



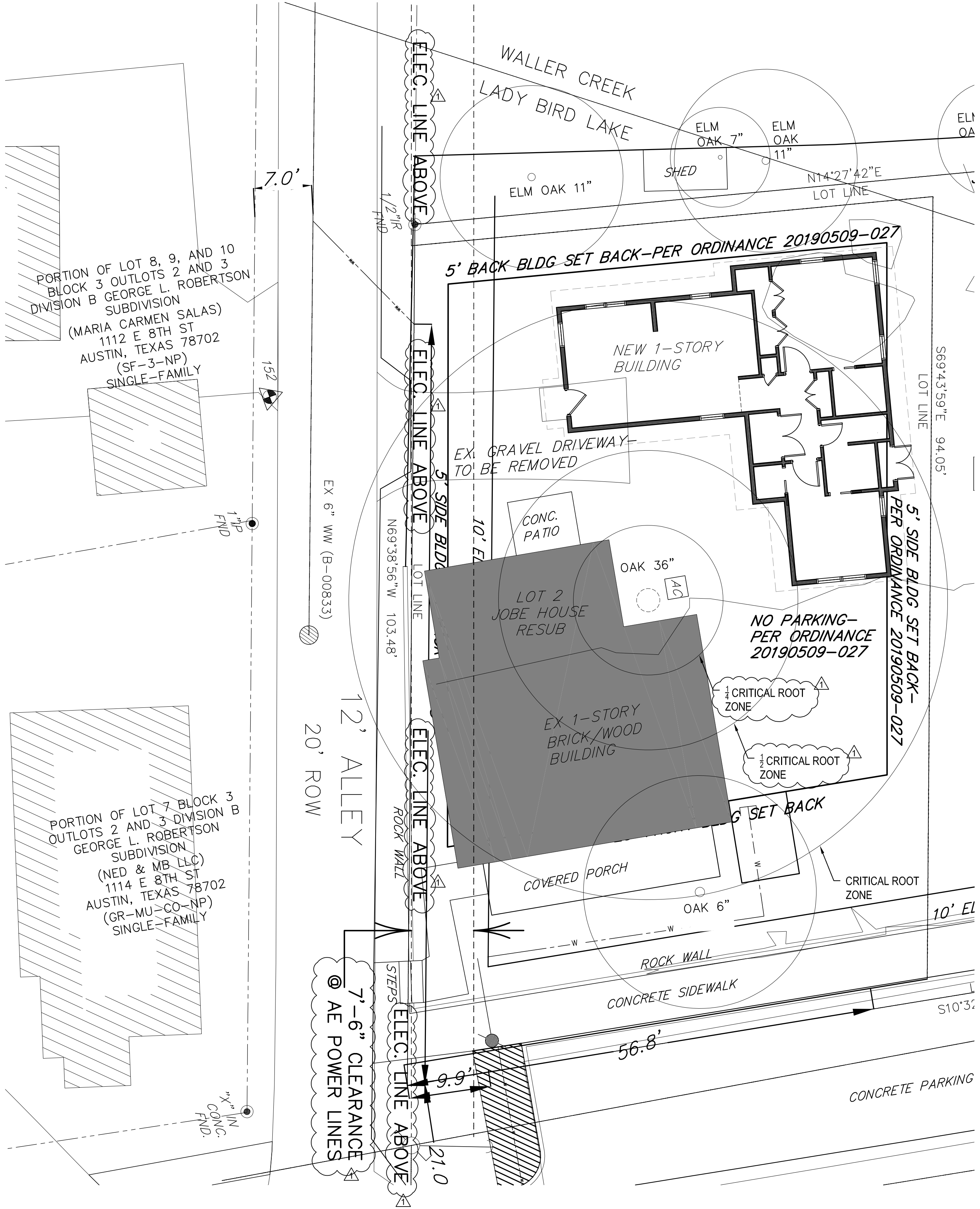
# Residential New Construction and Addition Permit Application

[DevelopmentATX.com](http://DevelopmentATX.com) | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

