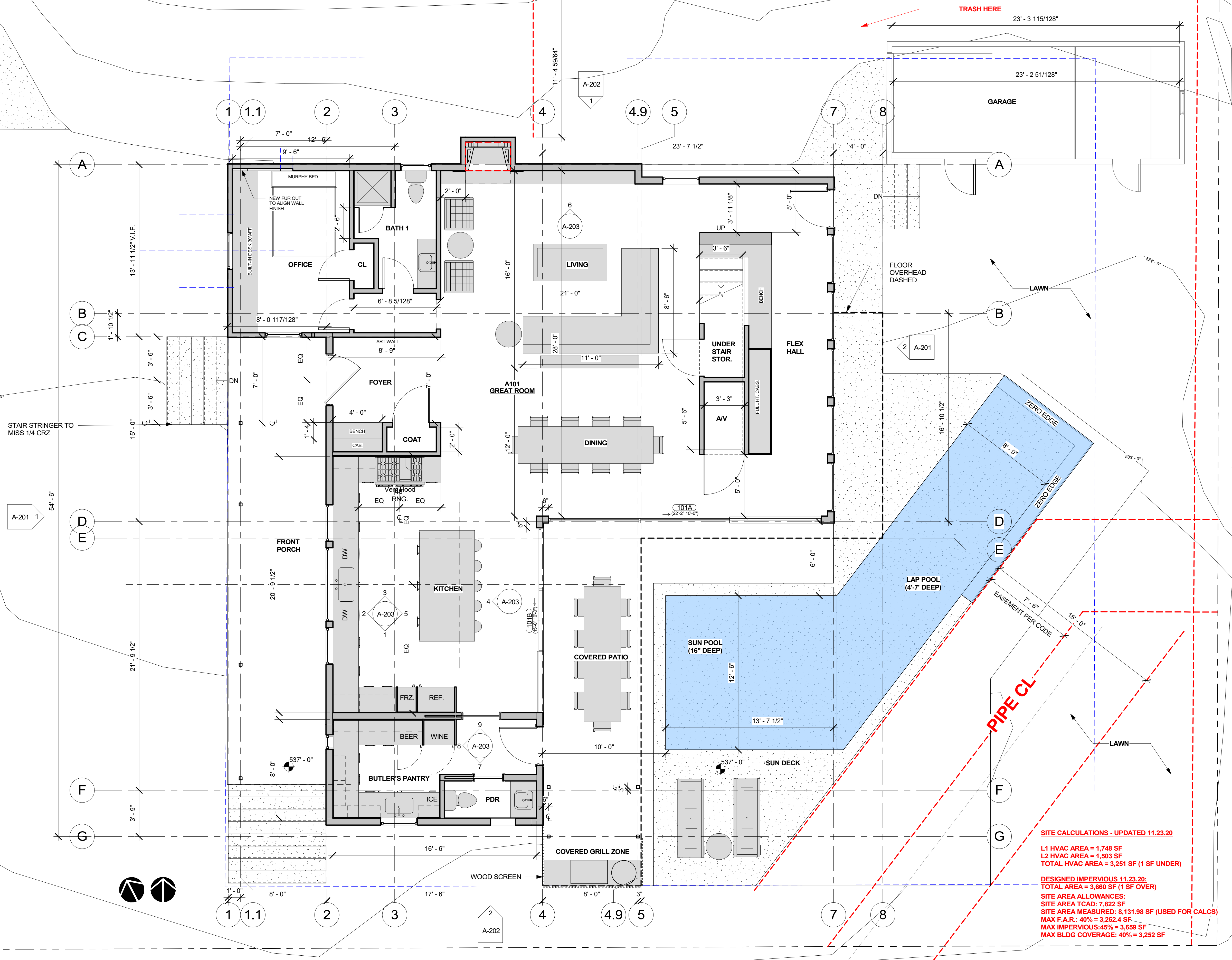
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Date 01.18.21

LEVEL 1 PLAN

## A-103

1 LEVEL 1\_NEW CONSTRUCTION  
1/4" = 1'-0"

FULL SCALE IS 22X34 SHEET | HALF SCALE IS 11X17 SHEET



### SITE CALCULATIONS - UPDATED 11.23.20

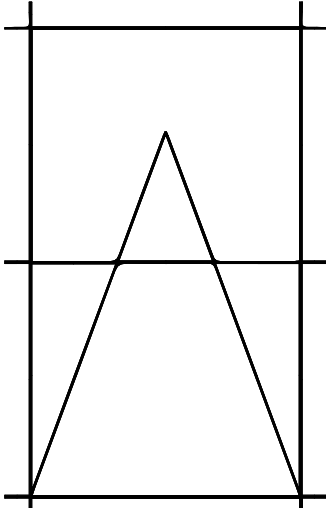
L1 HVAC AREA = 1,748 SF  
L2 HVAC AREA = 1,503 SF  
TOTAL HVAC AREA = 3,251 SF (1 SF UNDER)

