

SITE KEY

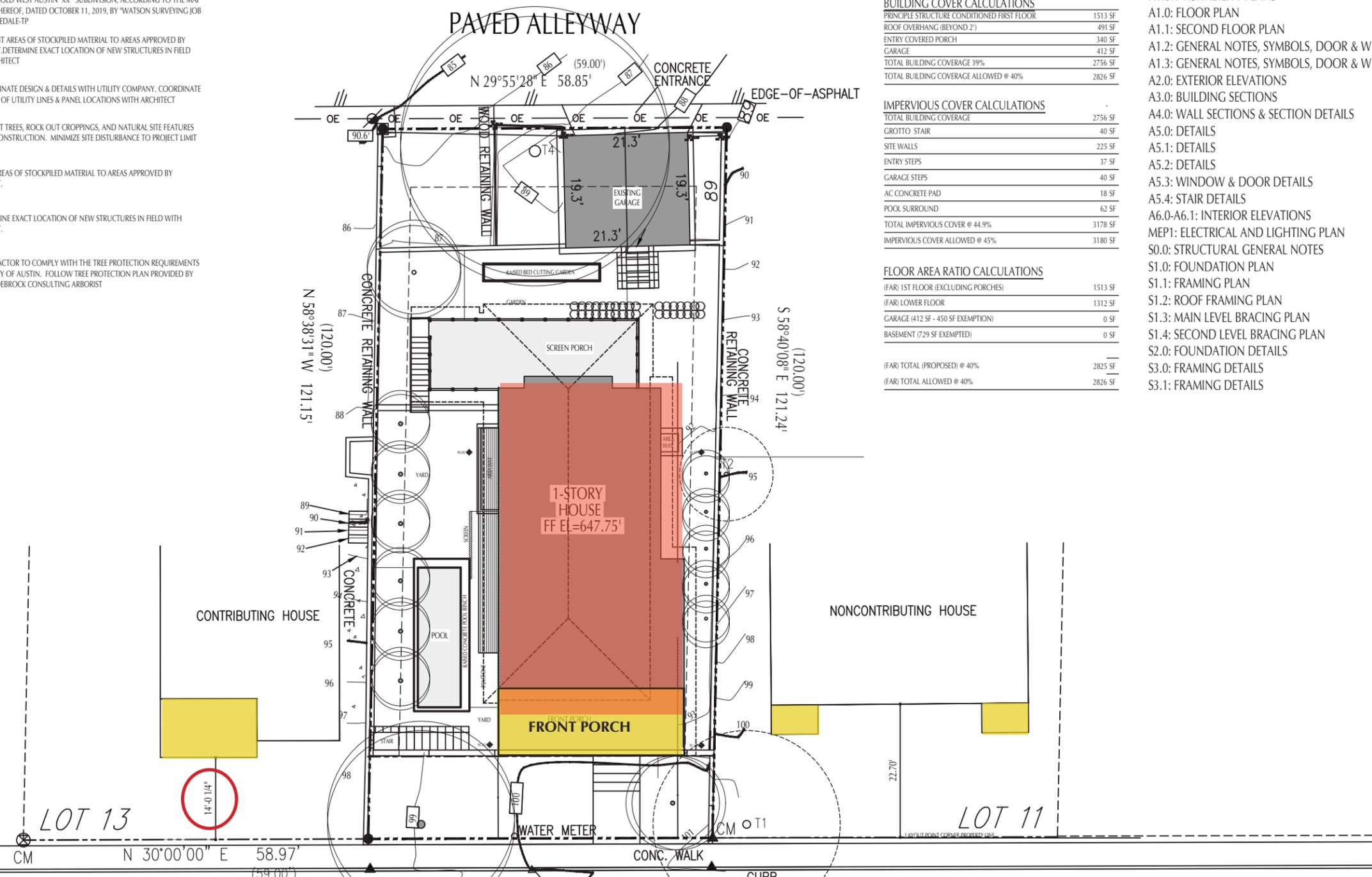
PROPOSED NEW CONSTRUCTION	
ITEM ON SITE TO BE DEMOLISHED	
PROTECTED (OR) HERITAGE TREE CRZ	
TREE TO BE REMOVED	
TREE AND CANOPY	
WOOD FENCE	
METAL FENCE	
OVERHEAD LINE	
UTILITY POLE	
WATER METER	
ELECTRIC PANEL & METER	
GAS METER	
GRADE POINT	