*Download application before entering information.*

Property Information				
Project Address:		Tax Parcel ID:		
Legal Description:				
Zoning District:		Lot Area (sq ft):		
Neighborhood Plan Area (if applicable):		Historic District (if applicable):		
Required Reviews				
Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a <b>Green Building</b> requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)		
Is this site within an <b>Airport Overlay Zone</b> ? Y N (If yes, approval through Aviation is required)		Does this site have a <b>septic system</b> ? Y N (If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)		
Does the structure <b>exceed 3,600 square feet</b> total under roof? Y N (If yes, <b>Fire review</b> is required)		Is this property within 200 feet of a <b>hazardous pipeline</b> ? Y N (If yes, <b>Fire review</b> is required)		
Is this site located within an <b>Erosion Hazard Zone</b> ? Y N (If yes, <b>EHZ review</b> is required)		Is this property within 100 feet of the <b>100-year floodplain</b> ? Y N (Proximity to floodplain may require additional review time.)		
Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? Y N <b>If yes</b> , how many? _____ (Provide plans with a tree survey, <b>tree review</b> required.)		Was there a pre-development consultation for the Tree Review? Y N Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain		
Is this site in the <b>Capital View Corridor</b> ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) Y N		
Does this site currently have: water availability? Y N wastewater availability? Y N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)		
Does this site have or will it have an auxiliary water source? Y N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)		(If yes, submit approved auxiliary and potable plumbing plans.)		
Does this site require a <b>cut or fill</b> in excess of four (4) feet? Y N		(If yes, contact the Development Assistance Center for a Site Plan Exemption)		
Is this site within the Waterfront Overlay? Y N (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y N (LDC 25-2-180, 25-2-647)		
Does this site front a paved street? Y N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)		
Does this site have a <b>Board of Adjustment (BOA)</b> variance? Y N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)		Case # _____ (if applicable)		
Description of Work				
Is Total New/Added Building Area > 5,000 sq. Ft.? Y N		(If yes, construction material recycling is required per LDC 25-11-39)		
Existing Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Project Type:	new construction	addition	addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)				
# existing bedrooms:	# bedrooms upon completion:		# baths existing:	# baths upon completion:
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) _____ _____				
Trade Permits Required (Check as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)				

Total Remodeled Floor Area (if applicable)						
_____ sq ft. (work within existing habitable square footage)						
Job Valuation – For Properties in a Floodplain Only						
Total Job Valuation: \$ <u>150,000.00</u>			Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.			Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			
Site Development Information						
<b>Area Description</b> <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 <sup>st</sup> Floor conditioned area					1084	953
b) 2 <sup>nd</sup> Floor conditioned area						_____
c) 3 <sup>rd</sup> Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport)						
f) Covered patio, deck, porch, and/or balcony area(s)					174 _____	48 _____
g) Other covered or roofed area						
h) Uncovered wood decks						
<b>Total Building Area</b> (total a through h)					1258 _____	1001 _____
i) Pool						
j) Spa						
k) Remodeled Floor Area, excluding Addition / New Construction						
The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.						
Building Coverage Information						
<small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): _____ % of lot size: _____						
Impervious Cover Information						
<small>Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): _____ % of lot size: _____						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <span style="float: right;">Y      N</span>						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <span style="float: right;">Y      N</span>						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <span style="float: right;">Y      N</span>						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: _____ ft _____ in    Number of Floors: _____			# of spaces required: _____    # of spaces provided: _____			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <span style="float: right;">Y      N</span>						
<small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <span style="float: right;">Y      N</span>						
Width of approach (measured at property line): _____ ft      Distance from intersection (for corner lots only): _____ ft						
Are <b>storm sewer inlets</b> located within ten (10) feet of the end of any proposed driveway? <span style="float: right;">Y      N</span> <small>(New driveways within ten(10) feet of an inlet will require additional review)</small>						