DESIGNED IMPERVIOUS 11.23.20:  
TOTAL AREA = 3,660 SF (1 SF OVER)  
SITE AREA ALLOWANCES:  
SITE AREA TCAD: 7,822 SF  
SITE AREA MEASURED: 8,131.98 SF (USED FOR CALCS)  
MAX F.A.R.: 40% = 3,252.4 SF  
MAX IMPERVIOUS: 45% = 3,659 SF  
MAX BLDG COVERAGE: 40% = 3,252 SF



1 LEVEL 2\_NEW CONSTRUCTION  
1/4" = 1'-0"

L2 HVAC AREA UPDATED 11.23.20 = 1,503 SF



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ARCHITECTURE

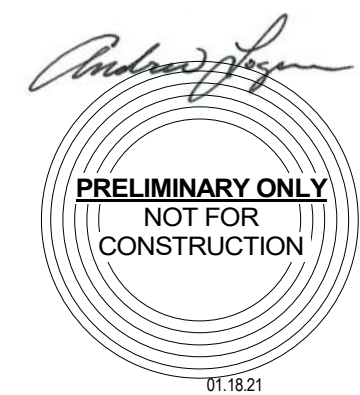
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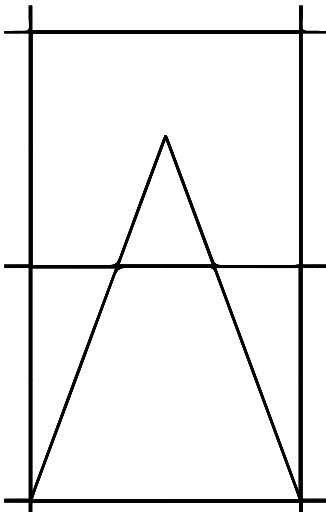
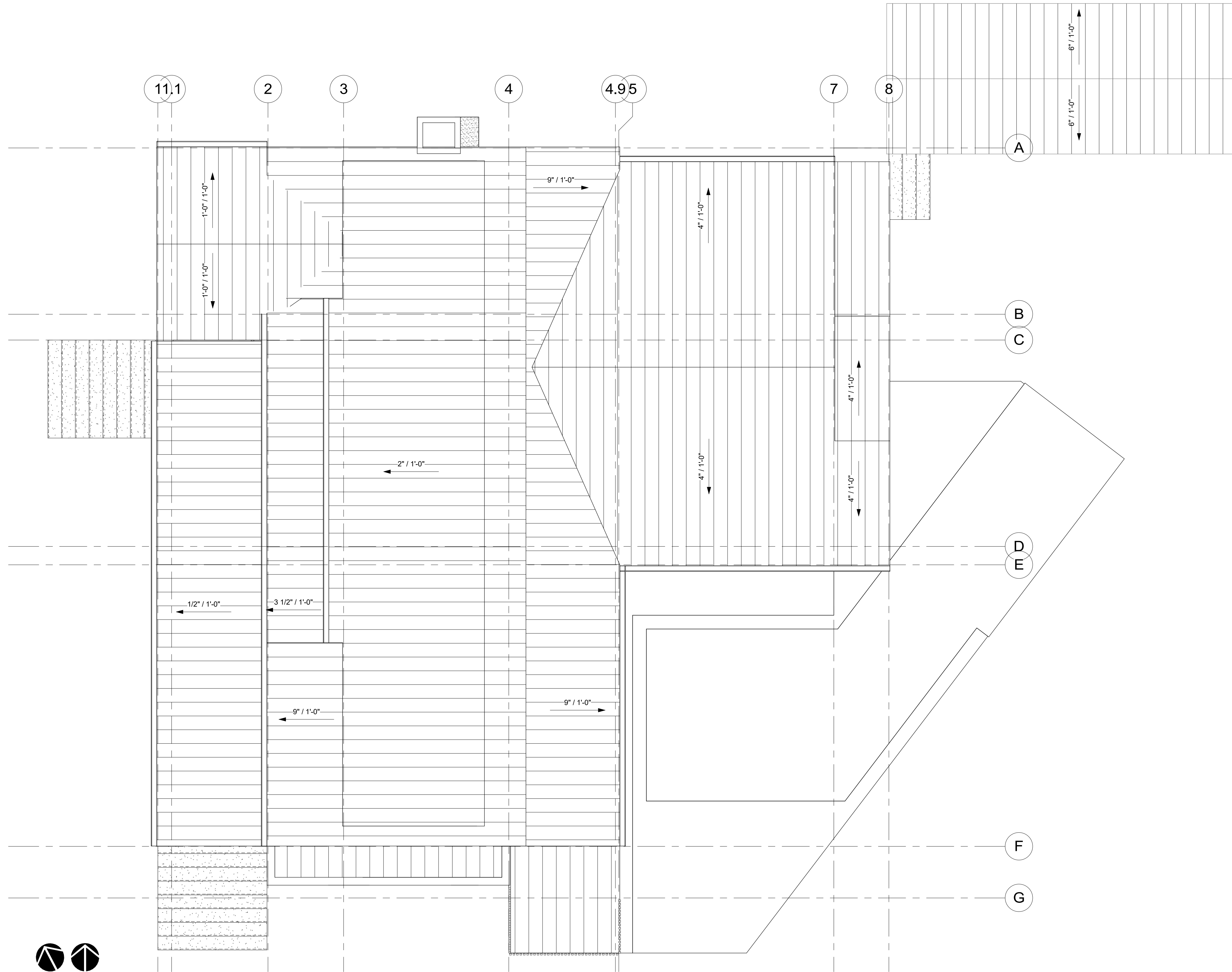
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LEVEL 2 PLAN

