

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Norma Yancey. It is not to be used for regulatory approval, permitting, or construction purposes.

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Rymer Residence

3204 Beverly Rd
Austin, TX 78703

ARCHITECT: Norma Yancey, AIA
SIDETRACKED STUDIO, PLLC
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Austin, Texas 78702
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OWNER INFORMATION

Dane & Lauren Rymer
3204 Beverly Rd
Austin, TX 78703

LEGAL DESCRIPTION

LOT 12 * & N3FT OF LOT 11 BLK 1 BRYKERWOODS E

ZONING INFORMATION

SF-3-NP

NEIGHBORHOOD PLANNING AREA:
- WINDSOR ROAD
- Central West Austin Combined NPA

RESIDENTIAL DESIGN STANDARDS

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SQUARE FOOTAGE

LOT SIZE 8183 SF

FLOOR TO AREA RATIO:	EXIST.	NEW	EXEMPT	TOTAL
FIRST FLOOR CONDITIONED SPACE:	1624	309	0	1933
SECOND FLOOR CONDITIONED SPACE:	0	744	0	744
THIRD FLOOR CONDITIONED SPACE:	-	-	-	-
AREA W/ CEILINGS >15FT:	-	-	-	-
GROUND FLOOR PORCH:	0	249	249	0
BASEMENT:	-	-	-	-
ATTIC:	-	-	-	-
GARAGE:	238	0	200	38
CARPORT:	-	-	-	-
ACCESSORY BUILDINGS:	-	-	-	-
TOTAL:	1862	1302	449	2715

2,715 SF/ 8,183 SF = 33.18% < 40% FAR ALLOWED BY CODE

IMPERVIOUS COVER:	EXIST.	NEW	TOTAL
FIRST FLOOR CONDITIONED SPACE:	1624	309	1933
SECOND FLOOR CONDITIONED SPACE:	0	744	744
THIRD FLOOR CONDITIONED SPACE:	-	-	-
BASEMENT:	-	-	-
ATTACHED COVERED PARKING:	238	0	238
DETACHED COVERED PARKING:	-	-	-
COVERED WOOD DECKS (100%):	-	-	-
COVERED PATIO:	0	265	265
COVERED PORCH:	-	-	-
BALCONY:	-	-	-
OTHER:	-	-	-
TOTAL BUILDING AREA:	1862	1302	3164
TOTAL BUILDING COVERAGE:	1862	558	2420
DRIVEWAY:	462	0	462
SIDEWALKS & STEPS:	170	0	170
UNCOVERED PATIO:	49	112	161
UNCOVERED WOOD DECKS (50%):	205.5	0	205.5
AC PADS & CONC FLATWORK:	9	0	9
OTHER:	178	0	178
TOTAL:	2935.5	459	3395

3,395 SF/ 8,183 SF = 41.5% < 45% IMPERVIOUS COVERAGE ALLOWED BY CODE



1 FRONT PERSPECTIVE

Rymer Residence

3204 Beverly Rd
Austin, TX 78703

DATE	ISSUED FOR
04.15.21	FOR PERMIT
05.07.21	FOR PRICING
05.12.21	FOR PRICING

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PROJECT 0000

COVER SHEET

G1.0

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

GENERAL NOTES

1. THESE CONSTRUCTION DOCUMENTS CONSIST OF ALL DOCUMENTS LISTED ON SHEET G1.0 AND THE INFORMATION ENCLOSED WITHIN.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL COMPLETED WORK. CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE SUBJECT TO DAMAGE OR THEFT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF ADOPTED CODES, LOCAL AMENDMENTS/RULES, AND STATE REGULATIONS.
4. CONTRACTOR SHALL VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOB SITE. USE DIMENSIONS INDICATED. DO NOT SCALE DRAWINGS.
5. ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
6. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS, OR ACTUAL JOB CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORK AS INTENDED.
7. CONTRACTOR SHALL SUPPLY ALL NECESSARY LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK DESCRIBED HEREWITHIN.
8. PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA. FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 10 AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
9. CONTRACTOR SHALL COORDINATE MECHANICAL, PLUMBING, AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
10. ANY NECESSARY FIRE ALARM SYSTEM WORK SHALL BE PART OF THE GENERAL CONTRACTOR'S CONTRACT.
11. CONTRACTOR SHALL PERFORM ANY WORK WITHIN PUBLIC RIGHT-OF-WAY ACCORDING TO GOV. AGENCY REQUIREMENTS.
12. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS.

13. CONTRACTOR TO COORDINATE STAGING AREA LOCATION AND ACCESS ROUTE WITH OWNER IN PRECONSTRUCTION MEETING.
14. NO CHANGES IN CONSTRUCTION METHODS, MATERIALS, DETAILS, NOTES, AND SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE PLANS WILL BE ACCEPTABLE WITHOUT FIRST OBTAINING PERMISSION FROM THE OWNER.
15. THE PLANS, NOTES, AND DRAWINGS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED.
16. AT COMPLETION OF THE PROJECT, A CLOSE OUT PACKAGE IN THE FORM OF A HARD BINDER SHALL BE PRESENTED TO THE OWNER AND WILL INCLUDE COPIES OF PERMITS AND THE CERTIFICATE OF OCCUPANCY, A LIST OF SUB-CONTRACTORS AND PHONE NUMBERS, ALL WARRANTIES AND MANUALS, AND A LIST OF PAINT/STAIN COLORS AND FORMULAS.
17. GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. IF REQUESTED BY THE OWNER, THE GENERAL CONTRACTOR SHALL SUBMIT AN ITEMIZED BID PER THE DRAWING SET AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
18. ALL APPLICABLE TRADES SHALL SUBMIT SHOP DRAWINGS OF ALL MILLWORK AND/OR ANY RELEVANT PRODUCT LITERATURE/SPECIFICATIONS TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
19. GENERAL CONTRACTOR TO PROVIDE ALL SHOP DRAWINGS TO OWNER AND ARCHITECT FOR REVIEW IN A TIMELY FASHION SO AS TO NOT CREATE ANY DELAYS IN THE CONSTRUCTION SCHEDULE.
20. ALL NEW CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR AND INTERIOR AT THE COMPLETION OF THE PROJECT.
21. LAYOUT TILE PATTERNS PRIOR TO INSTALLATION FOR OWNER AND ARCHITECT APPROVAL.
22. SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, AND FIXTURES.
23. WHEREVER THE TERM "ARCHITECT" IS USED IN THE CONTRACT DOCUMENTS, IT REFERS TO SIDETRACKED STUDIO, PLLC.

24. WHERE THE TERMS "APPROVED EQUAL," "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE", OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE ARCHITECT.
25. EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE RULES AND REGULATIONS GOVERNING WORK ON THE PREMISES.
26. DATE AND TIME OF DELIVERY SHALL BE ESTABLISHED IN CONJUNCTION WITH THE PERSON HAVING JURISDICTION OVER PREMISES (OVERTIME CHARGES AND/OR ANY NECESSARY EXPENSES SHALL BE PAID BY CONTRACTOR REQUIRING SERVICES)
27. THE CONTRACTOR SHALL BE REQUIRED TO COORDINATE AND PROVIDE AND INCLUDE IN HIS PROPOSAL THE NECESSARY TEMPORARY FACILITIES WITHIN THE AREA OF CONSTRUCTION FOR EACH PHASE FOR THE STORAGE, STAGING, AND HOUSING OF HIS SUBCONTRACTORS MATERIAL, EQUIPMENT, AND EMPLOYEES, INCLUDING BUT NOT LIMITED TO STORAGE AND STAGING AREAS, TEMPORARY DOORS, AND POWER FOR THE GENERAL USE. CONTRACTOR TO MAKE ALL TEMPORARY CONNECTIONS TO EXISTING UTILITIES IN LOCATIONS ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION THERE OF AND PAY ALL COSTS FOR TEMPORARY ELECTRICAL POWER, WATER, AND HEATING.
28. THE CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS TO THE ARCHITECT FOR APPROVAL. ALL SHOP DRAWINGS AND CUTSHEETS SIGNED "APPROVED" SHALL SUPERSEDE ORIGINATING DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS.
29. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM LEAVING THE JOB SITE.
30. THE CONTRACTOR SHALL PROPERLY PROTECT THE OWNER'S WORK AND PROPERTY AND ANY ADJOINING PROPERTY FROM ANY DAMAGE CAUSED BY HIS WORK OR WORKMEN AND MUST BE MADE WITHOUT DELAY. PATCHING AND REPLACING OF DAMAGED WORK SHALL BE PAID FOR BY THE CONTRACTOR WHO IS RESPONSIBLE FOR THE DAMAGE.
31. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE CLIENT.
32. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS, BOTH FROM HIS OWN AND OTHER SUBCONTRACTORS EMPLOYEES.