TREE LEGEND

TAG NO.	TREE DESCRIPTION
T1	16" ELM
T2	8" HACKBERRY
T3	19" PECAN
T4	23" OAK

- SITE NOTES**
- 1.) SITE PLAN BASED ON SURVEY OF 612 HIGHLAND AVENUE LOT XX, BLOCK XX, OLD WEST AUSTIN "XX" SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, DATED OCTOBER 11, 2019, BY WATSON SURVEYING JOB NO. L3ROSEDALE-TP
 - 2.) P&I LIMIT AREAS OF STOCKPILED MATERIAL TO AREAS APPROVED BY ARCHITECT. DETERMINE EXACT LOCATION OF NEW STRUCTURES IN FIELD WITH ARCHITECT
 - 3.) COORDINATE DESIGN & DETAILS WITH UTILITY COMPANY. COORDINATE LOCATION OF UTILITY LINES & PANEL LOCATIONS WITH ARCHITECT
 - 4.) PROTECT TREES, ROCK OUT CROPPINGS, AND NATURAL SITE FEATURES DURING CONSTRUCTION. MINIMIZE SITE DISTURBANCE TO PROJECT LIMIT LINE.
 - 5.) LIMIT AREAS OF STOCKPILED MATERIAL TO AREAS APPROVED BY ARCHITECT.
 - 6.) DETERMINE EXACT LOCATION OF NEW STRUCTURES IN FIELD WITH ARCHITECT.
 - 7.) CONTRACTOR TO COMPLY WITH THE TREE PROTECTION REQUIREMENTS OF THE CITY OF AUSTIN. FOLLOW TREE PROTECTION PLAN PROVIDED BY VINCENT DEBROCK CONSULTING ARBORIST

PAVED ALLEYWAY



LOT
SF-3-NP

ZONING
TOTAL LOT SIZE 7066 SF

BUILDING COVER CALCULATIONS

PRINCIPLE STRUCTURE (CONDITIONED FIRST FLOOR)	1513 SF
ROOF OVERHANG (BEYOND 2')	491 SF
ENTRY COVERED PORCH	340 SF
GARAGE	412 SF
TOTAL BUILDING COVERAGE 39%	2756 SF
TOTAL BUILDING COVERAGE ALLOWED @ 40%	2826 SF

IMPERVIOUS COVER CALCULATIONS

TOTAL BUILDING COVERAGE	2756 SF
GROTTO STAIR	40 SF
SITE WALLS	225 SF
ENTRY STEPS	37 SF
GARAGE STEPS	40 SF
AC CONCRETE PAD	18 SF
POOL SURROUND	62 SF
TOTAL IMPERVIOUS COVER @ 44.9%	3178 SF
IMPERVIOUS COVER ALLOWED @ 45%	3180 SF

FLOOR AREA RATIO CALCULATIONS

(FAR) 1ST FLOOR (EXCLUDING PORCHES)	1513 SF
(FAR) LOWER FLOOR	1312 SF
GARAGE (412 SF - 450 SF EXEMPTION)	0 SF
BASEMENT (729 SF EXEMPTED)	0 SF
(FAR) TOTAL (PROPOSED) @ 40%	2825 SF
(FAR) TOTAL ALLOWED @ 40%	2826 SF

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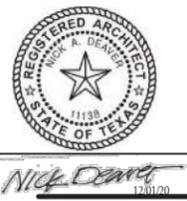
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REVISIONS