01 SITE PLAN  
SCALE: 1/8" = 1'-0"

Note:  
Drawing scale is 1/16" = 1'-0" when printed at 11x17



ZONING: SF-3-NP  
LOT SIZE: 5,998 S.F.  
PROPERTY ID: 443354  
LEGAL DESCRIPTION: LOT 2 JOBE HOUSE RESUB

NEIGHBORHOOD PLANNING AREA: CENTRAL EAST AUSTIN  
FRONT YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 5 FEET  
STREET SIDE YARD SETBACK: 15 FEET  
REAR YARD SETBACK: 10 FEET  
MAXIMUM BUILDING COVERAGE: 40%  
MAXIMUM IMPERVIOUS COVERAGE: 45%

BUILDING COVERAGE

AREA DESCRIPTION	EXISTING SQ. FT.	NEW/ADDED SQ. FT.	TOTAL SQ. FT.
1ST FLOOR	1084	953	2037
2ND FLOOR	N/A	0	0
3RD FLOOR	N/A	0	0
BASEMENT	N/A	0	0
COVERED PARKING	0	0	0
COVERED DECK	0	0	0
COVERED PORCH	174	48	222
COVERED PATIO	0	0	0
BALCONY	0	0	0
OTHER ROOFED AREAS	0	0	0
<b>TOTAL BUILDING AREA</b>	1258	1001	2259
<b>TOTAL BUILDING COVERAGE</b>	1258	1001	2259
DRIVEWAY	288	0	288
SIDEWALKS	0	0	0
UNCOVERED PATIO	50	0	50
UNCOVERED DECK	0	0	0
OTHER FLATWORK (POOL COPING, RETAINING WALLS, ETC.)	0	0	0
<b>TOTAL IMPERVIOUS COVERAGE</b>	1596	1001	2597
POOL (SURFACE AREA)	0	0	0
SPA (SURFACE AREA)	0	0	0
<b>LOT SIZE</b>	5998		
<b>EXISTING BUILDING COVERAGE %</b>	20.97%		
<b>TOTAL BUILDING COVERAGE %</b>	37.70%		
<b>EXISTING IMPERVIOUS COVERAGE %</b>	26.61%		
<b>TOTAL IMPERVIOUS COVERAGE %</b>	43.29%		

CRITICAL ROOT ZONE

36" OAK CRITICAL ROOT ZONE

36" X 2 = 72" = 72" DIAMETER CRITICAL ROOT ZONE

CRITICAL ROOT ZONE AREA:  
 $\pi r^2 = \pi (36")^2 = 4,072$  SQ. FT.

50% CRITICAL ROOT ZONE PRESERVATION:  
4,072 SQ. FT. X 50% = 2,036 SQ. FT.

EXISTING IMPERVIOUS COVER WITHIN CRITICAL ROOT ZONE

EXISTING BUILDING IMPERVIOUS COVER WITHIN CRZ: 1,250 SQ. FT.  
NEW BUILDING IMPERVIOUS COVER WITHIN CRZ: 740 SQ. FT.  
TOTAL BUILDING IMPERVIOUS COVER WITHIN CRZ: 1,990 SQ. FT. = 48.9%

Sheet List

ARCHITECTURAL	
AS-101	SITE PLAN
A-101	FIRST FLOOR PLAN
A-111	ROOF PLAN
A-121	REFLECTED CEILING PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-411	INTERIOR ELEVATIONS
STRUCTURAL	
S-100	FOUNDATION PLAN & DETAILS
S-200	ROOF FRAMING & BRACING PLAN
S-300	BRACING DETAILS

hatch + ulland owen  
architects

1010 East 11th Street  
Austin, Texas 78702  
T: 512.474.8548  
F: 512.474.8643  
www.huarchitects.com

Civil Engineer:

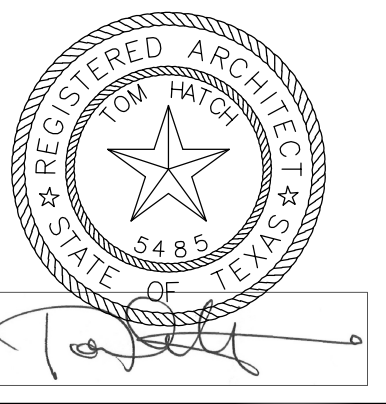
Structural Engineer:  
GreenEarth Engineering, Inc.  
2500 W. William Cannon Dr, Suite 201  
Austin, TX 78745  
512.289.8086

Mechanical, Electrical,  
and Plumbing Engineer:

810 Lydia St., #2  
Austin, TX 78702

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NOTE: By not submitting a bid for the proposed contract, the bidder warrants that the bidder, and all subcontractors and material suppliers he intends to use have carefully and thoroughly reviewed the drawings and specifications and other construction documents and have found them complete and free from any ambiguities and sufficient for the purpose intended. The bidder further warrants that to the best of their or their subcontractor's and material supplier's knowledge all materials and products specified or indicated herein are acceptable for all applicable codes and authorities.



ISSUE DATES:	
09/17/19	ISSUE FOR PERMIT
04/08/21	CITY COMMENTS 1
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FOR CITY OF AUSTIN USE

SITE PLAN

AS-101

GENERAL NOTES:

1. DIMENSIONS ARE TO THE FACE OF STUD AND THE FACE OF MASONRY, TYP.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION

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a r c h i t e c t s

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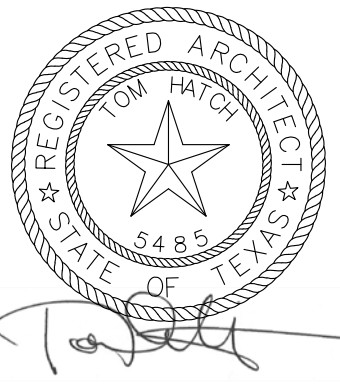
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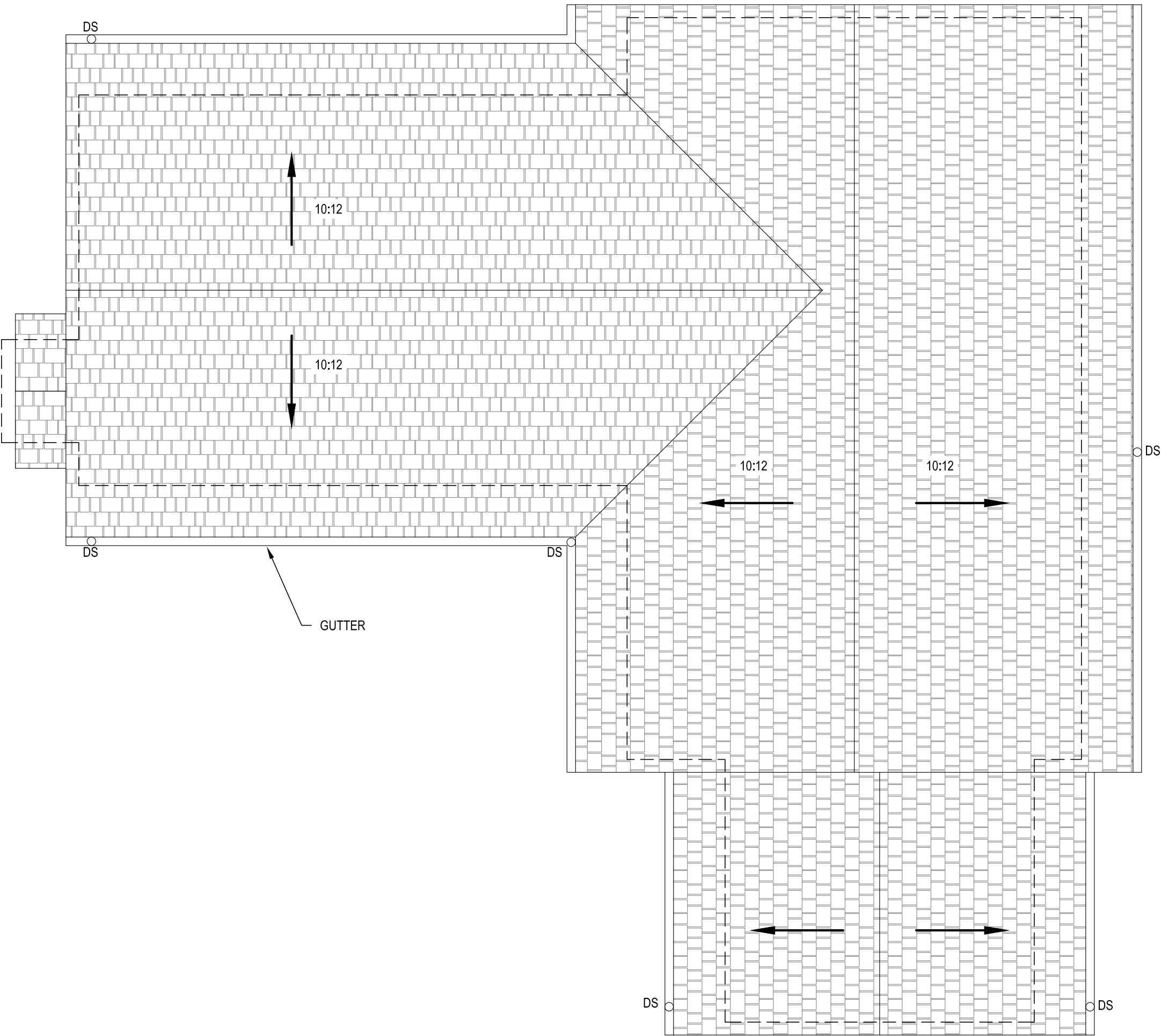
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FOR CITY OF AUSTIN USE