## A-104



1 ROOF PLAN  
1/4" = 1'-0"



L O G A N  
A R C H I T E C T U R E

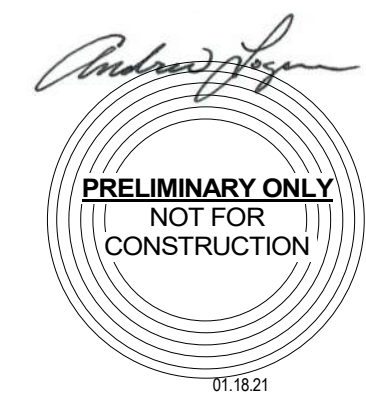
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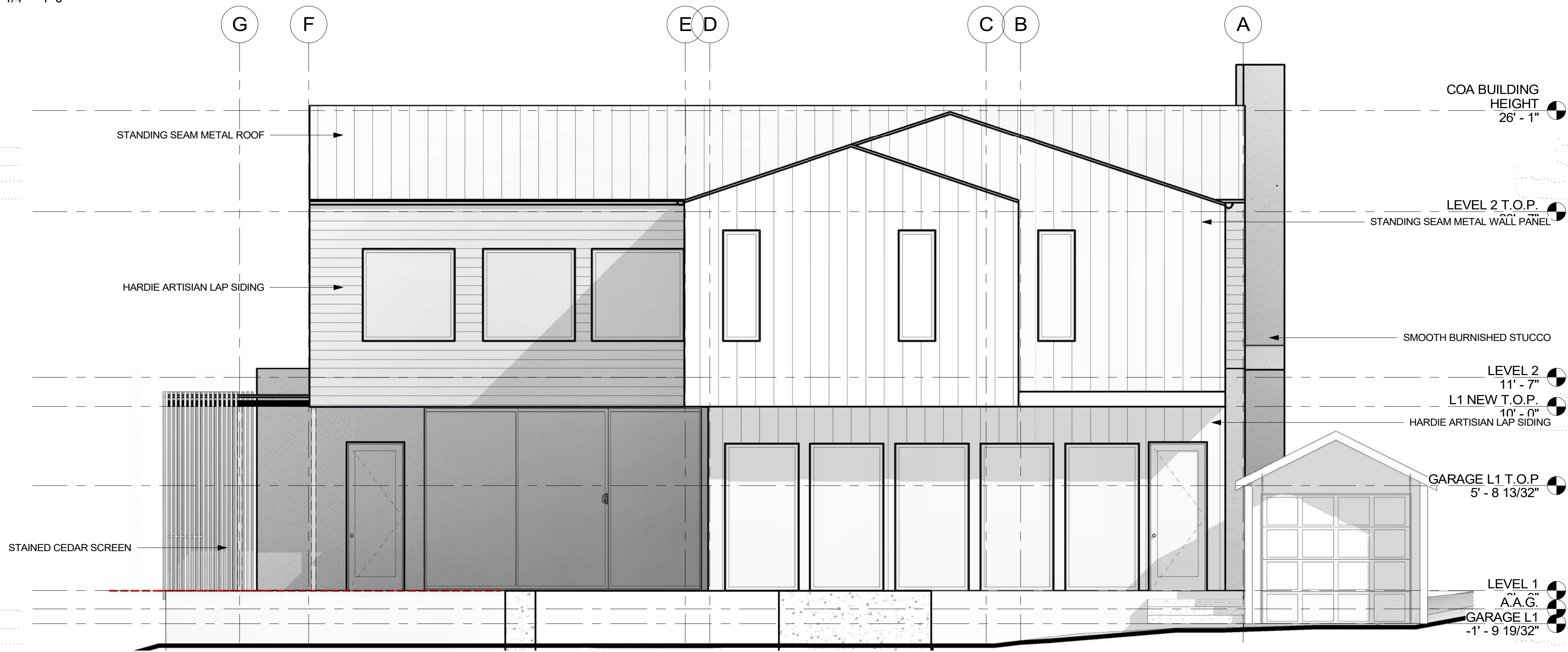
ROOF PLAN