NICK DEAVER
Architect
606 Highland Avenue
Austin, Texas 78703
www.nickdeaver.com



PHASE:
DESIGN DEVELOPMENT

PROJECT:
COOK
Residence
612 HIGHLAND AVE.
AUSTIN, TX 78703

PROJECT MANAGER:

DRAWING NAME:

SITE PLAN

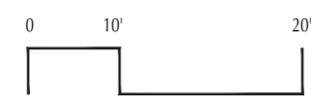
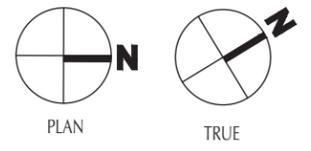
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JOB #:	280
FILE:	280 COOK
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DATE:	03.05.21
SCALE:	
SHEET:	

1. NO MATERIAL OR DUMPSTER STORAGE OVER THE CRZ.
2. PEDESTRIAN TRAFFIC AND STORAGE ONLY IN THE CRZ WITH 2 LAYERS OF 1" PLYWOOD SEPARATED BY 2X4 WILL BE USED IN ALL PEDESTRIAN TRAFFIC AND STORAGE AREAS INSIDE THE CRZ.
3. LIMITED SIZE EQUIPMENT AND TRAFFIC INSIDE THE CRZ.

CONTRACTOR TO PROPOSE DUMPSTER LOCATION, MATERIAL DROP OFF AND STORAGE AREAS, FENCING, AND GATE LOCATIONS TO ARCHITECT PRIOR TO BEGINNING OF CONSTRUCTION

CONTRACTOR TO SEE TREE PLAN FOR PROTECTION OF CRITICAL ROOT ZONE DURING CONSTRUCTION AND TRAFFIC. ALL TREES ON SITE TO BE GIVEN MEASURES TO AVOID DAMAGE BEFORE, DURING CONSTRUCTION

HIGHLAND AVENUE
(40' R.O.W.)
LOT 12
BLK.B



From: Nick Deaver nick@nickdeaver.com
Subject: Re: 612 Highland Ave. Austin, Tx 78703
Date: August 24, 2020 at 1:46 PM
To: Cara Bertron Cara.Bertron@austintexas.gov
Cc: Jessica Deaver jessica@nickdeaver.com



From: Bertron, Cara Cara.Bertron@austintexas.gov
Subject: Re: 612 Highland Ave. Austin, Tx 78703
Date: September 15, 2020 at 1:25 PM
To: Nick Deaver nick@nickdeaver.com
Cc: Jessica Deaver jessica@nickdeaver.com



Hello Cara,

We are still in the process of designing a new house for the 612 Highland Ave property. We are hoping to meet with the Historic Subcommittee as soon as we have satisfied our clients.

I have been trying to identify the appropriate front yard setback for our New Construction on the site where the original house burned.

Article 2.3.B Average Front Yard Setback (of Subchapter F: Residential Design and Compatibility Standards) allows us to average the 4 structures that are closest to our property on the same side of the road, (some of which are not contributing structures to the Smoot/Terrace Park Local Historic District); while the Design Guidelines for New Construction in the Smoot/Terrace Park HD Design Standards/Preservation Plan allows: '2. Setbacks for new construction of a new principal building shall be consistent with setbacks the district's contributing houses by taking the average of the existing setbacks of contributing houses on the same block face, or by aligning with the setback of one adjacent contributing house. This may allow setbacks that are shallower than the base zoning.'

Would you please advise me as to which Front Yard setback would take precedent?

Thanks for your help,
Nick

Nick Deaver

Nick Deaver Architect
nickdeaver.com

o. 512.494.9808
c. 512.801.1764

On Aug 5, 2020, at 11:42 AM, Bertron, Cara Cara.Bertron@austintexas.gov wrote:

Got it, thanks. I'll wait to hear from you. As I wrote last month, I'd strongly recommend that you get early feedback on the project—but the timing for that is your call.