ROOF PLAN

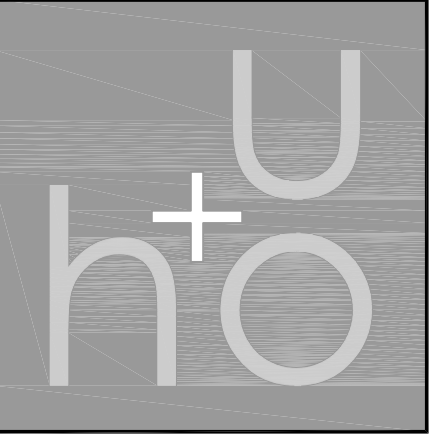
SCALE: 1/4" = 1'-0"

Note:  
Drawing scale is 1/8" = 1'-0" when printed at 11x17



ROOF PLAN

A-111



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a r c h i t e c t s

1010 East 11th Street  
Austin, Texas 78702  
T: 512.474.8548  
F: 512.474.8643  
[www.huoarchitects.com](http://www.huoarchitects.com)

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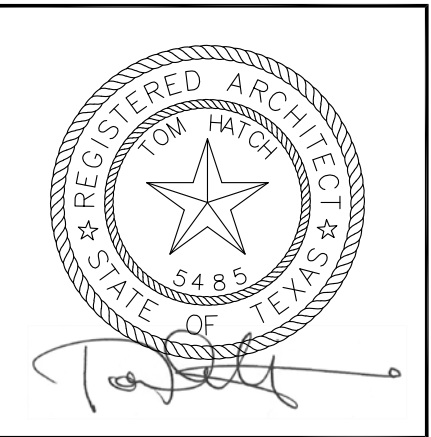
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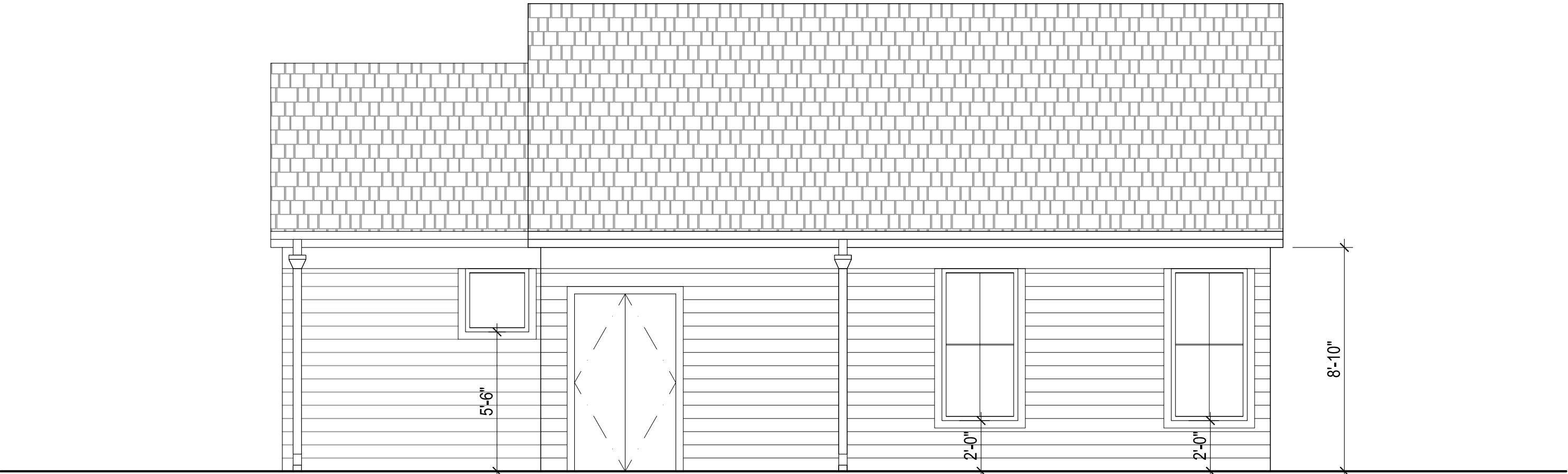


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EXTERIOR  
ELEVATIONS

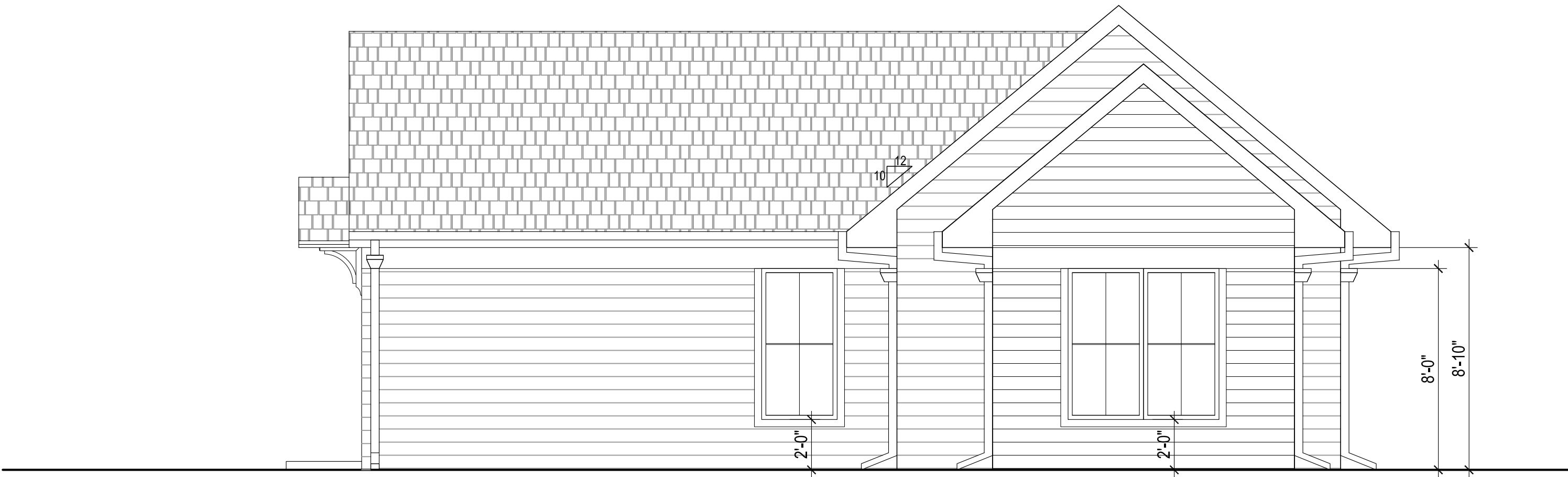
A-201

- GENERAL NOTES:
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02 | RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