33. THE USE OF WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED.
34. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- CHANGES IN WORK
35. THE OWNER WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT, EXCEPT THAT ANY CLAIM FOR EXTENSIONS OF TIME CAUSED THEREBY SHALL BE ADJUSTED AT THE TIME OF ORDERING SUCH CHANGE.
- CLAIMS FOR EXTRA COST
36. IF THE CONTRACTOR CLAIMS THAT ANY REVISION TO DRAWINGS INVOLVES EXTRA COST UNDER THIS CONTRACT, HE SHALL GIVE THE ARCHITECT WRITTEN NOTICE THEREOF WITHIN A REASONABLE TIME AFTER RECEIPT OF SUCH INSTRUCTION IN ANY EVENT, BEFORE PROCEEDING TO EXECUTE THE WORK AND THE PROCEDURE SHALL THEN BE AS PROVIDED FOR IN THE CHANGES IN WORK. NO SUCH CLAIMS SHALL BE VALID UNLESS SO MADE. UNLESS OTHERWISE AGREED, NO PAYMENT ON SUCH BILLS WILL BE MADE UNTIL FINAL SETTLEMENT.
37. ALL CLAIMS FOR ADDITIONAL WORK WILL BE SUBMITTED IN WRITING FOR REVIEW BY ARCHITECT & OWNER AND SHOULD INCLUDE A COMPLETE DESCRIPTION OF WORK BEING PERFORMED, MATERIALS BEING USED, THE CONSTRUCTION SPACE NUMBER OF THE AREA BEING WORKED IN, AND THE AUTHORIZATION UNDER WHICH THE WORK IS BEING PERFORMED. THE CONTRACTOR AGREES TO PAY ALL TRANSPORTATION CHARGES ON ALL HIS MATERIAL OR EQUIPMENT TO THE POINT OF USE.
38. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, OSHA, AND THE BEST TRADE PRACTICES.
39. THE GENERAL CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

ABBREVIATIONS

AD	AREA DRAIN
ADD	ADDENDUM
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDELING UNIT
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CNU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
CTR	CENTER
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIFF	DIFFUSER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DS	DOWNSPOUT
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
EQ	EQUAL
EX	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FAB	FABRICATE
FD	FLOOR DRAIN
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FL	FLOOR
FT	FEET/FOOT
FURN	FURNISH
FURR	FURRING
G	GAS
GA	GAUGE
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPT
GYP	GYP SUM WALL BOARD
HB	HOUSE BIBB
HDR	HEADER
HDWR	HARDWARE
IN	INCHES/INCH
INSUL	INSULATION
INT	INTERIOR
KD	KILN-DRIED
LAM	LAMINATED
LB	POUND
LL	LIVE LOAD
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM

MISC	MISCELLANEOUS
MTL	METAL
MUL	MULLION
MTD	MOUNTED
NO/#	NUMBER
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE/PROPERTY LINE
PLYWD	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE-TREATED
RCP	REFLECTED CEILING PLAN
RECEPT	RECEPTACLE
RECT	RECTANGLE
REF	REFERENCE/REFRIGERATOR
REINF	REINFORCED
REQ'D	REQUIRED
RET	RETURN
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
SCHED	SCHEDULED
SECT	SECTION
SF	SQUARE FEET/FOOT
SHWR	SHOWER
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURE/STRUCTURAL
T	TEMPERED
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TEMP	TEMPERED/TEMPORARY
TOW	TOP OF WALL
TYP	TYPICAL
UC	UNDER-COUNTER
UNO	UNLESS NOTED OTHERWISE
UP	UTILITY POLE
UTIL	UTILITY
VERT	VERTICAL
VIF	VERIFY IN FIELD
WH	WATER HEATER
WP	WATERPROOF

GENERAL CONDITIONS

1. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
2. THE CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
3. THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT ALL REQUIREMENTS IMPLIED BY THE NOTES, DRAWINGS, AND FIELD CONDITIONS HAVE BEEN THOROUGHLY EXAMINED, INVESTIGATED, AND HAVE BEEN ACCOUNTED FOR IN THE PROPOSAL. ANY AND ALL LATER CLAIMS FOR LABOR, EQUIPMENT, AND MATERIALS OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH EXAMINATIONS BEEN MADE WILL NOT BE RECOGNIZED.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES AND/OR ALL WORK ILLUSTRATED OR IMPLIED BY THE NOTES AND DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS. EACH ITEM THAT THE CONTRACTOR WILL BE ABLE TO COMPLY WITH OR THAT IS EXCLUDED FROM THE CONTRACT FOR CONSTRUCTION SHALL BE SPECIFICALLY OUTLINED IN THEIR PROPOSAL FOR WORK OR ALL LATER CLAIMS FOR ADDITIONAL LABOR AND MATERIALS WILL NOT BE RECOGNIZED.
5. THE CONTRACTOR, HIS SUBCONTRACTORS, AND ANY OTHER CONTRACTOR INVOLVED IN HIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFORE.

PROJECT INFORMATION

INVOLVED PARTIES:
IN THESE DOCUMENTS, "PROJECT" OR "WORK" SHALL REFER TO THE SCOPE OF WORK HEREIN DESCRIBED. "OWNER" SHALL REFER TO DANE & LAUREN RYMER OR THEIR AUTHORIZED REPRESENTATIVES; "CONTRACTOR" OR "GENERAL CONTRACTOR" SHALL REFER TO THE COMPANY OR INDIVIDUAL THAT ENTERS INTO CONTRACTUAL AGREEMENT WITH OWNER TO PERFORM THE SCOPE OF WORK HEREIN DESCRIBED; AND "ARCHITECT" SHALL REFER TO SIDETRACKED STUDIO, PLLC.

LICENSE OF USE/COPYRIGHT NOTICE:
ABSENT A WRITTEN AGREEMENT TO THE CONTRARY, AND STRICTLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALLS UMS DUE TO THE ARCHITECT BY THE OWNER UNDER THIS AGREEMENT, UPON THE ARCHITECT'S DELIVERY OF SEALED CONSTRUCTION DRAWINGS TO THE OWNER, THE ARCHITECT GRANTS THE OWNER A NONTRANSFERABLE, NONEXCLUSIVE RIGHT TO CONSTRUCT THE BUILDING DEPICTED IN THE PLANS ONCE AND ONLY ONCE, AND ONLY ON THE SITE IDENTIFIED BY THE PLANS.

BUILDING CODES:
2015 INTERNATIONAL RESIDENTIAL CODE
2015 NATIONAL ELECTRICAL CODE
2015 UNIFORM PLUMBING CODE
2015 INTERNATIONAL FIRE CODE
2015 UNIFORM MECHANICAL CODE

USE:
SINGLE FAMILY RESIDENTIAL

DATE	ISSUED FOR
04.15.21	FOR PERMIT
05.07.21	FOR PRICING
05.12.21	FOR PRICING

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Norma Yancey, AIA

PROJECT 0000

PROJECT INFORMATION
AND GENERAL NOTES

FINISH SCHEDULE		
MATERIAL	SPECIFICATION	LOCATION
BASE 01	SIZE: 1X4	THROUGHOUT
	PROFILE:	
CEILING 01	MANUF.:	FRONT PORCH
	MATERIAL: YELLOW PINE; TONGUE & GROOVE	
	SIZE: 5 1/2" BOARD WIDTH	
	FINISH: PAINTED	
COUNTERTOP 01	COLOR:	KITCHEN
	MANUF.:	
	MATERIAL: QUARTZ	
	SIZE:	
COUNTERTOP 02	FINISH:	VANITY
	COLOR:	
	MANUF.:	
	MATERIAL: QUARTZ	
COUNTERTOP 03	SIZE:	MUDROOM
	FINISH:	
	COLOR:	
	MANUF.:	
COUNTERTOP 04	MATERIAL:	M. BATH
	SIZE:	
	FINISH:	
	COLOR:	
CROWN 01	SIZE: 1X4	THROUGHOUT
	PROFILE:	
FLOORING 01	MANUF.:	THROUGHOUT
	MATERIAL: MATCH EXISTING	
	SIZE: MATCH EXISTING	
	FINISH:	
MILLWORK 01	COLOR:	KITCHEN
	MANUF.:	
	MATERIAL:	
	STYLE: SHAKER FULL OVERLAY	
MILLWORK 02	FINISH: PAINT-GRADE	VANITY
	COLOR:	
	MANUF.:	
	MATERIAL:	
MILLWORK 03	STYLE: SHAKER FULL OVERLAY	MUDROOM
	FINISH: PAINT-GRADE	
	COLOR:	
	MANUF.:	
MILLWORK 04	MATERIAL:	M. BATH
	STYLE: SHAKER FULL OVERLAY	
	FINISH: PAINT-GRADE	
	COLOR:	