Cara Bertron

Senior Planner / Deputy Historic Preservation Officer
City of Austin Planning and Zoning Department
(512) 974-1446 | cara.bertron@austintexas.gov

From: Jessica Deaver jessica@nickdeaver.com
Date: Tuesday, August 4, 2020 at 5:11 PM
To: "Bertron, Cara" Cara.Bertron@austintexas.gov
Cc: Nick Deaver nick@nickdeaver.com
Subject: Re: 612 Highland Ave. Austin. Tx 78703

Hi y'all, sorry again for the delay. The Smoot/Terrace Park Design Standards control when they conflict with other code provisions. This doesn't come up very often; I'm happy to talk to a coordinating reviewer to avert any confusion, if you're already working with someone in the Development Services Department.

Cara

From: "Bertron, Cara" Cara.Bertron@austintexas.gov
Date: Thursday, August 27, 2020 at 9:11 AM
To: Nick Deaver nick@nickdeaver.com
Cc: Jessica Deaver jessica@nickdeaver.com
Subject: Re: 612 Highland Ave. Austin, Tx 78703

Hi Nick,

I wanted to let you know that I'm checking on this with the Law Department to be sure. Apologies for the delay—I hope to get back with you soon.

Cara

Cara Bertron

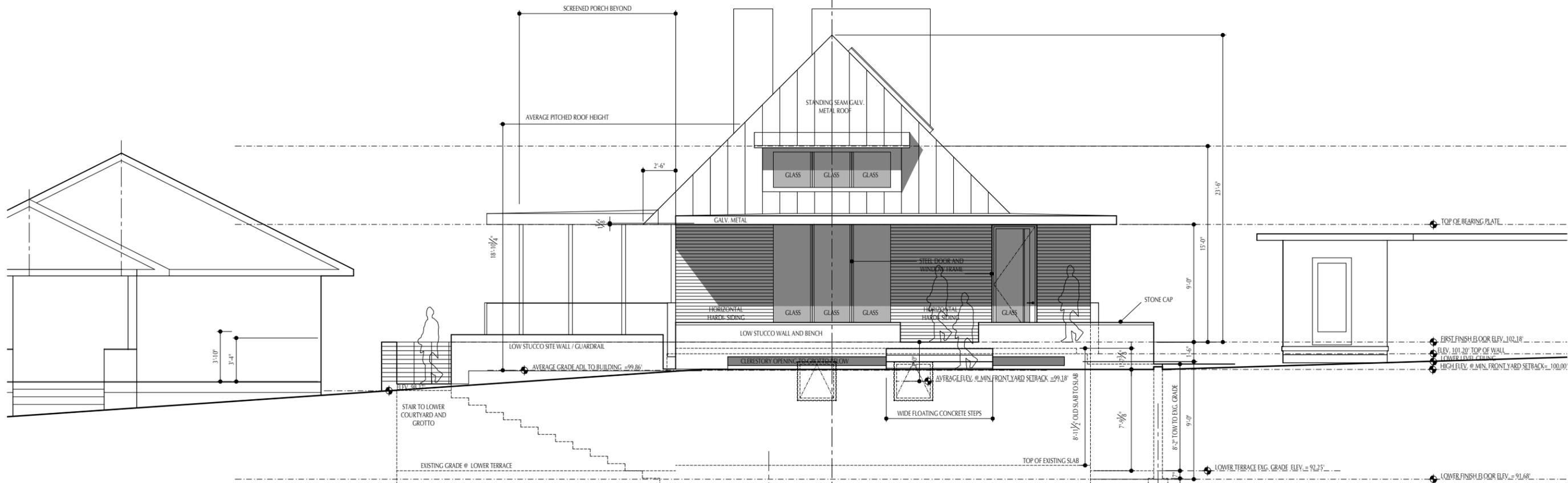
Senior Planner / Deputy Historic Preservation Officer
City of Austin Planning and Zoning Department
(512) 974-1446 | cara.bertron@austintexas.gov