## A-105

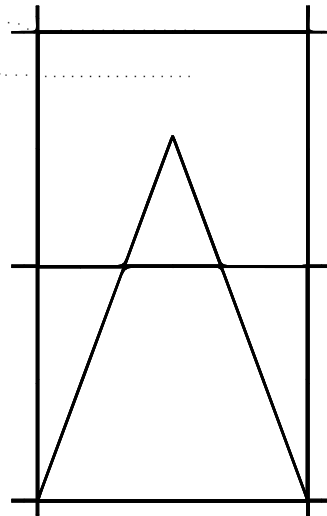




1 EXTERIOR ELEVATION\_WEST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION\_EAST  
1/4" = 1'-0"



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# MAUFRAIS COTTAGE

1007 MAUFRAIS  
AUSTIN, TX 78703

JUSTIN & SARAH THOMAS

No.	Description	Date

*Andrew Logan*

PRELIMINARY ONLY  
NOT FOR  
CONSTRUCTION

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EXTERIOR ELEVATIONS

## A-201

LOGAN ARCHITECTURE, PLLC

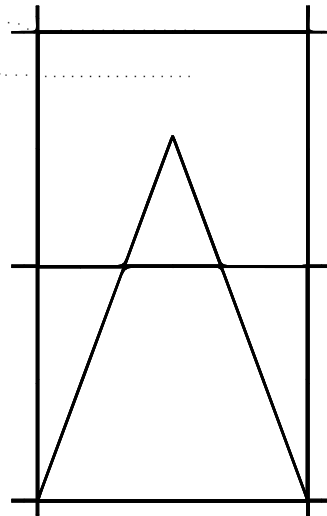




1 EXTERIOR ELEVATION\_NORTH  
1/4" = 1'-0"



2 EXTERIOR ELEVATION\_SOUTH  
1/4" = 1'-0"



L O G A N  
A R C H I T E C T U R E

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# MAUFRAIS COTTAGE

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*Justin Thomas*

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EXTERIOR ELEVATIONS

A-202





1 FRONT PERSPECTIVE 1

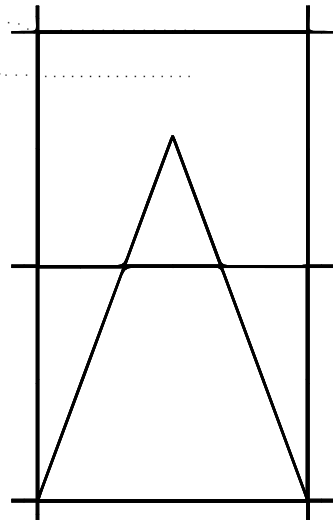


2 FRONT PERSPECTIVE 2



3 FRONT PERSPECTIVE 3

FULL SCALE IS 22X34 SHEET | HALF SCALE IS 11X17 SHEET



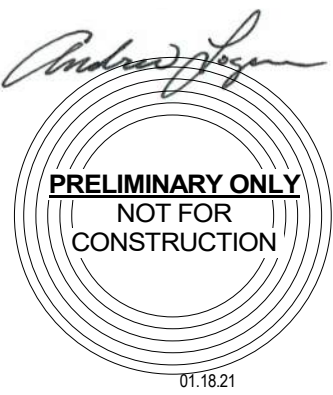
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# MAUFRAIS COTTAGE