MATERIAL	SPECIFICATION	LOCATION
ROOFING 01	MANUF.:	ROOF
	MATERIAL: STANDING SEAM METAL	
	STYLE:	
	FINISH:	
SIDING 01	COLOR: LEAD-COTE	EXTERIOR
	MANUF.: JAMES HARDIE	
	MATERIAL:	
	SIZE: 6 1/4" BOARD W/ 5" EXPOSURE	
STONE 01	FINISH:	EXTERIOR
	COLOR: TBD	
	MANUF.:	
	MATERIAL: MATCH EXISTING	
TILE 01	SIZE:	KITCHEN BACKSPLASH
	GROUT:	
	COLOR:	
	MANUF.:	
TILE 02	MATERIAL:	POWDER FLOOR
	SIZE:	
	GROUT:	
	COLOR:	
TILE 03	MANUF.:	POWDER WALL
	MATERIAL:	
	SIZE:	
	GROUT:	
TILE 04	COLOR:	VANITY FLOOR, BATH FLOOR
	MANUF.:	
	MATERIAL:	
	SIZE:	
TILE 05	GROUT:	BATH WALL
	COLOR:	
	MANUF.:	
	MATERIAL:	
TILE 06	SIZE:	MUDROOM FLOOR
	GROUT:	
	COLOR:	
	MANUF.:	
TILE 07	MATERIAL:	MUDROOM WALL
	SIZE:	
	GROUT:	
	COLOR:	
TILE 08	MANUF.:	M. BATH FLOOR
	MATERIAL:	
	SIZE:	
	GROUT:	
TILE 09	COLOR:	M. BATH WALL
	MANUF.:	
	MATERIAL:	
	SIZE:	
TILE 10	GROUT:	FRONT PORCH
	COLOR:	
	MANUF.:	
	MATERIAL:	

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	THICKNESS	COMMENTS
1	3' - 0"	6' - 8"	0' - 1 3/8"	EXTERIOR; FULL LITES 2X3; SIMPSON 37106
2	5' - 4"	6' - 8"	0' - 1 3/8"	EXTERIOR, DOUBLE, FULL LITES 2X3; SIMPSON 37106
3	4' - 0"	6' - 8"	0' - 1 3/8"	EXTERIOR, DOUBLE, FIBERGLASS SLAB
4	2' - 8"	6' - 8"	0' - 1 3/8"	EXTERIOR, FIBERGLASS SLAB
5	8' - 3"	6' - 8"	0' - 1 1/2"	GARAGE DOOR; INULSATED - LIFT MASTER
6	2' - 8"	6' - 8"	0' - 1 3/8"	W/ WEATHER-STRIPPING
7	2' - 8"	6' - 8"	0' - 1 3/8"	POCKET
8	2' - 8"	6' - 8"	0' - 1 3/8"	
9	2' - 8"	6' - 8"	0' - 1 3/8"	
10	2' - 0"	6' - 8"	0' - 1 3/8"	
11	2' - 6"	6' - 8"	0' - 1 3/8"	
12	2' - 8"	6' - 8"	0' - 1 3/8"	POCKET
13	2' - 8"	6' - 8"	0' - 1 3/8"	
14	2' - 0"	6' - 8"	0' - 1 3/8"	
15	2' - 0"	6' - 8"	0' - 1 3/8"	
16	2' - 0"	6' - 8"	0' - 1 3/8"	
17	2' - 0"	6' - 8"	0' - 1 3/8"	
18	2' - 8"	6' - 8"	0' - 1 3/8"	
19	4' - 0"	6' - 8"	0' - 1 3/8"	DOUBLE
20	4' - 0"	6' - 8"	0' - 1 3/8"	DOUBLE
21	4' - 0"	6' - 8"	0' - 1 3/8"	DOUBLE
22	2' - 8"	6' - 8"	0' - 1 3/8"	
23	2' - 8"	6' - 8"	0' - 1 3/8"	
24	2' - 8"	6' - 8"	0' - 1 3/8"	
25	2' - 6"	6' - 8"	0' - 1 3/8"	POCKET
26	2' - 6"	6' - 8"	0' - 1 3/8"	POCKET
27	2' - 6"	6' - 8"	0' - 1 3/8"	

1. ALL EXISTING INTERIOR DOORS TO BE REPLACED WITH NEW TRUSTILE MDF SOLID CORE 2-PANEL DOORS.
2. CONTRACTOR TO SALVAGE AND STORE ALL EXISTING INTERIOR DOORS FOR POSSIBLE RE-USE.
3. EXTERIOR DOORS TO BE AS NOTED ABOVE IN THE SCHEDULE.

WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	OPERATION	COMMENTS
A	3' - 10"	5' - 1"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE
B	2' - 9 1/2"	4' - 11 3/4"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE
C	2' - 9 1/2"	2' - 11 3/4"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE
D	2' - 1 1/2"	2' - 11 3/4"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE
F	2' - 6"	6' - 8"	FIXED	2X3
G	2' - 11 1/2"	3' - 11 3/4"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE
H	4' - 0"	2' - 7"	FIXED	2X1 DIVIDED LITE
J	2' - 1 1/2"	4' - 11 3/4"	DOUBLE HUNG	2X1 UPPER PANE, 2X1 LOWER PANE

1. ALL NEW WINDOWS WILL BE MARVIN ELEVATE SERIES FIBERGLASS CLAD WOOD.
- CONTRACTOR TO PROVIDE PRICING FOR ALTERNATIVE OPTIONS FOR OWNER AND ARCHITECT REVIEW.

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repairs, general contractor shall
visit the site, inspect all existing
conditions, and report any
discrepancies to the architect.

Rymer Resdience

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SCHEDULES

G3.0













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SYMBOL LEGEND

	GROUND FAULT INTERRUPT DUPLEX OUTLET		SINGLE LIGHT SWITCH
	SINGLE DUPLEX OUTLET		THREE-WAY LIGHT SWITCH
	APPLIANCE OUTLET		DIMMER SWITCH
	EXISTING OUTLET TO REMAIN		JAMB SWITCH
	FLOOR OUTLET		
	SMOKE DETECTOR		
	WALL JACK		
	DATA		

LIGHTING SCHEDULE								
SYMBOL	NO.	FIXTURE TYPE	ROOM	MANUF.	UNIT NO.	LAMP	FINISH	REMARKS
	L1	4" RECESSED CAN		NORA LIGHTING		LED	WHITE	DIMMABLE
	L1A	4" RECESSED CAN, WET RATED		NORA LIGHTING		LED	WHITE	DIMMABLE
	L2	4" RECESSED CAN, WALL WASH		NORA LIGHTING		LED	WHITE	DIMMABLE
	L2A	4" RECESSED CAN, WALL WASH, WET RATED		NORA LIGHTING		LED	WHITE	DIMMABLE
	L3	WALL SCONCE; GAS	EXTERIOR					EXTERIOR; DIMMABLE
	L4	CHANDELIER	LIVING					DIMMABLE
	L5	CHANDELIER	KITCHEN					DIMMABLE
	L6	PENDANT	KITCHEN					DIMMABLE
	L7	CHANDELIER	DEN					DIMMABLE
	L8	UNDER-SHELF LINEAR FIXTURE	KITCHEN					DIMMABLE
	L9	CEILING MOUNT	MUDROOM					
	L10	WALL SCONCE	EXTERIOR					EXTERIOR; DIMMABLE
	L11	CEILING MOUNT	STORAGE					
	L12	WALL SCONCE	STAIR					DIMMABLE
	L13	WALL SCONCE	POWDER					
	L14	CEILING MOUNT	CLO. 1 & 2					
	L15	WALL SCONCE	BATH					
	L16	CEILING MOUNT	STAIR					
	L17	CHANDELIER	SITTING					DIMMABLE
	L18	CEILING MOUNT	M. CLO.					
	L19	WALL SCONCE	M. BATH					
	L20	WALL SCONCE	M. BATH					WET-RATED; DIMMABLE
	L21	PENDANT	HALL					DIMMABLE
	L22	36" LED LINEAR LIGHT	GARAGE					WET-RATED
	F1	CEILING FAN						
	F2	RECESSED FAN	PANASONIC		FV-11VH2		WHITE	W/ INTEGRAL HEATER

APPLIANCE SCHEDULE						
TAG	LOCATION	DESCRIPTION	MANUF.	UNIT NO.	FINISH	REMARKS
	KITCHEN	36" REFRIGERATOR				COUNTER-DEPTH
	KITCHEN	36" RANGE				
	KITCHEN	36" RANGE HOOD				BUILT-IN
	KITCHEN	DISHWASHER				
	KITCHEN	MICROWAVE				
	MUDROOM	WASHER				STACKABLE
	MUDROOM	DRYER				STACKABLE
	BACK DECK	BBQ GRILL				