Before November 2019



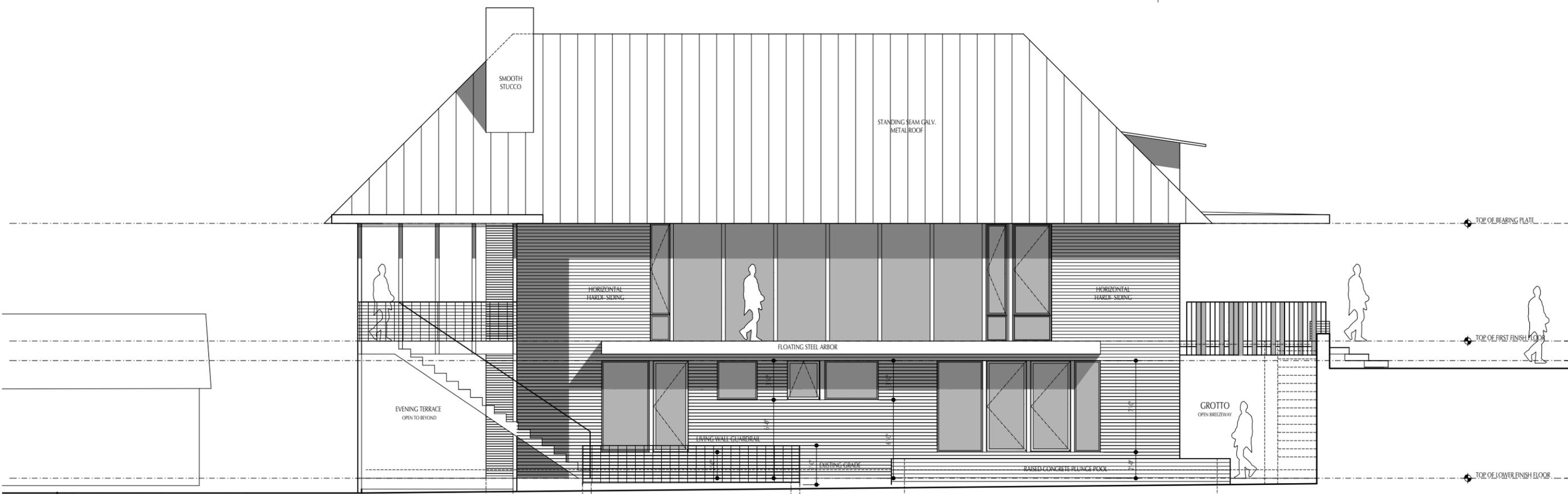
February 2021



1 EAST EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)

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2 SOUTH EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)

PHASE:
DESIGN
DEVELOPMENT

PROJECT:
COOK
Residence
612 HIGHLAND AVE.
AUSTIN, TX 78703

PROJECT MANAGER:

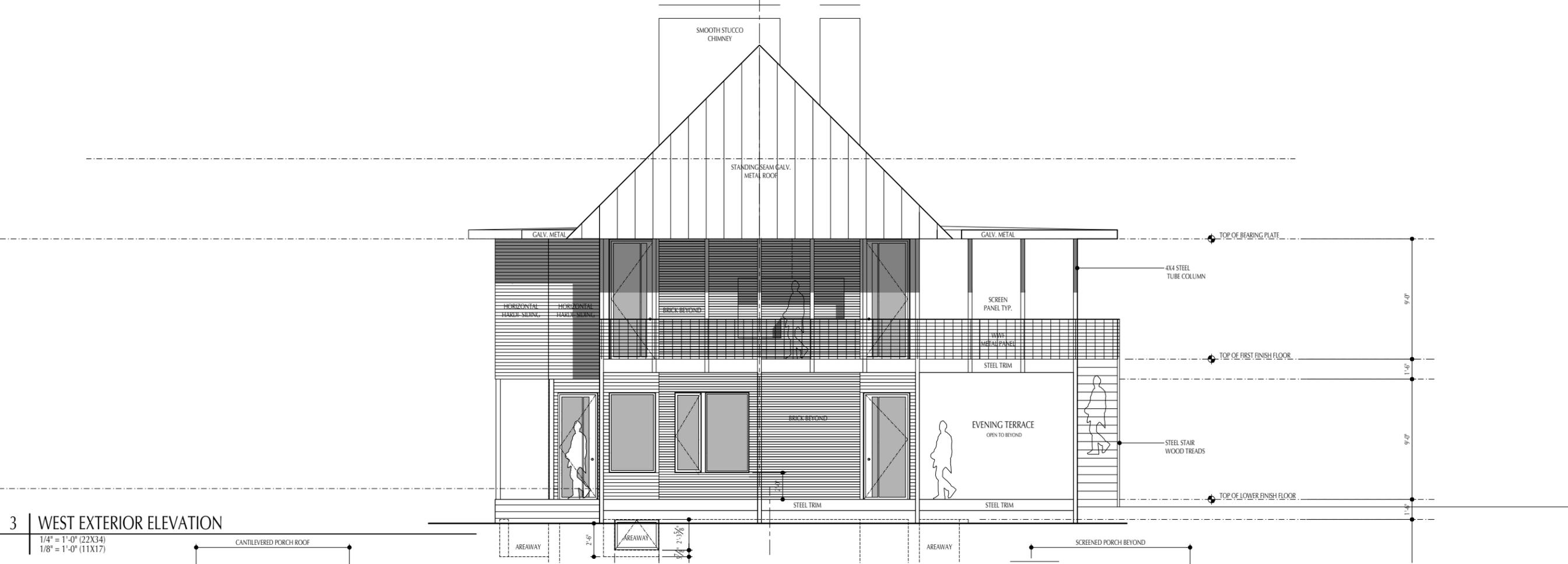
DRAWING NAME:

EXTERIOR
ELEVATIONS

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CHECKED BY: ND
JOB #: 280
FILE: 280 COOK
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DATE: 04.19.21
SCALE:

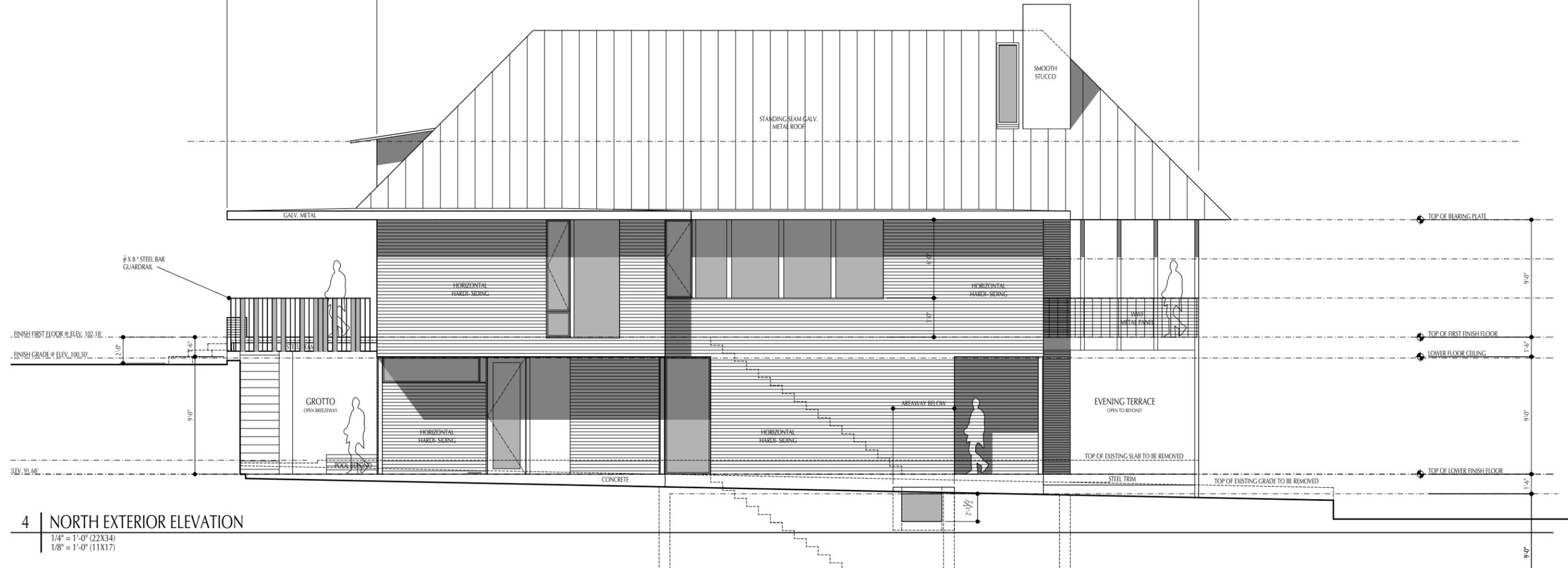
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A2.0