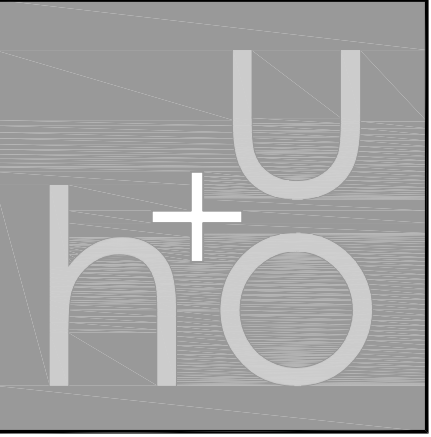
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01 | FRONT ELEVATION  
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FOR CITY OF AUSTIN USE



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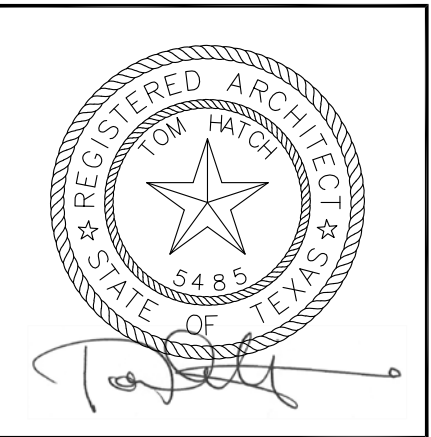
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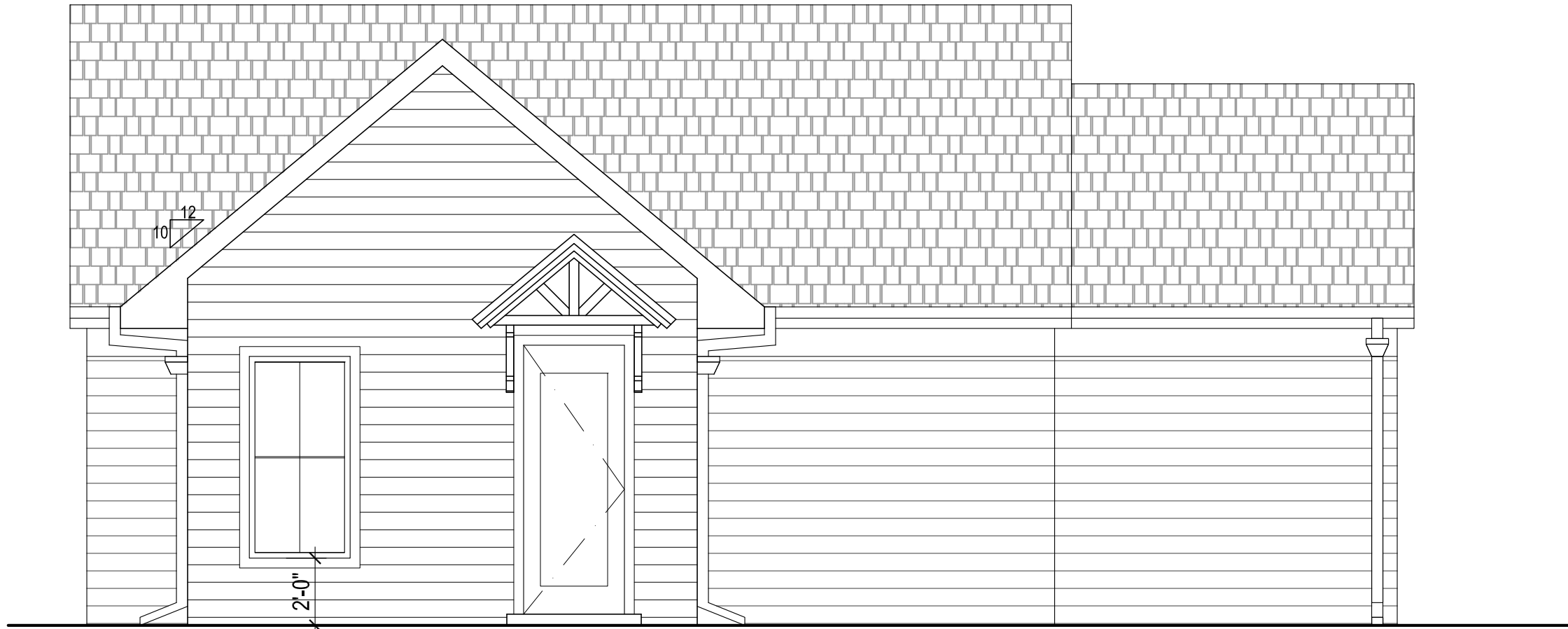