PLUMBING SCHEDULE									
TAG	LOCATION	DESCRIPTION	FIXTURES			REMARKS	ACCESSORIES		
			MANUF.	UNIT NO.	FINISH		MANUF.	UNIT NO.	FINISH
	KITCHEN	SINGLE-BOWL UNDERMOUNT SINK				W/ INTEGRAL DRAIN BOARD			
	POWDER	PEDESTAL SINK							
	POWDER, BATH, M. BATH	TOILET							
	POWDER	SHOWER							
	VANITY	UNDERMOUNT SINK							
	BATH	SHOWER							
	MUDROOM	UNDERMOUNT SINK			STAINLESS				
	M. BATH	UNDERMOUNT SINK							
	M. BATH	FREESTANDING TUB							
	M. BATH	SHOWER							
	M. BATH	RAIN SHOWER							
	GARAGE	TANKLESS WATER HEATER							

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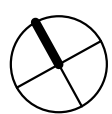
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D1.0

1. CONTRACTOR TO COVER & PROTECT ALL EX. WOOD FLOORS TO REMAIN.

 EXISTING WALL TO REMAIN
 NEW FRAMED WALL
 BOARD-FORMED CONCRETE
 WALL TO BE DEMOLISHED



1 DEMOLITION PLAN

FOR PRELIMINARY PRICING; SCOPE AND DESIGN SUBJECT TO CHANGE

BUILDING CALCULATIONS	
LOWEST ADJ. GRADE: 96' - 0"	
HIGHEST ADJ. GRADE: 98' - 7 3/4"	
REF: 2/A0.0	
AVG. ADJ. GRADE:	97' - 3 7/8"
BUILDING HEIGHT:	25' - 10"
REF: 1/A2.1	
BUILDING TENT 1 HIGH PT:	98' - 11 7/8"
BUILDING TENT 2 HIGH PT:	96' - 11 5/8"
BUILDING TENT 3 HIGH PT:	96' - 0 3/4"
REF: 2/A0.0	

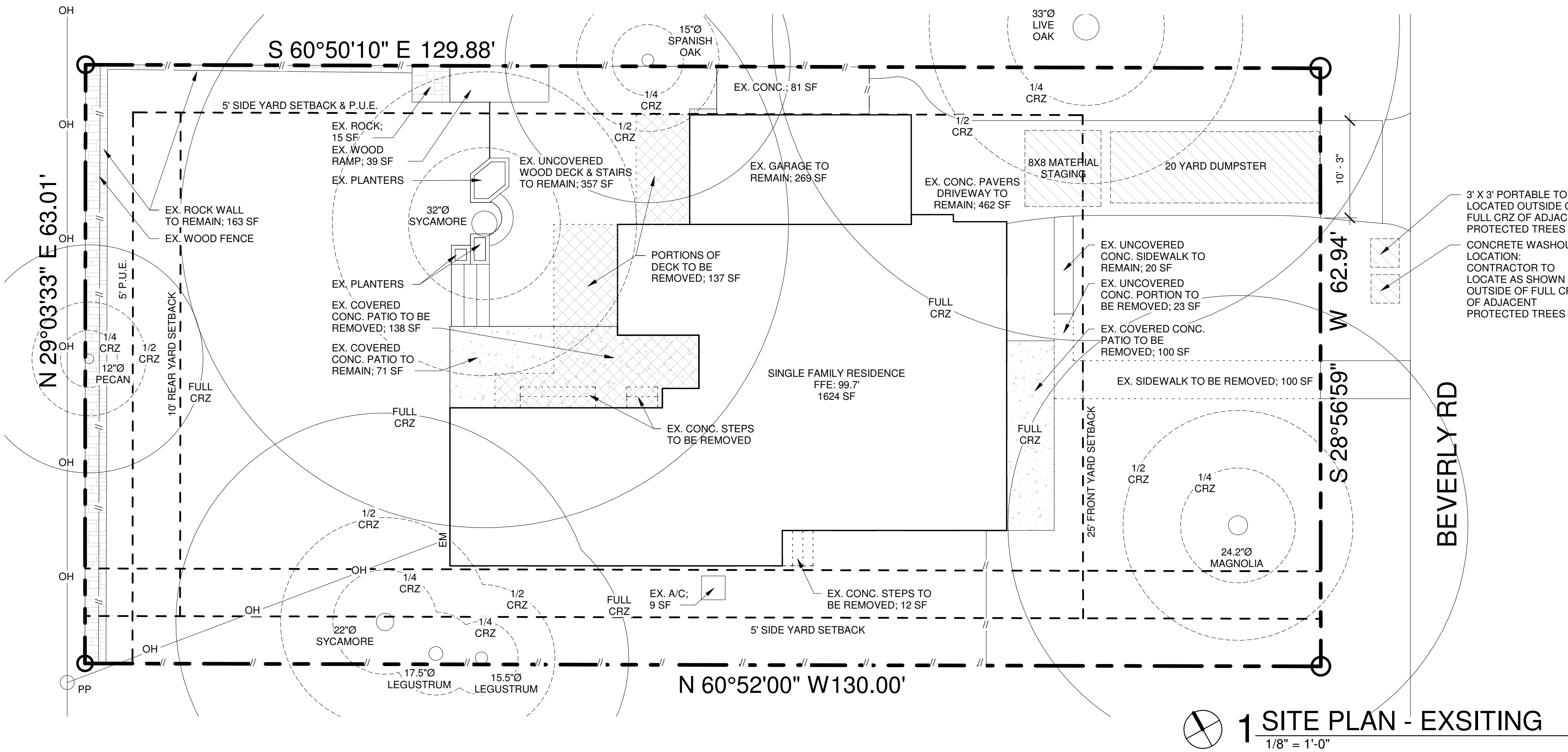
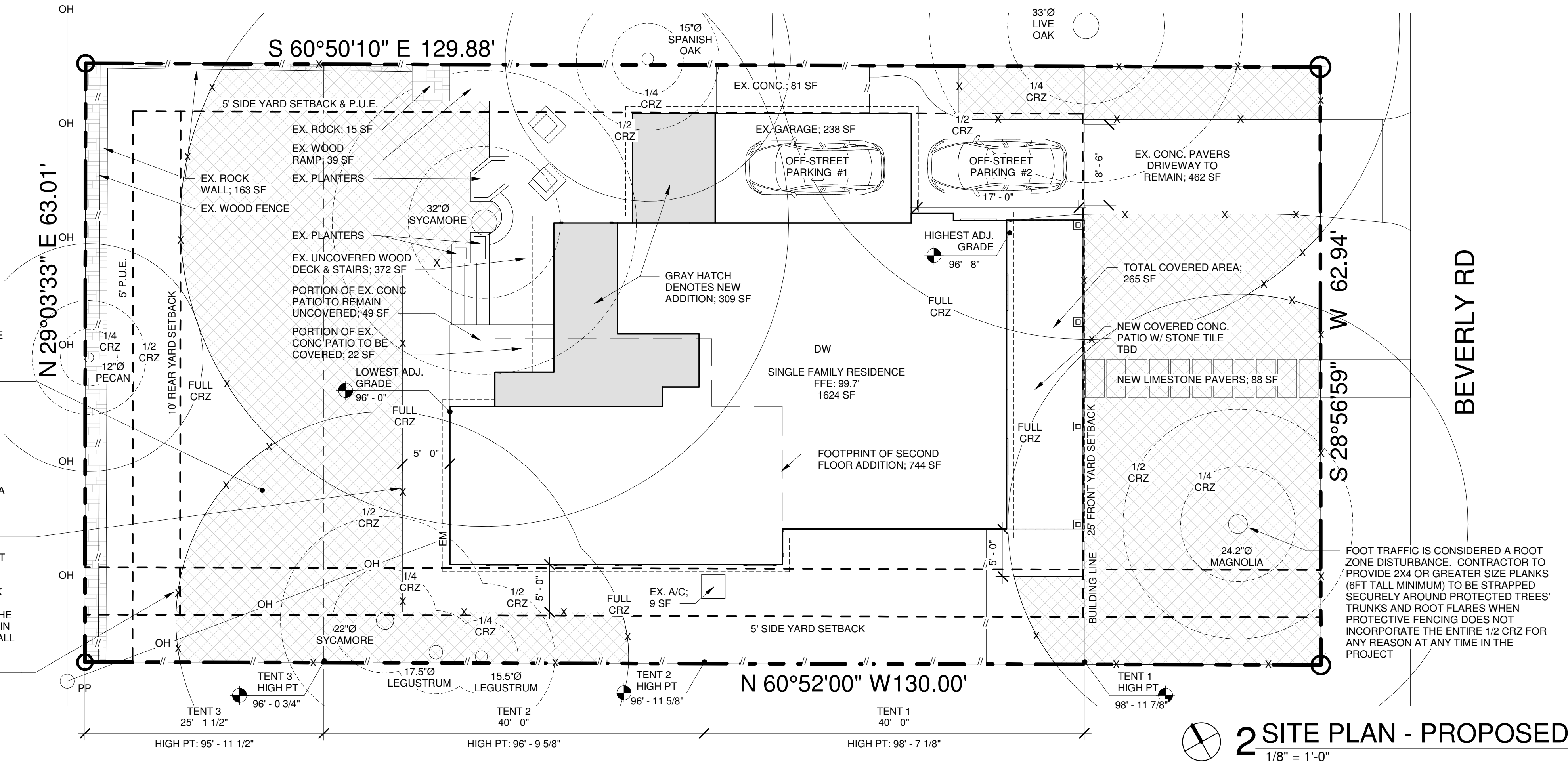
ALL EXPOSED AREAS OF ROOT ZONE BETWEEN THE FENCE AND CONSTRUCTION MUST RECEIVE EIGHT INCHES OF SHREDDED HARDWOOD MULCH TO LIMIT ROOT/SOIL COMPACTION. IF ANY EXPOSED ROOTS ARE WITHIN THE ACCESS/PATHWAY, A BRIDGING SYSTEM (2X4 AND 3/4" PLYWOOD) WILL BE REQUIRED TO BE PLACED ON TOP SO THAT THEY ARE NOT IMPACTED. MULCH DENOTED BY CROSS HATCH PATTERN