3 WEST EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)



4 NORTH EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)



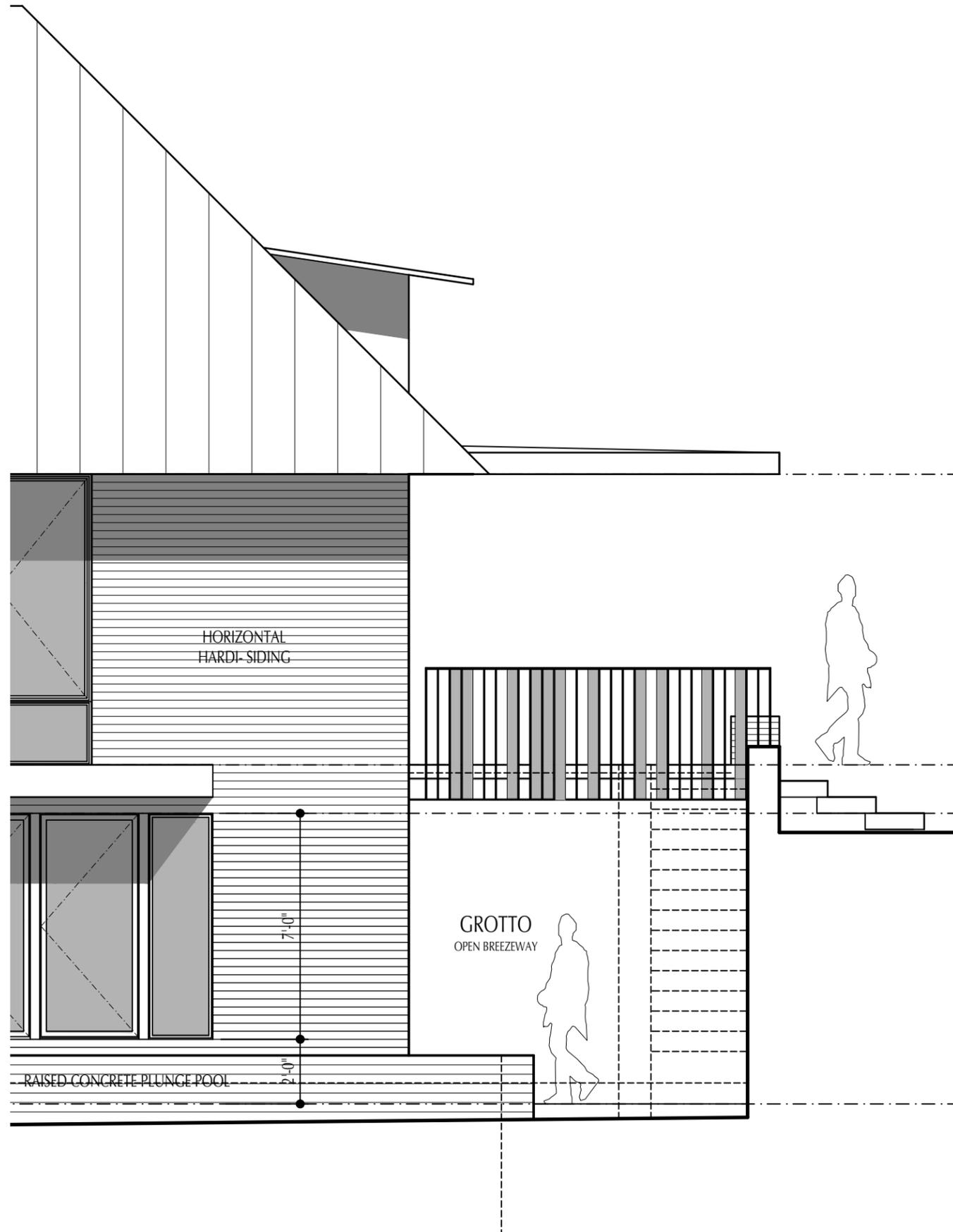
Changes based on ARC Comments 03/08/21

- PORCH AND LANDSCAPE WALL-
SEPARATED BRICK LANDSCAPING WALL BY 8" IN RESPONSE TO ARC COMMENTS

Changes based on Staff and HLC Comments 04/26/21

- CHANGED EXTERIOR STUCCO CLADDING ON WALLS TO HORIZONTAL SIDING
- CHANGED BRICK LANDSCAPE AND PORCH WALL TO STUCCO WITH A STONE CAP
- CHANGED METAL MESH PANEL PORCH END GUARDRAILS TO VERTICAL METAL RAILINGS INSPIRED BY CRAFTSMEN BUNGALOW RAILINGS

Interpreting Bungalow Railing as Art



Donald Judd - Objects 1962

Consists of one single structure or multiple units with a defined spatial relationship that as a whole comprises the work of art.





Italianate, Greek Revival

Notes: Elaborate handrails, Long solid retaining walls

1316 W 6th st.
Contributing - 1877 - 1925



Italianate, Queen Anne

Notes: Elaborate handrails, Long solid retaining walls

1412 6 1/2 st.
Contributing -1877



Queen Anne

Notes: Elaborate handrails

1407 W 9th st.
Contributing - 1877



Craftsman Bungalow

Notes: Wood siding over stucco base

617 Highland Ave.
Contributing - 1920



Greek Revival

Notes: Hipped roof with front facing dormer

1508 W 9th st.
Contributing - 1920



Stick Style, Greek Revival

Notes: Elaborate handrails, wide porch

1500 W 9th st.
Contributing - 1882



Craftsman Bungalow

12:12 Roof pitch at main house and front dormer