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EXTERIOR  
ELEVATIONS

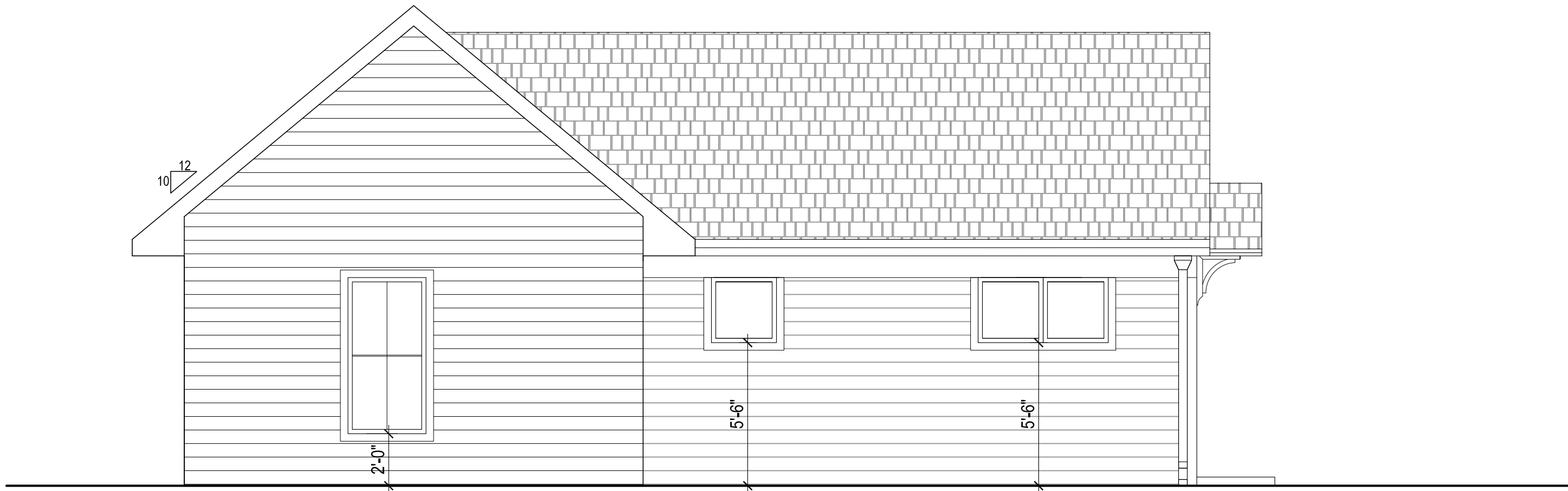
A-202

- GENERAL NOTES:
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02 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

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01 BACK ELEVATION  
SCALE: 1/4" = 1'-0"

Note:  
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