TREE FENCE MAY BE OFFSET FROM THE PROPOSED CONSTRUCTION A MAX OF 5FT TO PROVIDE ROOM FOR ACCESS/WORK ONCE THE EXTERIOR WALLS ARE CONSTRUCTED. ALL EXPOSED AREAS OF ROOT ZONE BETWEEN THE FENCE AND CONSTRUCTION MUST RECEIVE EIGHT INCHES OF SHREDDED HARDWOOD MULCH TO LIMIT ROOT/SOIL COMPACTION. IF ANY EXPOSED ROOTS ARE WITHIN THE ACCESS/PATHWAY, A BRIDGING SYSTEM (2X4 AND 3/4" PLYWOOD) WILL BE REQUIRED TO BE PLACED ON TOP SO THAT THEY ARE NOT IMPACTED. MULCH DENOTED BY CROSS HATCH PATTERN

-X- DENOTES TREE PROTECTION FENCING TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA OR AS MUCH AS OF THE CRZ AS IS PRACTICAL WITHIN THE LIMITS OF CONSTRUCTION. FENCING TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN EIGHT INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE. MULCH DENOTED BY CROSS HATCH PATTERN.

SITE NOTES & TREE PROTECTION

1. CONTRACTOR TO ASSURE THAT THE ROOT ZONES OF ALL TREES ARE ADEQUATELY PRESERVED, TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES WITHIN THE LIMITS OF CONSTRUCTION.
2. CONTRACTOR TO PROVIDE TREE PROTECTION FENCING FOR ALL PROTECTED TREES ON SITE. TREE PROTECTION FENCING MUST PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA AS MUCH OF THE CRZ AS IS PRACTICAL. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN EIGHT-INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WITH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
3. FOOT TRAFFIC IS CONSIDERED A ROOT ZONE DISTURBANCE. CONTRACTOR TO PROVIDE 2X4 OR GREATER PLANKS (6FT TALL MINIMUM) TO BE STRAPPED SECURELY AROUND PROTECTED TREE TRUNKS AND ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
4. ANY DEMOLITION IN THE 1/4 AND 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES ON OR ADJACENT TO THE SITE MUST BE DONE WITH HAND TOOLS TO AVOID DAMAGING ROOTS OF TREES.
5. ALL UTILITY TRENCHING WITHIN THE 1/2 CRZ MUST BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5"+ IN DIAMETER. ALL PAID RECEIPTS FOR THIS WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
6. CONTRACTOR TO WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND NEAR ROOTS OF TREES DURING CONCRETE WORK.
7. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, CONTRACTOR TO PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED CONTRACTOR TO SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.



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SITE PLAN

A0.0

FOR PRELIMINARY PRICING; SCOPE AND DESIGN SUBJECT TO CHANGE

PLAN NOTES

1. GARAGE WALLS TO BE REBUILT AS NEEDED; TO BE INSULATED WITH OPEN CELL FOAM; AND FINISHED WITH 5/8" TYPE X GYPSUM.

2. GARAGE CEILINGS TO BE INSULATED WITH 6" OF OPEN CELL FOAM AND FINISHED WITH 5/8" TYPE X GYPSUM..

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW FRAMED WALL
	BOARD-FORMED CONCRETE
	WALL TO BE DEMOLISHED

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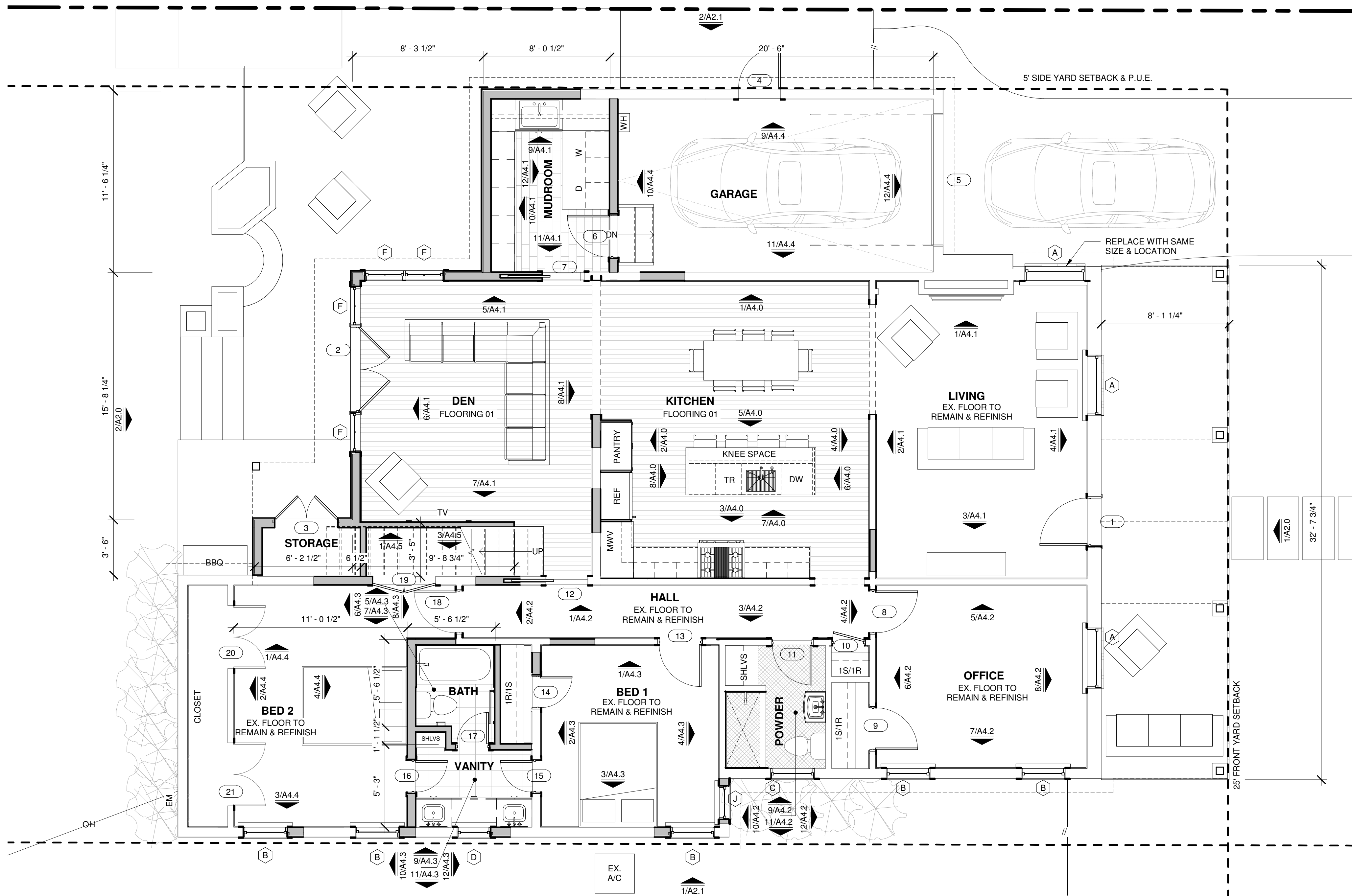
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FIRST FLOOR PLAN