609 Oakland Ave.
Contributing - 1915



Craftsman Bungalow

Standout 'Japanese style' roof detailing

707 Highland Ave.
Contributing - 1915



Craftsman Bungalow

Wood siding over brick base, wide porch, dramatic span

606 Highland Ave.
Contributing - 1915



Prairie

Flat roof with projected flat roof porch

1411 W 9th st.
Contributing - 1915



Prairie

Flat roof with projected flat roof porch

701 Highland Ave.
Contributing - 1915



Classical Revival

Classical Columns with flat roof porch

700 Highland Ave.
Contributing - 1915



6:12 Hipped Roof with front dormer

Classical Revival

611 Oakland Ave.
Contributing - 1915



12:12 Roof pitch with front dormer

Craftsman Bungalow

609 Oakland Ave.
Contributing - 1915

OWANA
Old West Austin Neighborhood Association
PO Box 2724
Austin, TX 78768



April 23, 2021

Chair & Commissioners	HR 21-039343
Historic Landmark Commission	612 Highland
City of Austin	

Dear Commissioners,

OWANA's zoning committee met with the owner and architect on this project and we voted to support it for the following reasons:

- An excellent design for a new build in the Terrace/Smoot Local Historic District
- Well thought out and fits in with the historic façade of the street
- Matches the size and height of the existing buildings

We had a most fortunate meeting yesterday with two outstanding projects and we hope you will support this one as well. Thank you for your time and efforts.

Sincerely yours,

Rosemary Merriam
Chair, OWANA Zoning Committee