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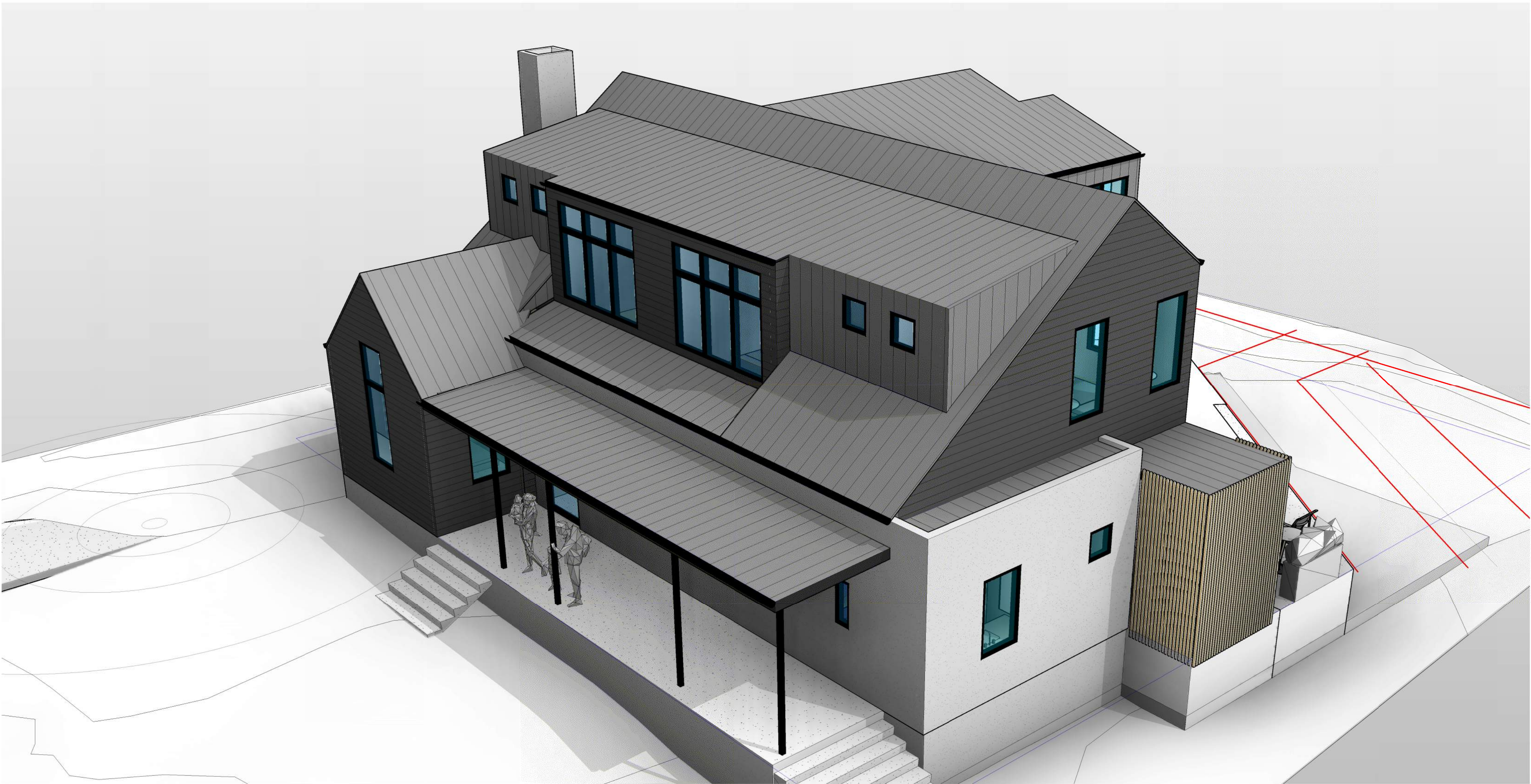
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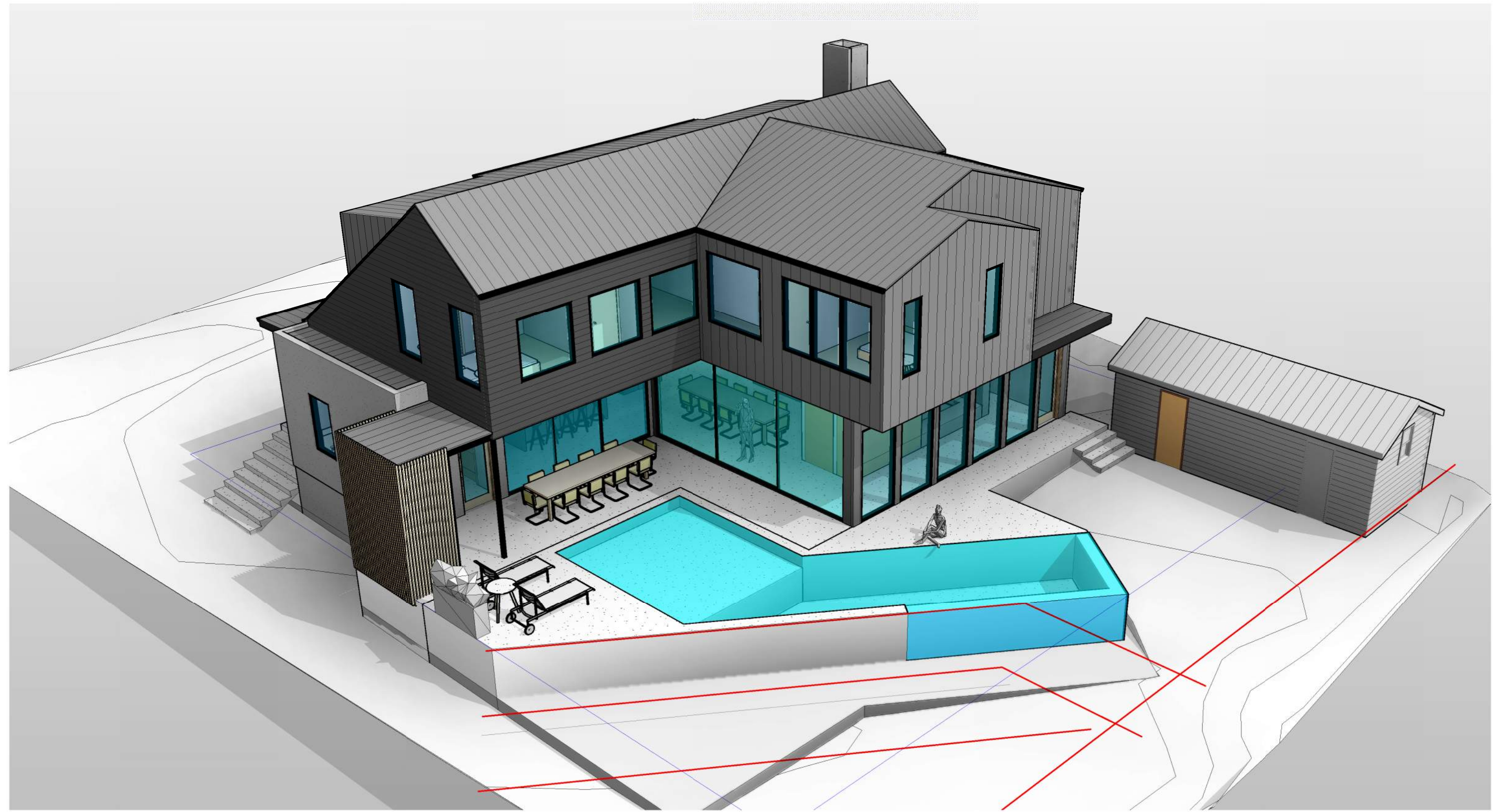
PERSPECTIVES

A-901





1 FRONT AERIAL



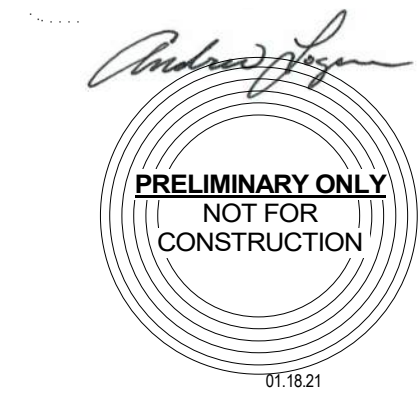
2 REAR AERIAL

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1007 MAUFRAIS  
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JUSTIN & SARAH THOMAS

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HISTORICAL REVIEW

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Date 01.18.21

AERIALS

## A-902