1 FIRST FLOOR
1/4" = 1'-0"

A1.0

FOR PRELIMINARY PRICING; SCOPE AND DESIGN SUBJECT TO CHANGE

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW FRAMED WALL
	BOARD-FORMED CONCRETE
	WALL TO BE DEMOLISHED

Sidetracked Studio

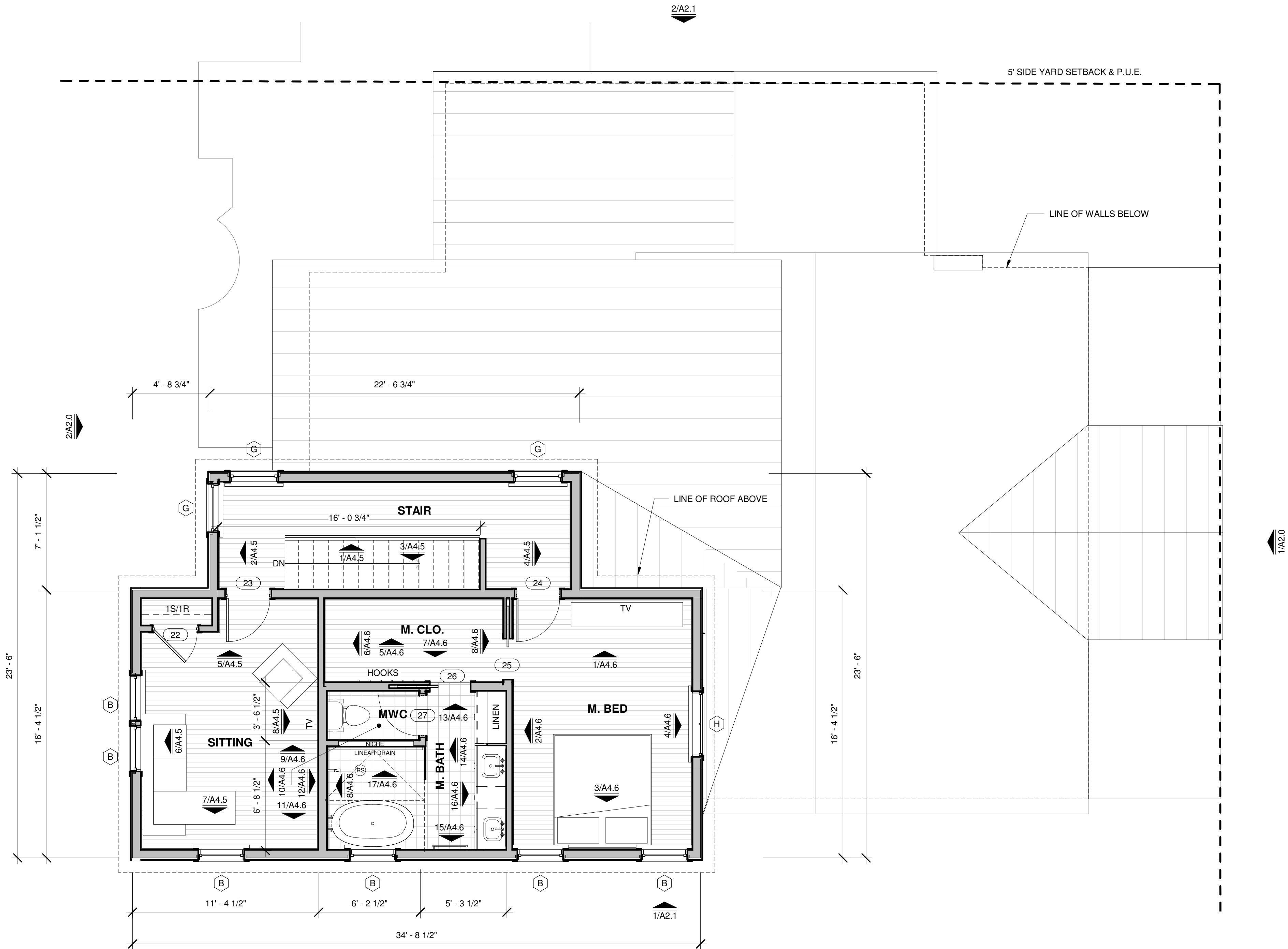
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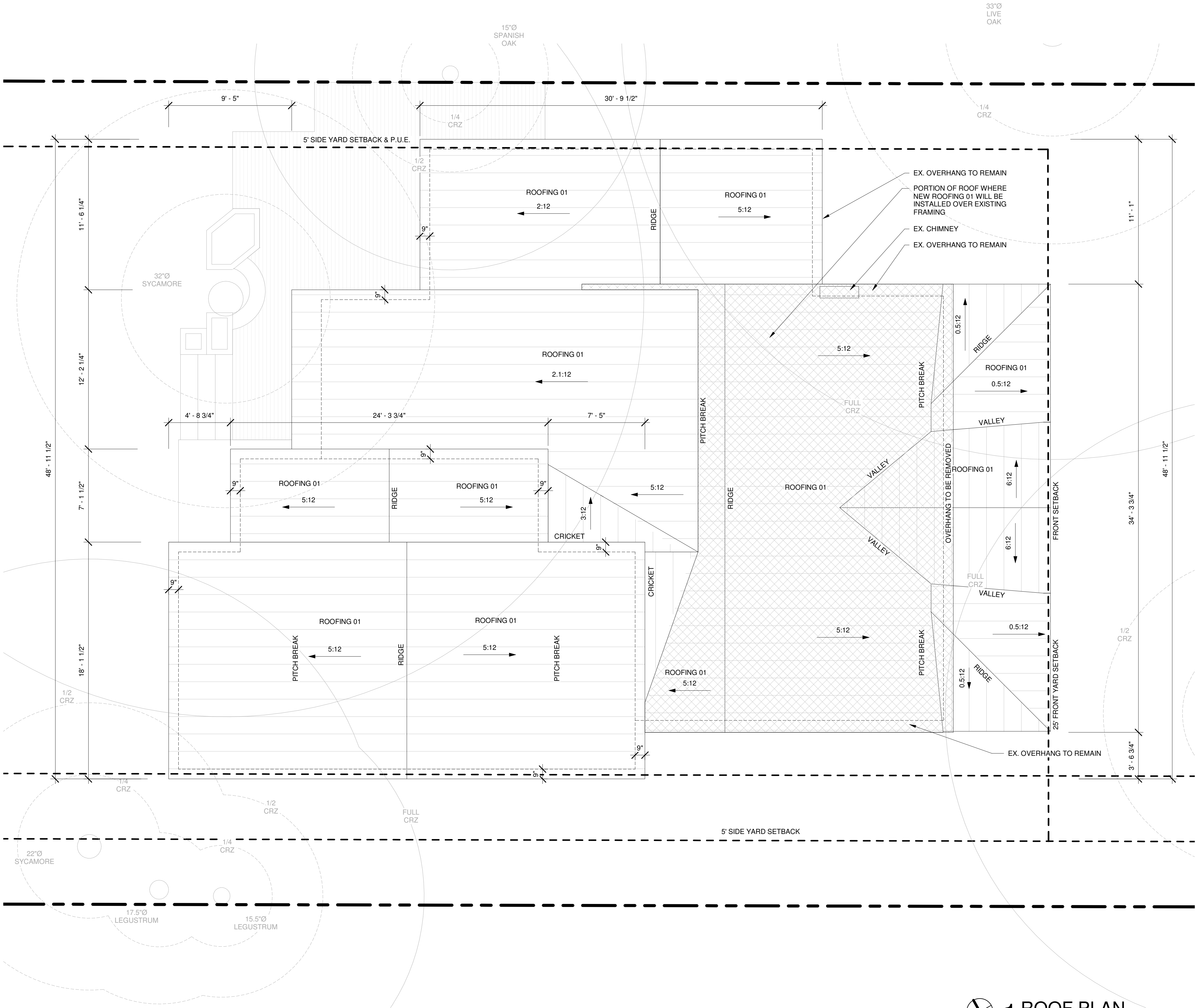
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SECOND FLOOR PLAN

1 SECOND FLOOR
1/4" = 1'-0"

A1.1

FOR PRELIMINARY PRICING; SCOPE AND DESIGN SUBJECT TO CHANGE



 **1 ROOF PLAN**
1/4" = 1'-0"

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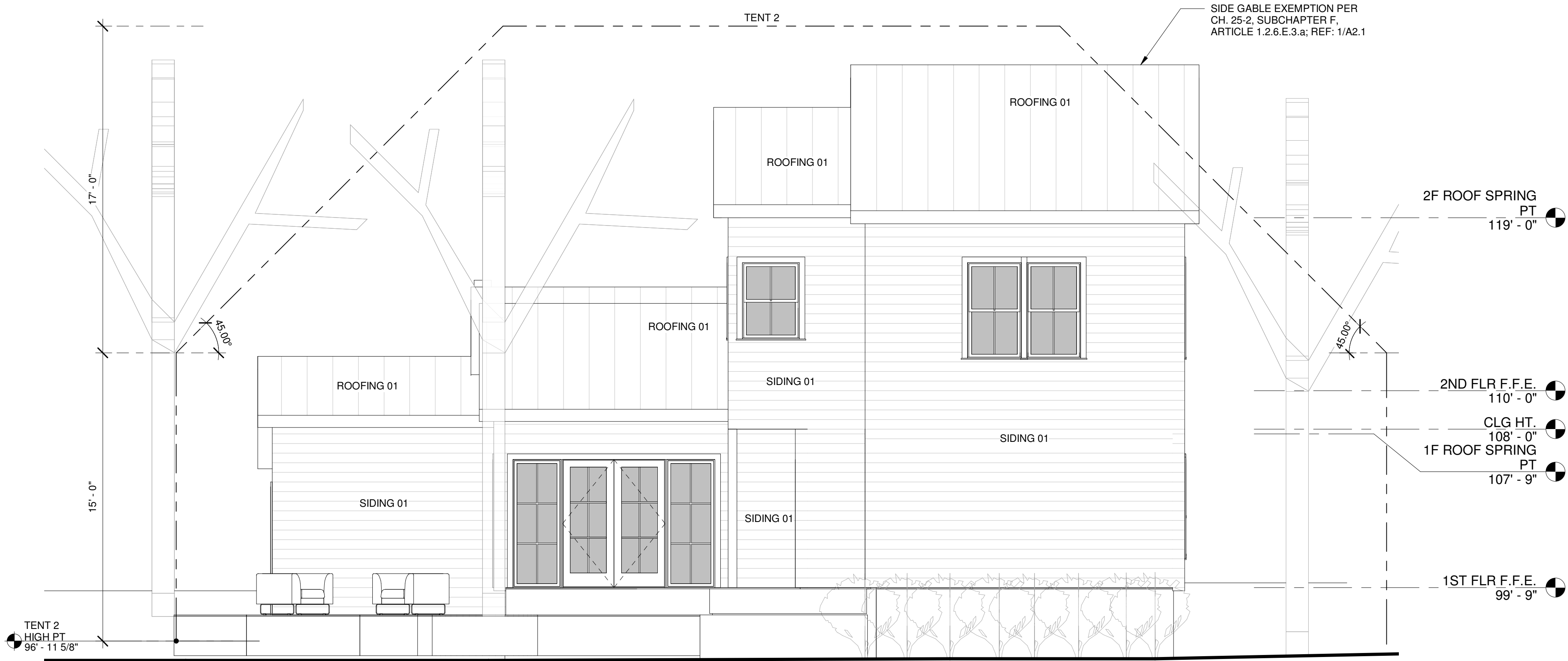
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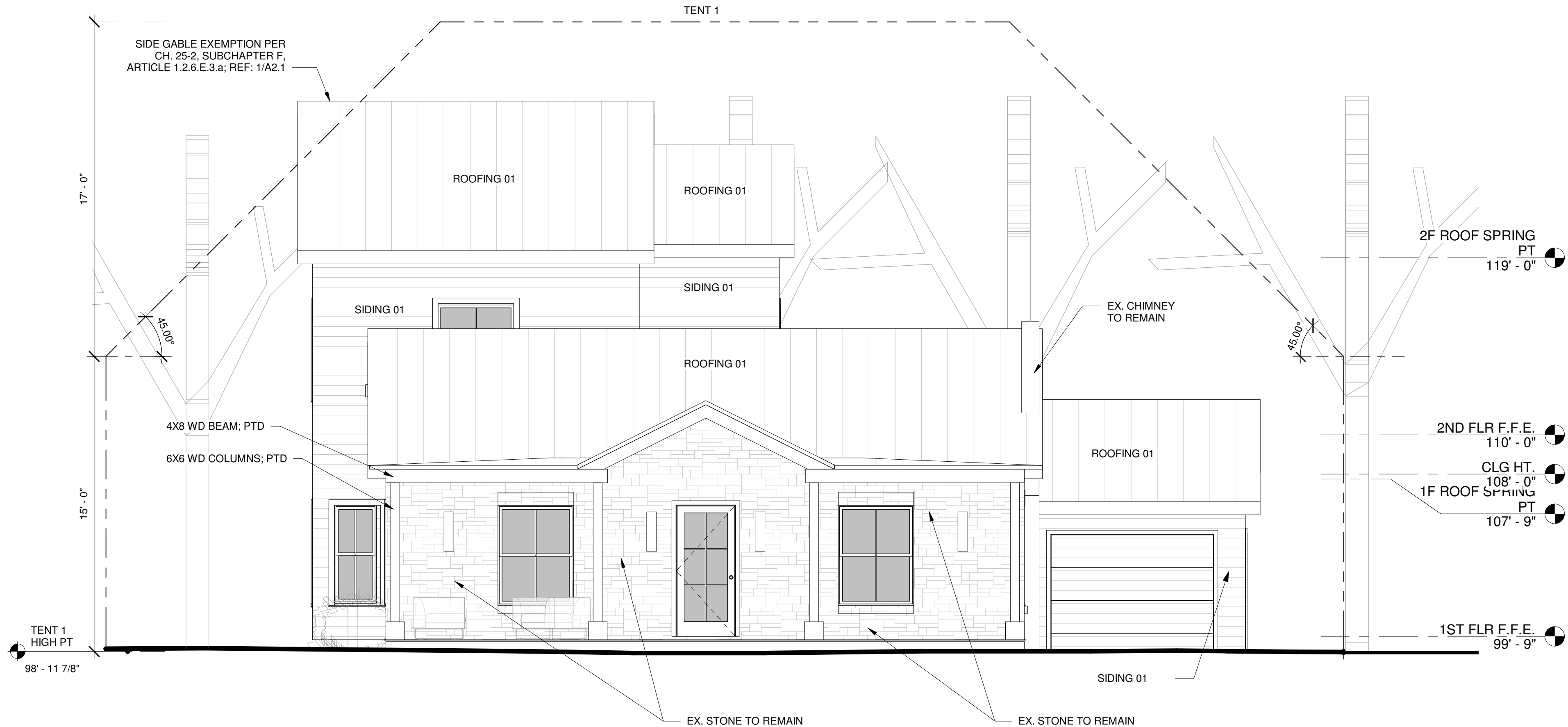
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ROOF PLAN

A1.2



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO PREP/REPAIR EXISTING SIDING AS NEEDED AND PAINT.
2. EXISTING BRICK TO REMAIN. CONTRACTOR TO REPAIR/REPOINT AS NEEDED.
3. CONTRACTOR TO REPAIR EXISTING PAVING AS NEEDED.

BUILDING CALCULATIONS
LOWEST ADJ. GRADE: 96' - 0"
HIGHEST ADJ. GRADE: 98' - 7 3/4"
REF: 2/A0.0
AVG. ADJ. GRADE: 97' - 3 7/8"
BUILDING HEIGHT: 25' - 10"
REF: 1/A2.1
BUILDING TENT 1 HIGH PT: 98' - 11 7/8"
BUILDING TENT 2 HIGH PT: 96' - 11 5/8"
BUILDING TENT 3 HIGH PT: 96' - 0 3/4"
REF: 2/A0.0

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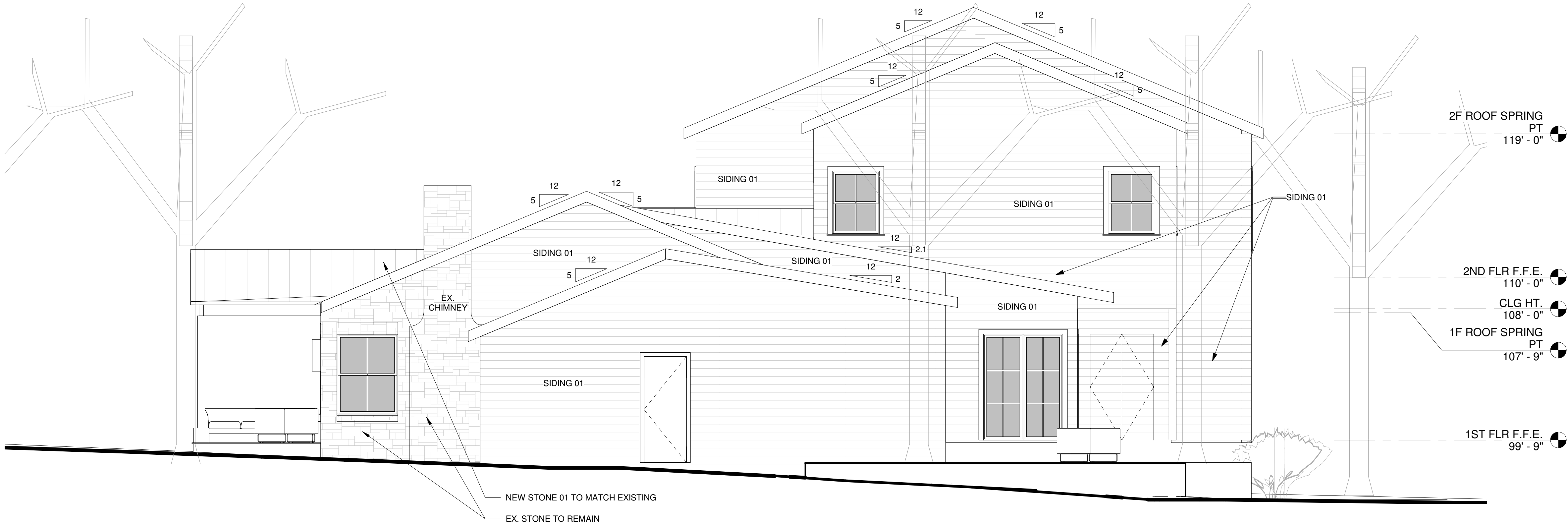
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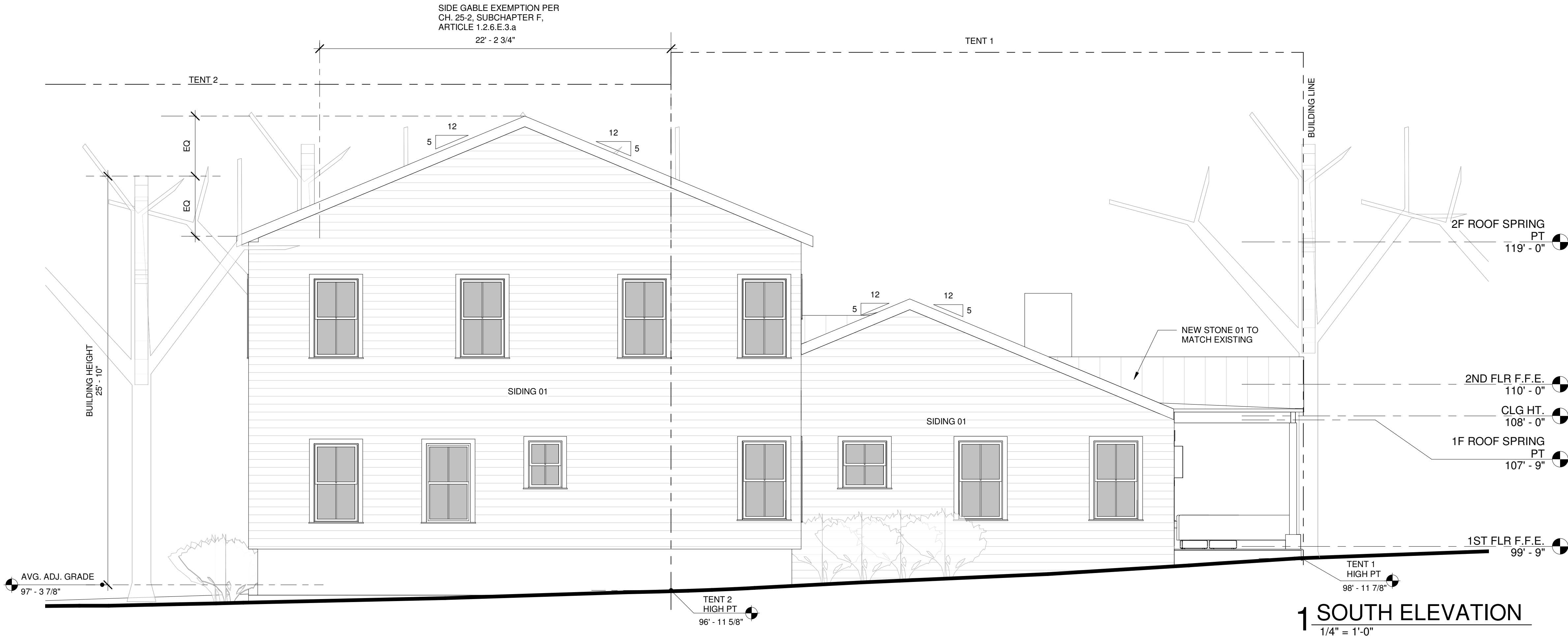
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EXTERIOR ELEVATIONS

A2.0



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO PREP/REPAIR EXISTING SIDING AS NEEDED AND PAINT.
2. EXISTING BRICK TO REMAIN. CONTRACTOR TO REPAIR/REPOINT AS NEEDED.
3. CONTRACTOR TO REPAIR EXISTING PARGING AS NEEDED.

BUILDING CALCULATIONS
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HIGHEST ADJ. GRADE: 98' - 7 3/4"
REF: 2/A0.0
AVG. ADJ. GRADE: 97' - 3 7/8"
BUILDING HEIGHT: 25' - 10"
REF: 1/A2.1
BUILDING TENT 1 HIGH PT: 98' - 11 7/8"
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BUILDING TENT 3 HIGH PT: 96' - 0 3/4"
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EXTERIOR ELEVATIONS

A2.1

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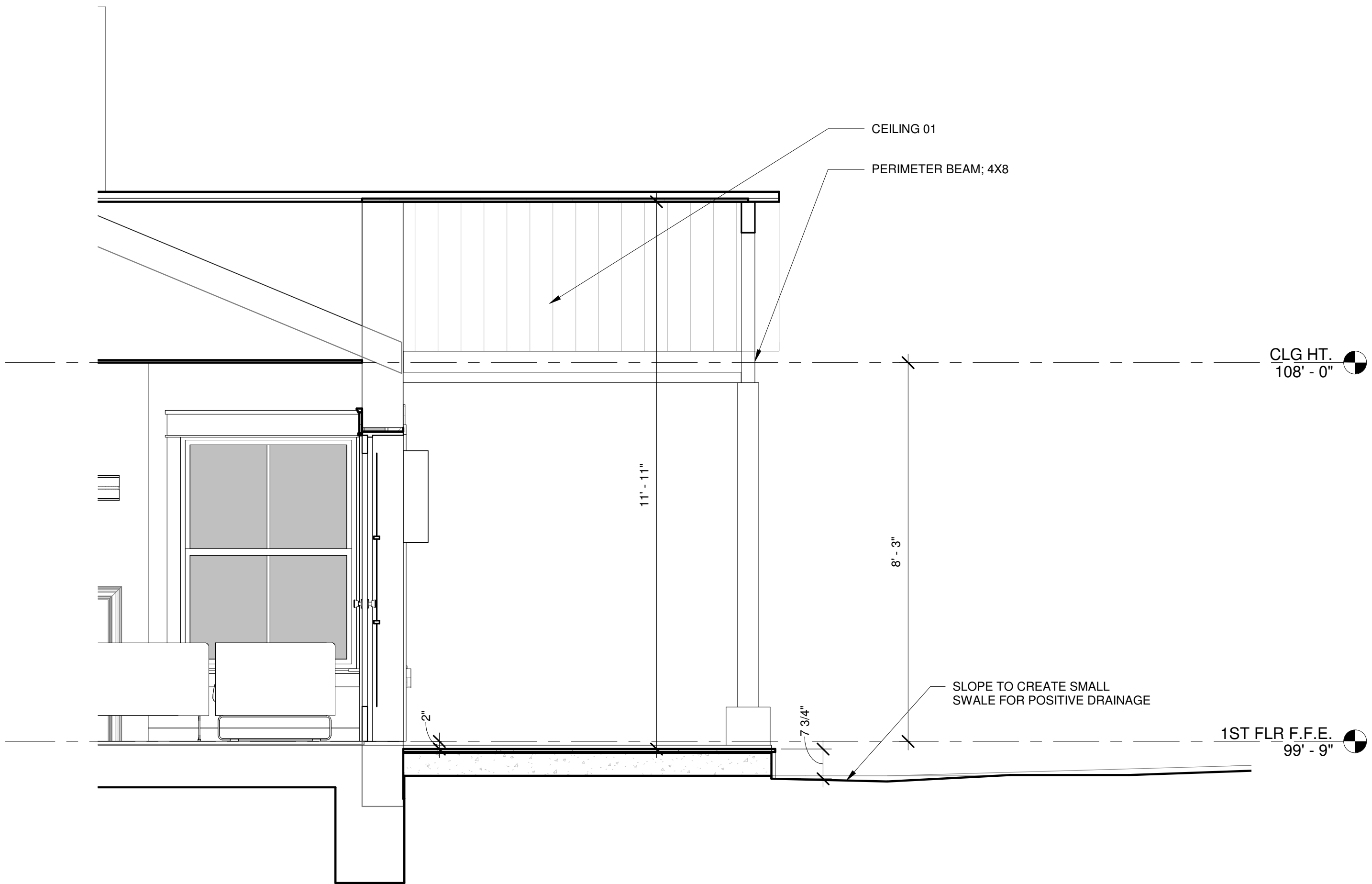
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3 FRONT PORCH PERSPECTIVE



2 PORCH PERSPECTIVE



1 SECTION AT FRONT PORCH
1/2" = 1'-0"

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SECTIONS

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